

# DEVELOPMENT APPLICATION NEW DWELLING


8 DEBORAH PLACE, EASTWOOD, 2122  
LOT 4 / DP 229073

DRAWING LIST

#	SHEET NAME	SIZE	REV	DATE
10.01	COVER PAGE	ISO A3	2	31/10/2022
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11.02	SITE PLAN	ISO A3	1	8/9/2022
11.04	EXTERNAL WORKS PLAN	ISO A3	1	8/9/2022
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21.02	GROUND FLOOR PLAN	ISO A3	1	8/9/2022
21.03	FIRST FLOOR PLAN	ISO A3	1	8/9/2022
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40.02	SECTIONS 3 & 4	ISO A3	1	8/9/2022
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60.03	SHADOW PLANS: JUNE 21 15:00	ISO A3	1	8/9/2022
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60.05	SOLAR VIEWS - COMPARISON w/ EXISTING	ISO A3	1	8/9/2022
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71.01	EXTERNAL DOOR SCHEDULE	ISO A3	1	8/9/2022
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91.05	DCP/LEP COMPLIANCE: BUILDING HEIGHT	ISO A3	1	8/9/2022
91.07	DCP/LEP COMPLIANCE: 20% SIDE SETBACK IMPACTS	ISO A3	1	8/9/2022
92.01	COLOURS AND FINISHES	ISO A3	1	8/9/2022
100.01	STREET PERSPECTIVE	ISO A3	1	8/9/2022

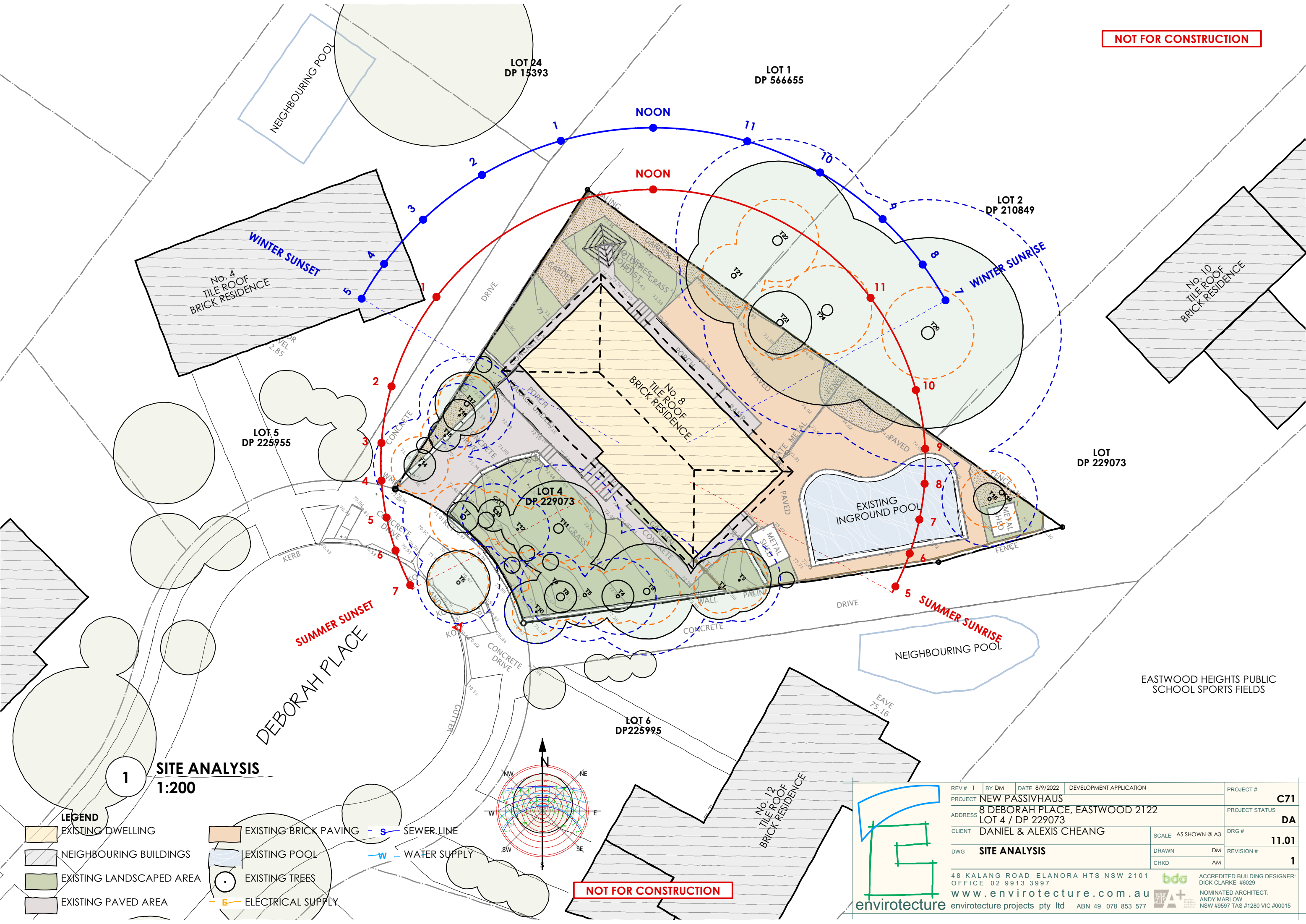


NOT FOR CONSTRUCTION

	REV # 2	BY DM	DATE 31/10/2022	DEVELOPMENT APPLICATION	PROJECT #	C71	
	PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA	
	ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122 LOT 4 / DP 229073			DRG #	10.01	
	CLIENT	DANIEL & ALEXIS CHEANG		SCALE	AS SHOWN @ A3	REVISION #	2
	DWG	COVER PAGE		DRAWN	DM		
				CHKD	AM		
48 KALANG ROAD ELANORA HTS NSW 2101 OFFICE 02 9913 3997 www.envirotecture.com.au				bda ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029 NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015			
envirotecture projects pty ltd ABN 49 078 853 577							



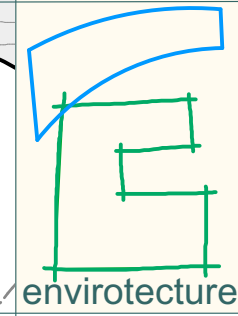
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**SITE ANALYSIS**  
**1:200**

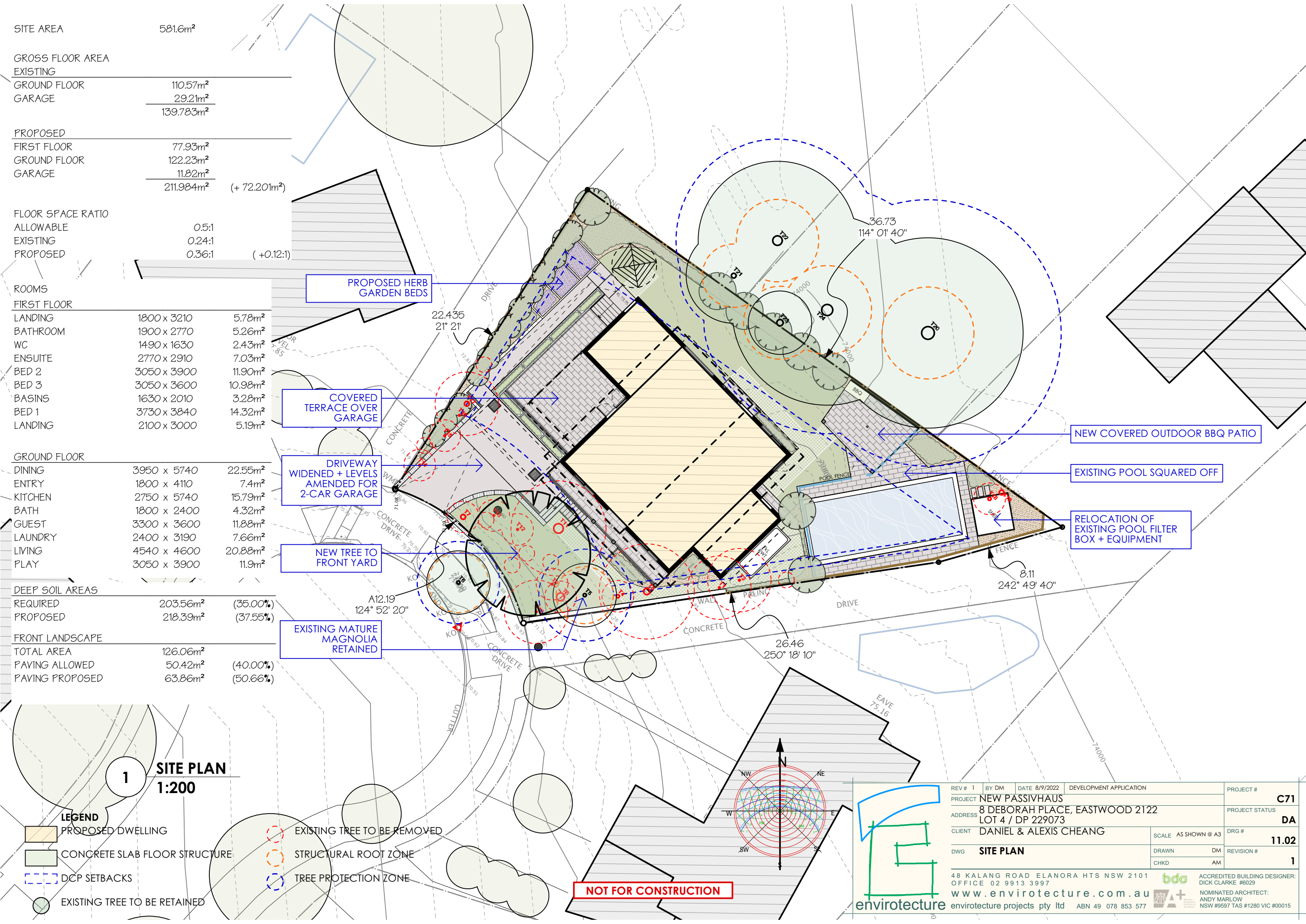
- LEGEND**
- EXISTING DWELLING
  - NEIGHBOURING BUILDINGS
  - EXISTING LANDSCAPED AREA
  - EXISTING PAVED AREA
  - EXISTING BRICK PAVING
  - EXISTING POOL
  - EXISTING TREES
  - ELECTRICAL SUPPLY
  - SEWER LINE
  - WATER SUPPLY

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REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	11.01
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	SITE ANALYSIS			SCALE	AS SHOWN @ A3
	DRAWN	DM			
	CHKD	AM			
48 KALANG ROAD, ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	DICK CLARKE #6029
OFFICE 02 9913 3997				NOMINATED ARCHITECT:	ANDY MARLOW
www.envirotexture.com.au					NSW #9597 TAS #1280 VIC #00015
envirotexture projects pty ltd				ABN	49 078 853 577





SITE AREA	581.6m <sup>2</sup>
GROSS FLOOR AREA	
EXISTING	
GROUND FLOOR	110.57m <sup>2</sup>
GARAGE	29.21m <sup>2</sup>
	139.783m <sup>2</sup>
PROPOSED	
FIRST FLOOR	77.93m <sup>2</sup>
GROUND FLOOR	122.23m <sup>2</sup>
GARAGE	11.82m <sup>2</sup>
	211.984m <sup>2</sup> (+ 72.201m <sup>2</sup> )
FLOOR SPACE RATIO	
ALLOWABLE	0.5:1
EXISTING	0.24:1
PROPOSED	0.36:1 (+ 0.12:1)

ROOMS		
FIRST FLOOR		
LANDING	1800 x 3210	5.78m <sup>2</sup>
BATHROOM	1900 x 2770	5.26m <sup>2</sup>
WC	1490 x 1630	2.43m <sup>2</sup>
ENSUITE	2770 x 2910	7.03m <sup>2</sup>
BED 2	3050 x 3900	11.90m <sup>2</sup>
BED 3	3050 x 3600	10.98m <sup>2</sup>
BASINS	1630 x 2010	3.28m <sup>2</sup>
BED 1	3730 x 3840	14.32m <sup>2</sup>
LANDING	2100 x 3000	5.19m <sup>2</sup>

GROUND FLOOR		
DINING	3950 x 5740	22.55m <sup>2</sup>
ENTRY	1800 x 4110	7.4m <sup>2</sup>
KITCHEN	2750 x 5740	15.79m <sup>2</sup>
BATH	1800 x 2400	4.32m <sup>2</sup>
GUEST	3300 x 3600	11.88m <sup>2</sup>
LAUNDRY	2400 x 3190	7.66m <sup>2</sup>
LIVING	4540 x 4600	20.88m <sup>2</sup>
PLAY	3050 x 3900	11.9m <sup>2</sup>

DEEP SOIL AREAS		
REQUIRED	203.56m <sup>2</sup>	(35.00%)
PROPOSED	218.39m <sup>2</sup>	(37.55%)

FRONT LANDSCAPE		
TOTAL AREA	126.06m <sup>2</sup>	
PAVING ALLOWED	50.42m <sup>2</sup>	(40.00%)
PAVING PROPOSED	63.86m <sup>2</sup>	(50.66%)

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SITE PLAN  
1:200

LEGEND

PROPOSED DWELLING

CONCRETE SLAB FLOOR STRUCTURE

DCP SETBACKS

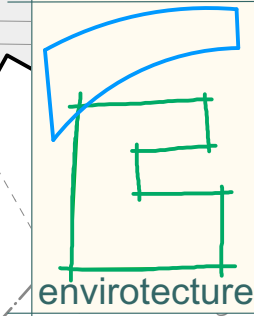
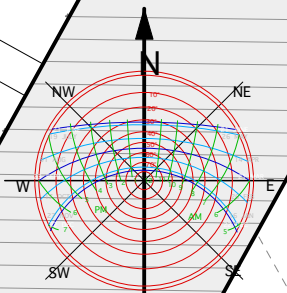
EXISTING TREE TO BE RETAINED

EXISTING TREE TO BE REMOVED

STRUCTURAL ROOT ZONE

TREE PROTECTION ZONE

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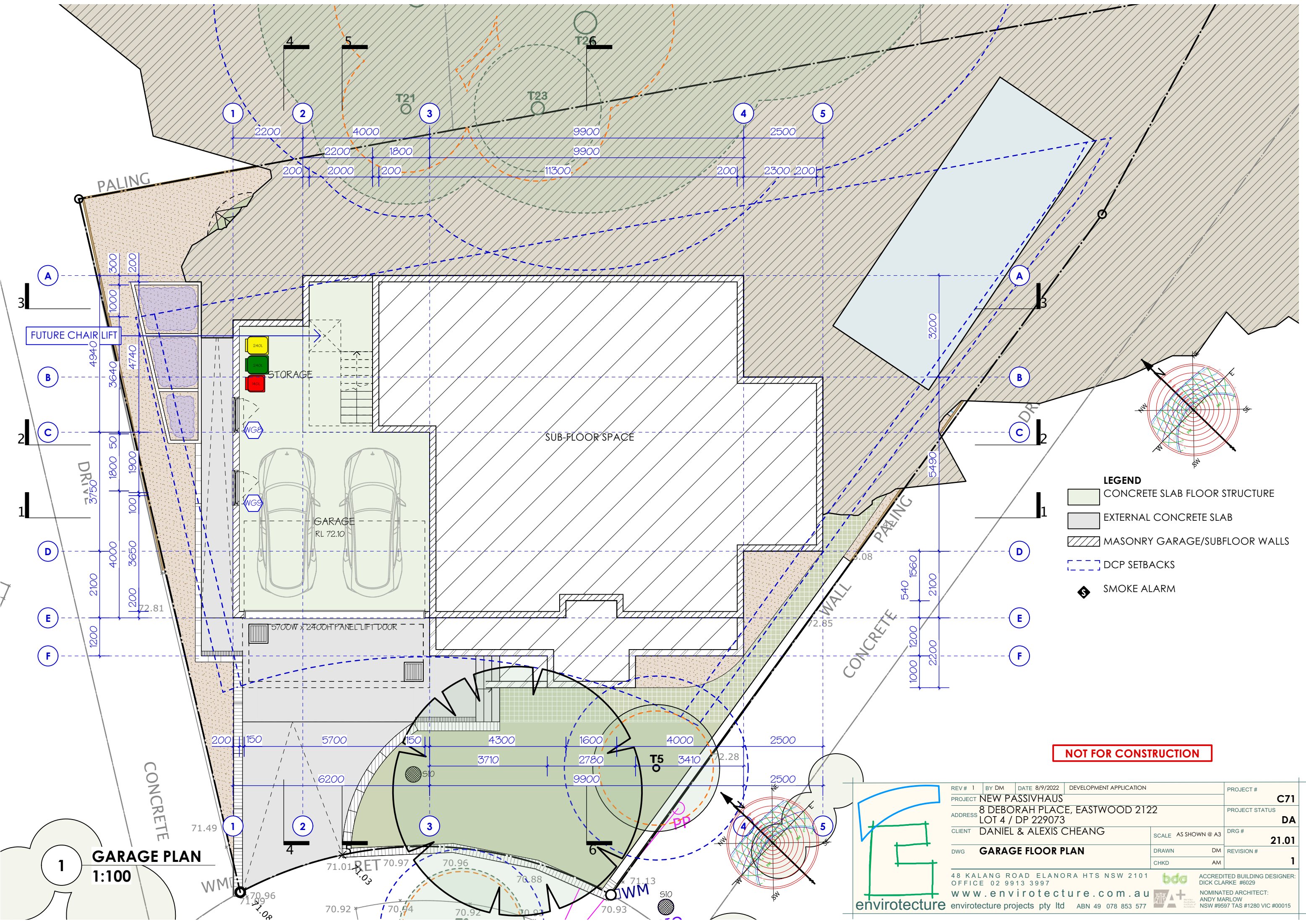


REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT NEW PASSIVHAUS				PROJECT STATUS	DA
ADDRESS 8 DEBORAH PLACE, EASTWOOD 2122				DRG #	11.02
LOT 4 / DP 229073				REVISION #	1
CLIENT	DANIEL & ALEXIS CHEANG	SCALE	AS SHOWN @ A3		
DWG	SITE PLAN	DRAWN	DM		
		CHKD	AM		
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotexture.com.au				NOMINATED ARCHITECT:	
envirotexture projects pty ltd ABN 49 078 853 577				ANDY MARLOW	
				NSW #9597 TAS #1280 VIC #00015	





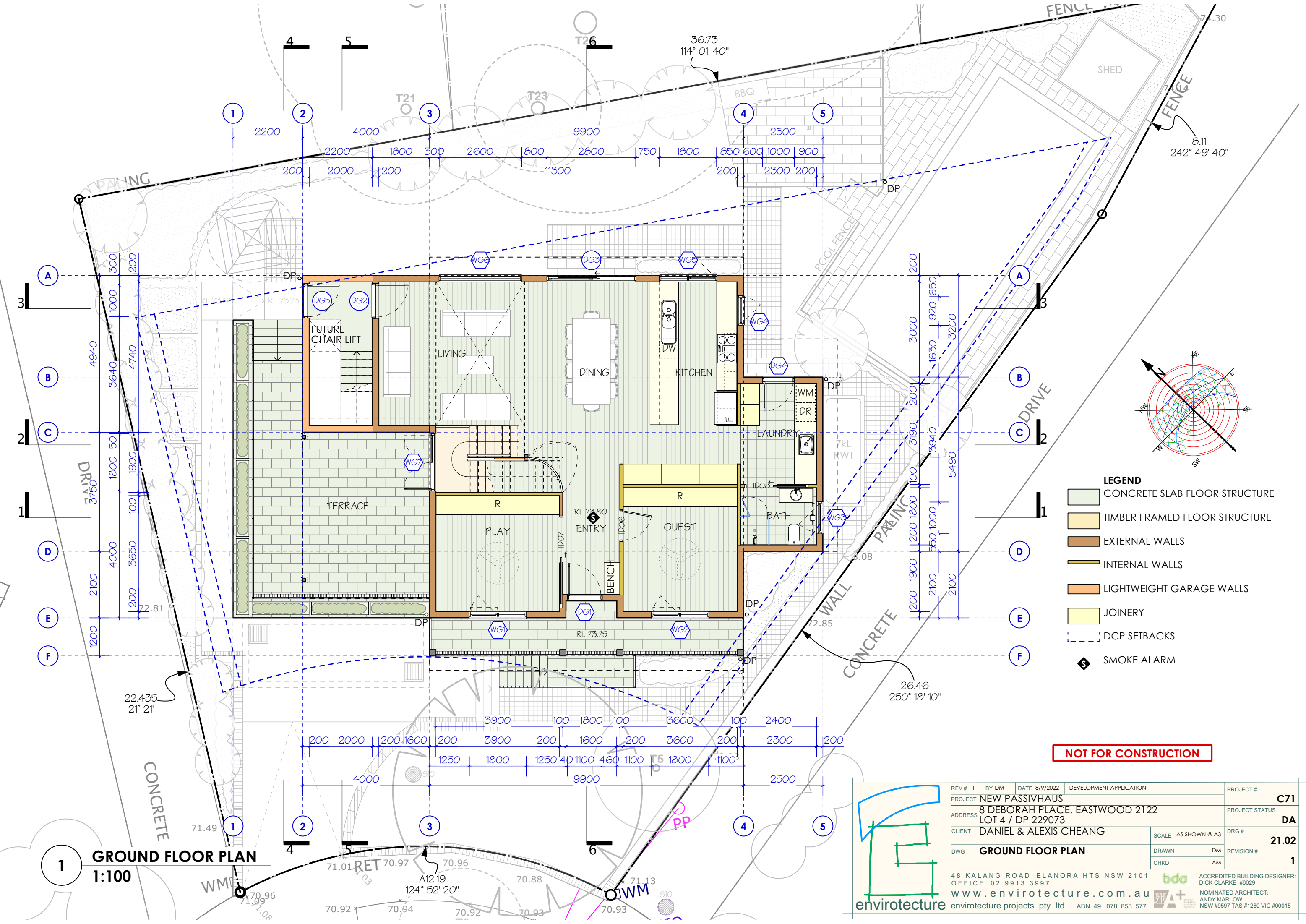




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PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	21.01
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	GARAGE FLOOR PLAN			SCALE	AS SHOWN @ A3
				DRAWN	DM
				CHKD	AM
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotecture.com.au				NOMINATED ARCHITECT:	
envirotecture projects pty ltd				ANDY MARLOW	
ABN 49 078 853 577				NSW #9597 TAS #1280 VIC #00015	



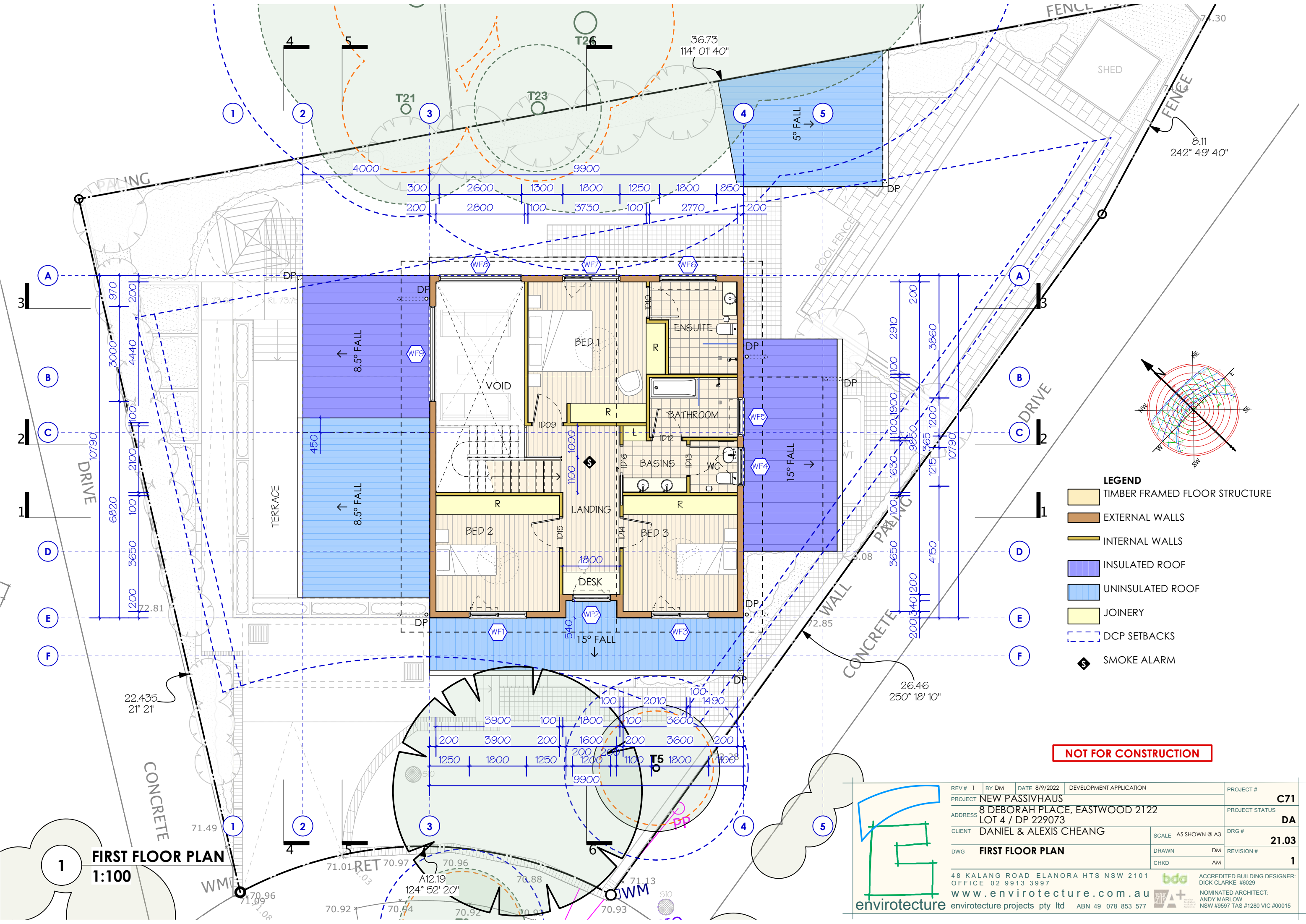


GROUND FLOOR PLAN  
1:100

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PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	21.02
CLIENT	DANIEL & ALEXIS CHEANG	SCALE	AS SHOWN @ A3	REVISION #	1
DWG	GROUND FLOOR PLAN	DRAWN	DM		
		CHKD	AM		
48 KALANG ROAD ELANORA HTS NSW 2101 OFFICE 02 9913 3997 www.envirotecture.com.au				ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029 NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015	
envirotecture projects pty ltd				ABN 49 078 853 577	

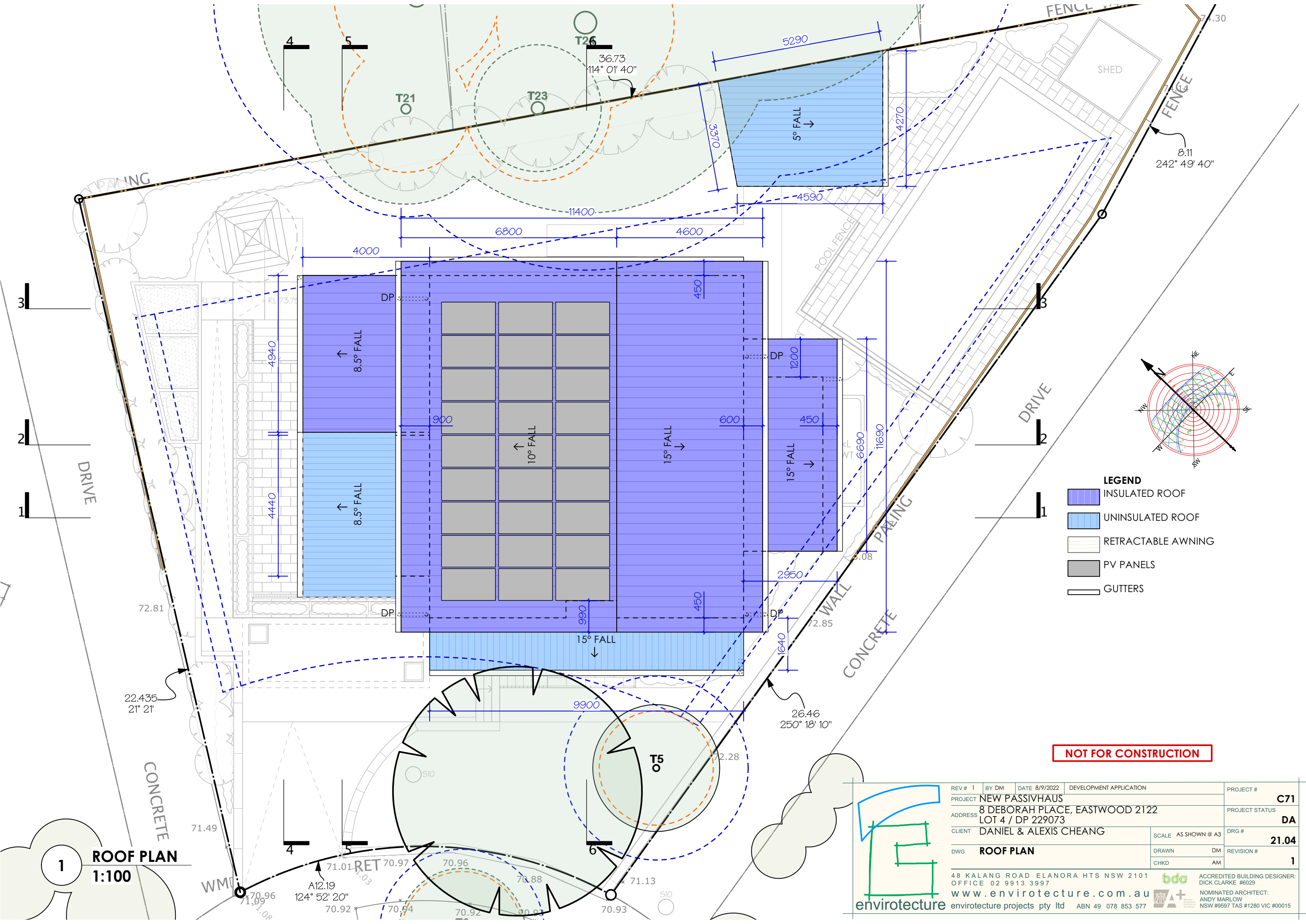




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PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	21.03
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	FIRST FLOOR PLAN			SCALE	AS SHOWN @ A3
				DRAWN	DM
				CHKD	AM
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotecture.com.au				NOMINATED ARCHITECT:	
envirotecture projects pty ltd ABN 49 078 853 577				ANDY MARLOW	
				NSW #9597 TAS #1280 VIC #00015	





1  
**ROOF PLAN**  
1:100

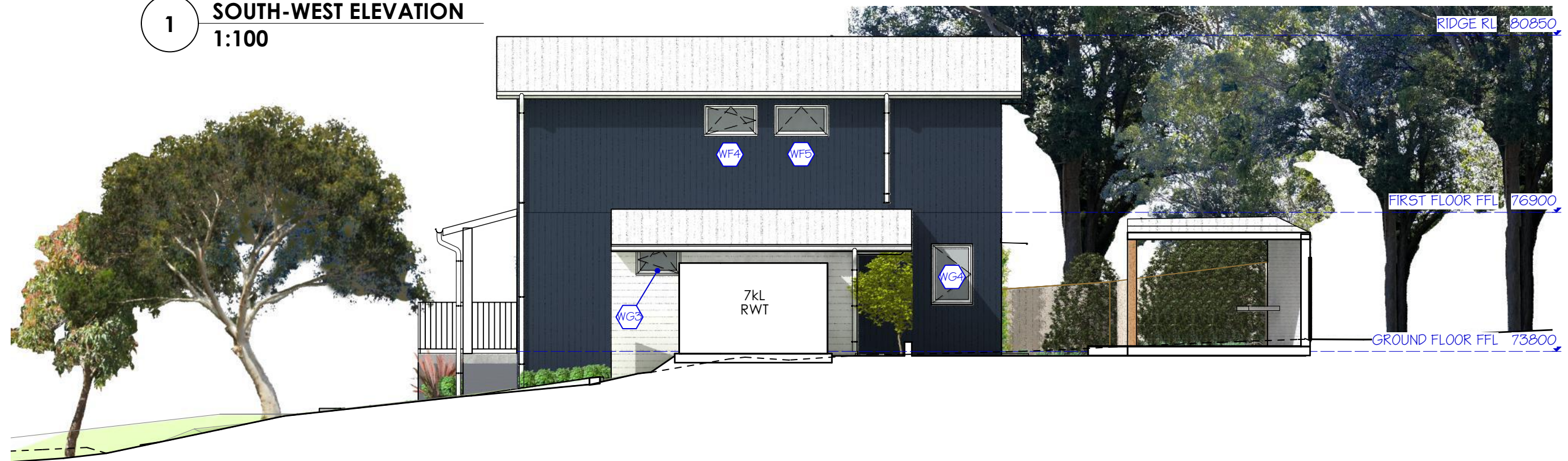
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PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	21.04
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	ROOF PLAN			SCALE	AS SHOWN @ A3
				DRAWN	DM
				CHKD	AM
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotecture.com.au				NOMINATED ARCHITECT:	
envirotecture projects pty ltd				ANDY MARLOW	
ABN 49 078 853 577				NSW #9597 TAS #1280 VIC #00015	





1 SOUTH-WEST ELEVATION  
1:100



2 SOUTH-EAST ELEVATION  
1:100

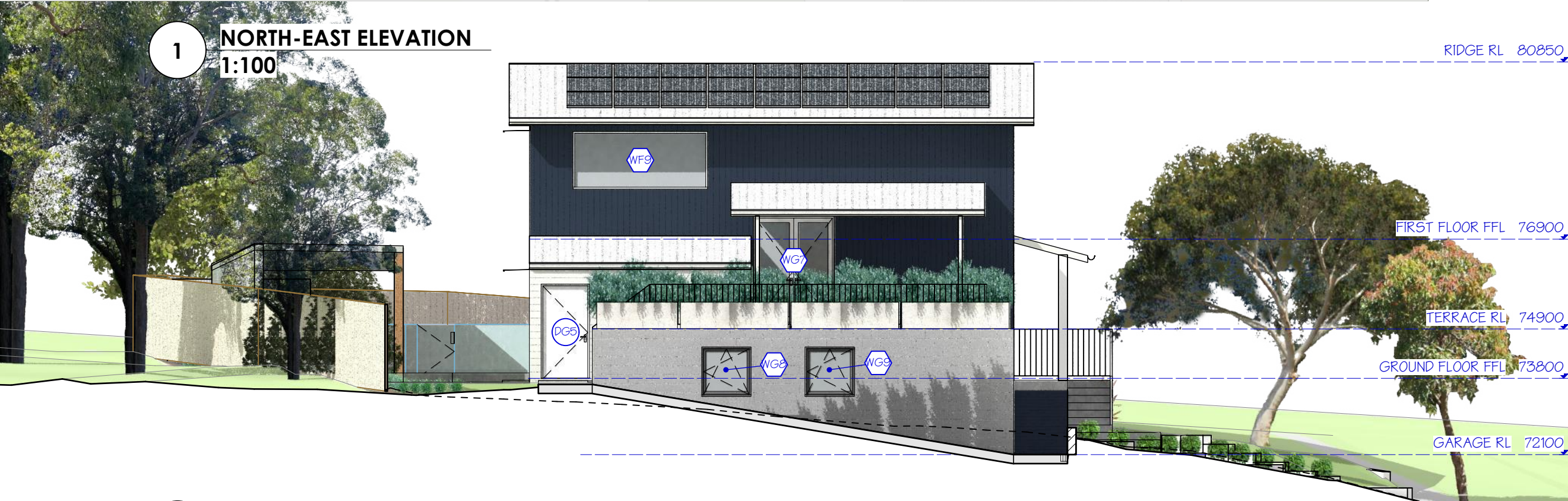
- LEGEND**
- WEATHERTEX  
ECOGROOVE SMOOTH 150mm  
PAINTED, TO MATCH SURFMIST
- WEATHERTEX  
WEATHERGROOVE SMOOTH 150mm  
PAINTED, DARK BLUE
- WINDOW
- DOOR

REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	30.01
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	ELEVATIONS 1			SCALE	AS SHOWN @ A3
				DRAWN	DM
				CHKD	AM
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotecture.com.au				NOMINATED ARCHITECT:	
envirotecture projects pty ltd ABN 49 078 853 577				ANDY MARLOW	
				NSW #9597 TAS #1280 VIC #00015	





1 NORTH-EAST ELEVATION  
1:100



2 NORTH WEST ELEVATION  
1:100

**LEGEND**

WEATHERTEX  
ECOGROOVE SMOOTH 150mm  
PAINTED, TO MATCH SURFMIST

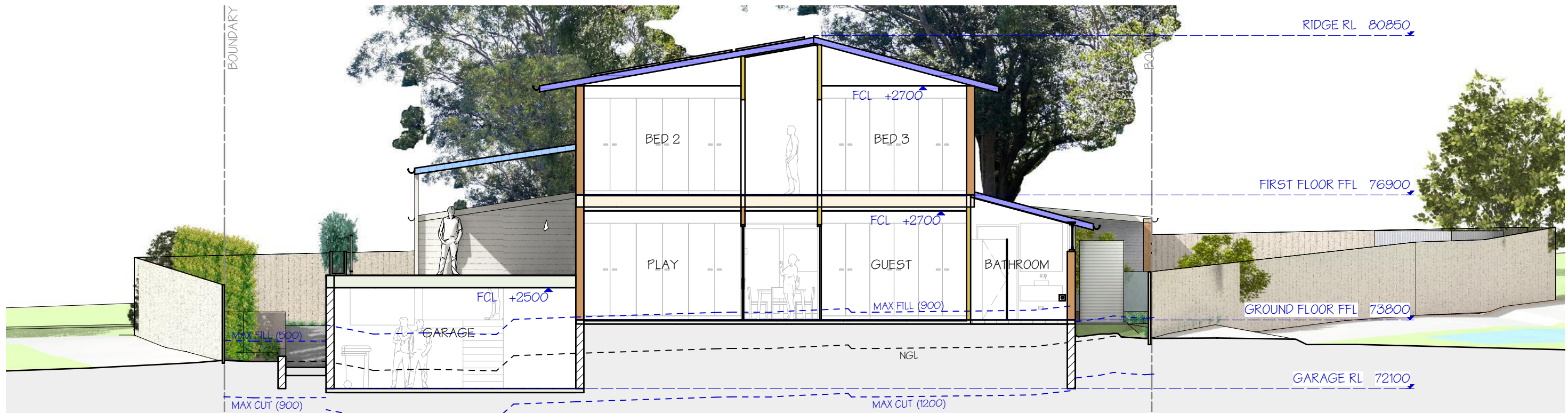
WEATHERTEX  
WEATHERGROOVE SMOOTH 150mm  
PAINTED, DARK BLUE

WINDOW

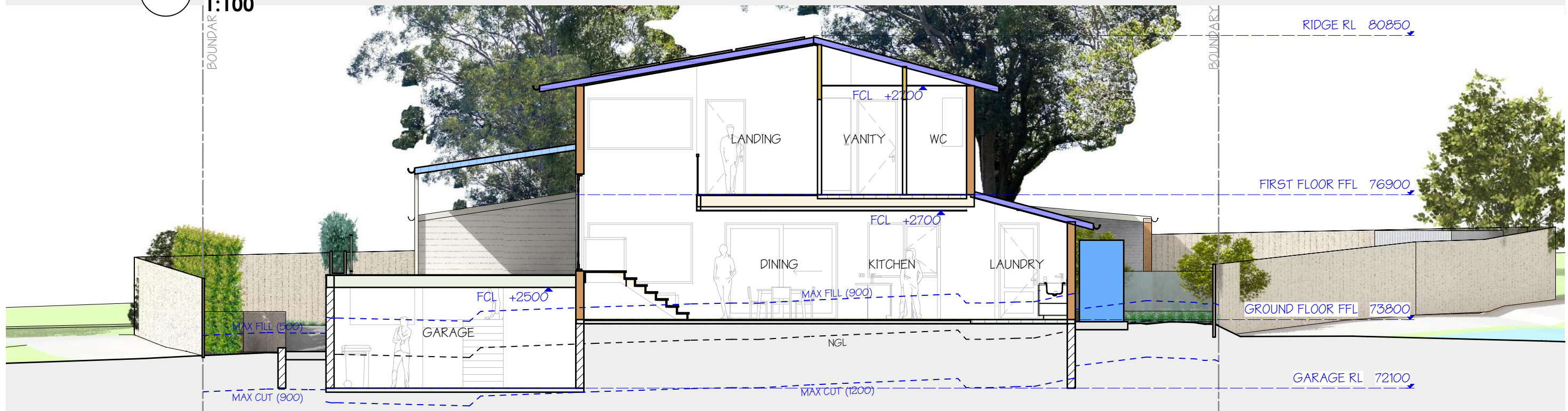
DOOR

REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	30.02
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	ELEVATIONS 2			SCALE	AS SHOWN @ A3
			DRAWN	DM	
			CHKD	AM	
48 KALANG ROAD ELANORA HTS NSW 2101			bda		
OFFICE 02 9913 3997			ACCREDITED BUILDING DESIGNER:		
www.envirotecture.com.au			DICK CLARKE #6029		
envirotecture projects pty ltd			NOMINATED ARCHITECT:		
ABN 49 078 853 577			ANDY MARLOW		
			NSW #9597 TAS #1280 VIC #00015		





1 SECTION 1  
1:100

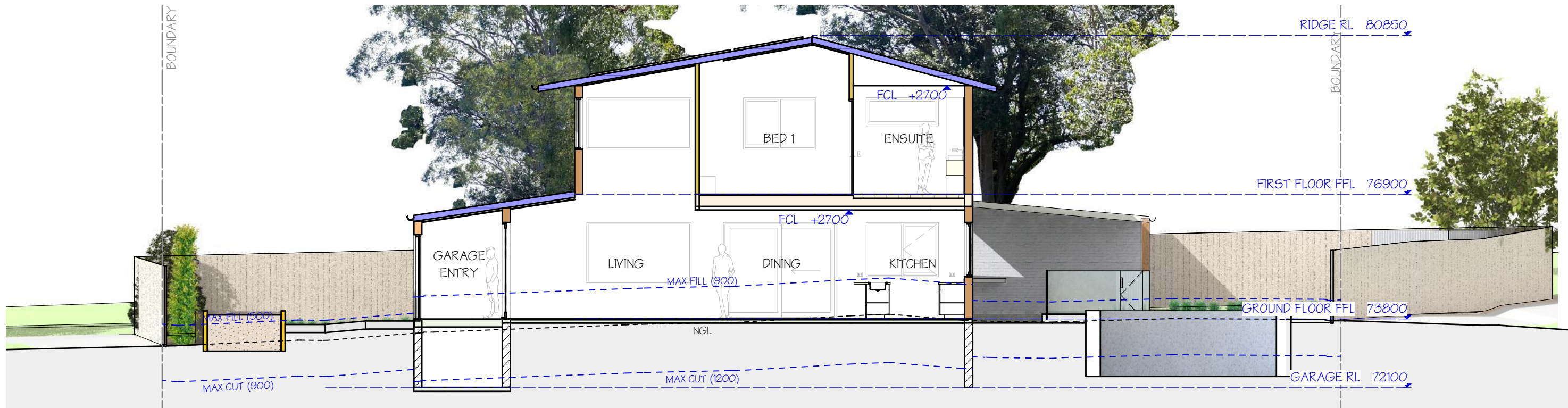


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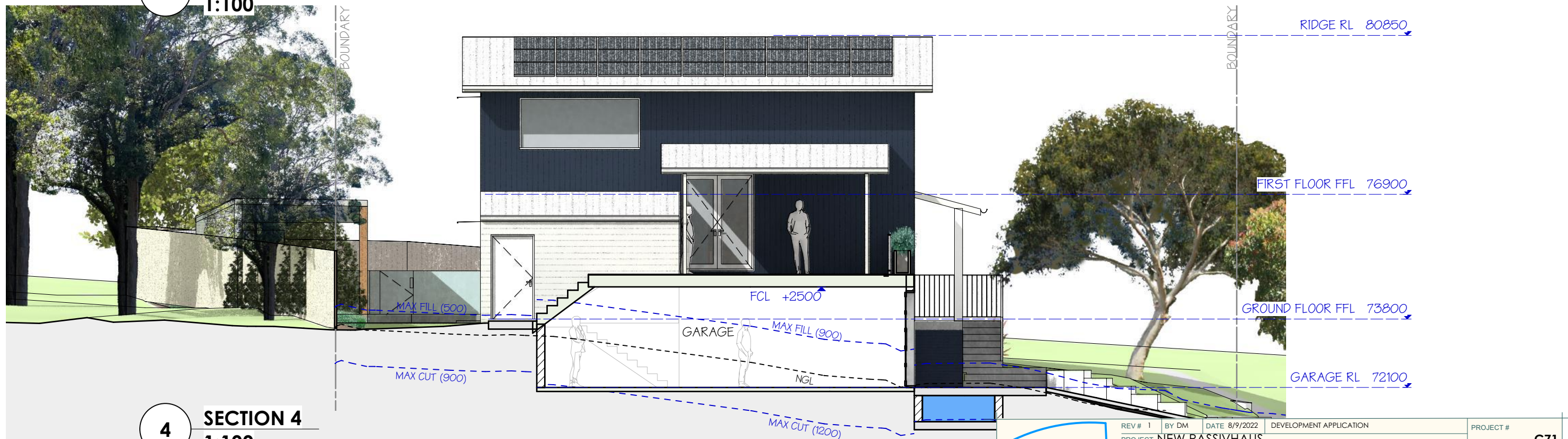
- LEGEND**
- ROOF: BONDOR METECNOSPAN PIR  
 $U=0.204 \text{ W/(m}^2\text{K)}$
  - FIRST FLOOR: CARBONLITE PANELS. FLOORING AS SPECIFIED.
  - CONCRETE SLAB: CONCRETE SLAB TO ENGINEERS SPECS.  
 $U=2.603 \text{ W/(m}^2\text{K)}$
  - EXTERNAL WALLS: EXTERNAL CLADDING AS SHOWN ON ELEVATIONS, PANELS BY CARBONLITE, PLASTERBOARD INTERNAL LINING (OR FC SHEET IN WET AREAS).  
 $U=0.281 \text{ W/(m}^2\text{K)}$
  - INTERNAL WALLS: PANELS BY CARBONLITE, CLAD EACH SIDE WITH PLASTERBOARD (OR FC SHEET IN WET AREAS).
  - JOINERY
  - OSD / WATER TANKS

REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
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ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	40.01
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	SECTIONS 1 & 2			SCALE	AS SHOWN @ A3
				DRAWN	DM
				CHKD	AM
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotecture.com.au				NOMINATED ARCHITECT:	
envirotecture projects pty ltd ABN 49 078 853 577				ANDY MARLOW	
				NSW #9597 TAS #1280 VIC #00015	












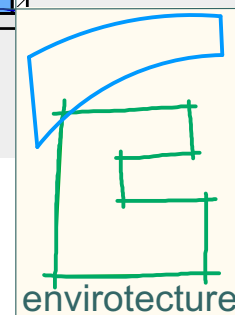
3 SECTION 3  
1:100



4 SECTION 4  
1:100

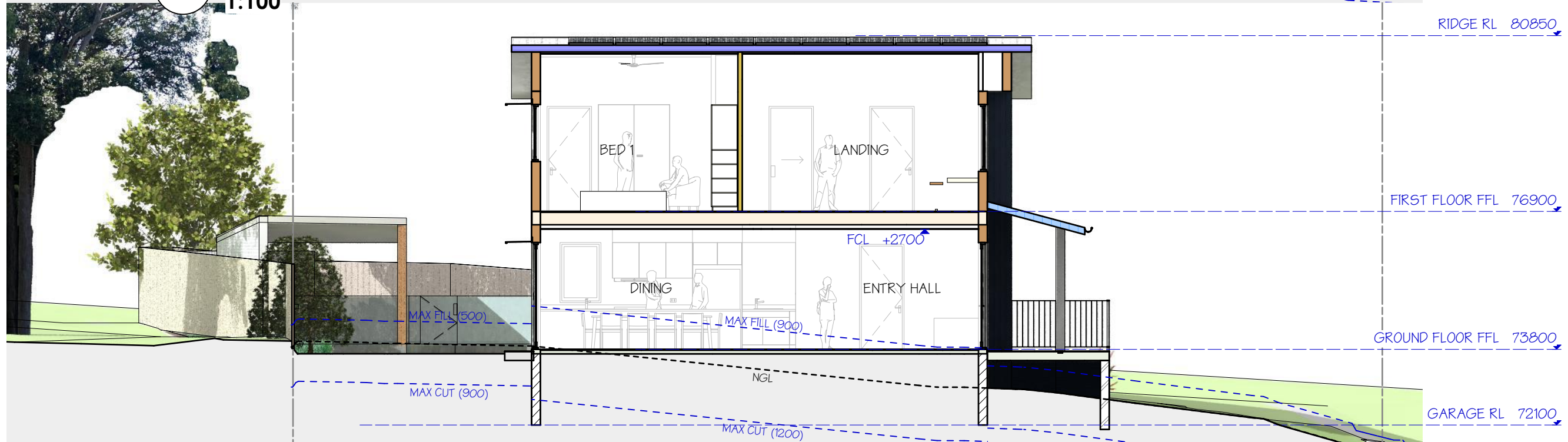
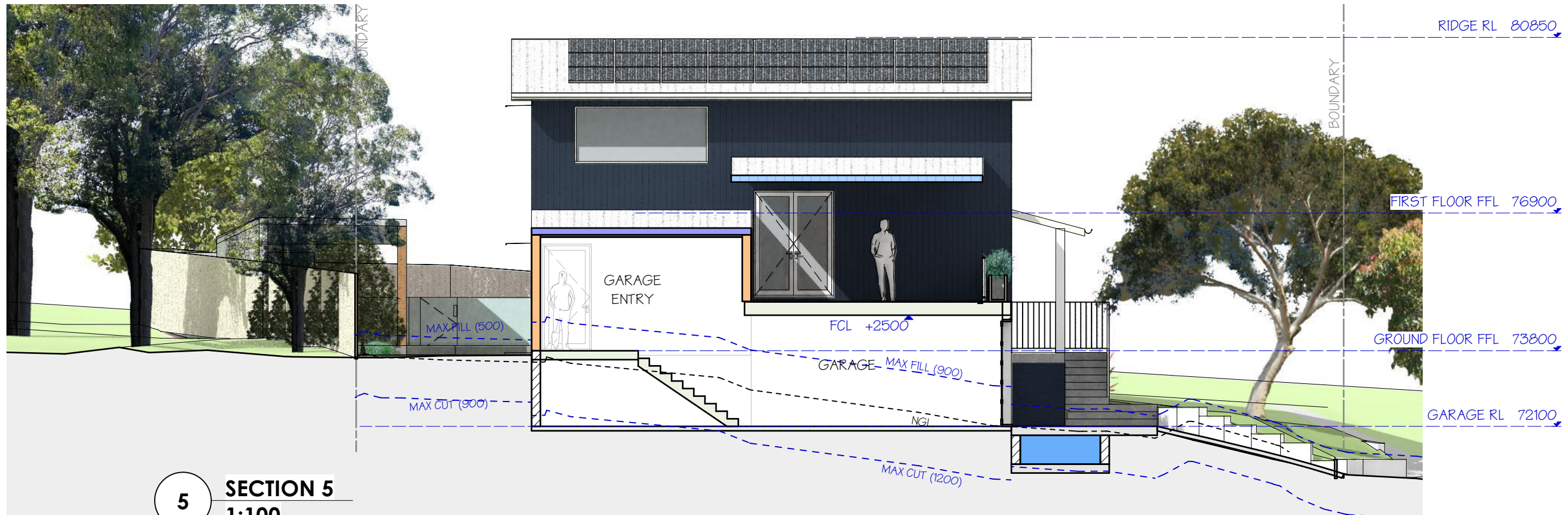
LEGEND

- |  |   |   |
|--|---|---|
|  ROOF: BONDOR METECNOSPAN PIR<br>$U=0.204 \text{ W/(m}^2\text{K)}$                     |  EXTERNAL WALLS: EXTERNAL CLADDING AS SHOWN ON ELEVATIONS, PANELS BY CARBONLITE, PLASTERBOARD INTERNAL LINING (OR FC SHEET IN WET AREAS).<br>$U=0.281 \text{ W/(m}^2\text{K)}$ |  OSD / WATER TANKS |
|  FIRST FLOOR: CARBONLITE PANELS. FLOORING AS SPECIFIED.                                |  INTERNAL WALLS: PANELS BY CARBONLITE, CLAD EACH SIDE WITH PLASTERBOARD (OR FC SHEET IN WET AREAS).  |   |
|  CONCRETE SLAB: CONCRETE SLAB TO ENGINEERS SPECS.<br>$U=2.603 \text{ W/(m}^2\text{K)}$ |  JOINERY   |   |










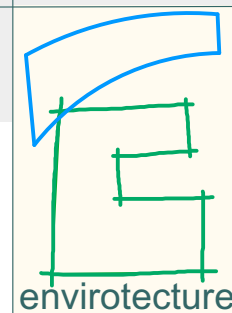
REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	40.02
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	SECTIONS 3 & 4			SCALE	AS SHOWN @ A3
	DRAWN	DM			
	CHKD	AM			
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotecture.com.au				NOMINATED ARCHITECT:	
envirotecture projects pty ltd ABN 49 078 853 577				ANDY MARLOW	
				NSW #9597 TAS #1280 VIC #00015	





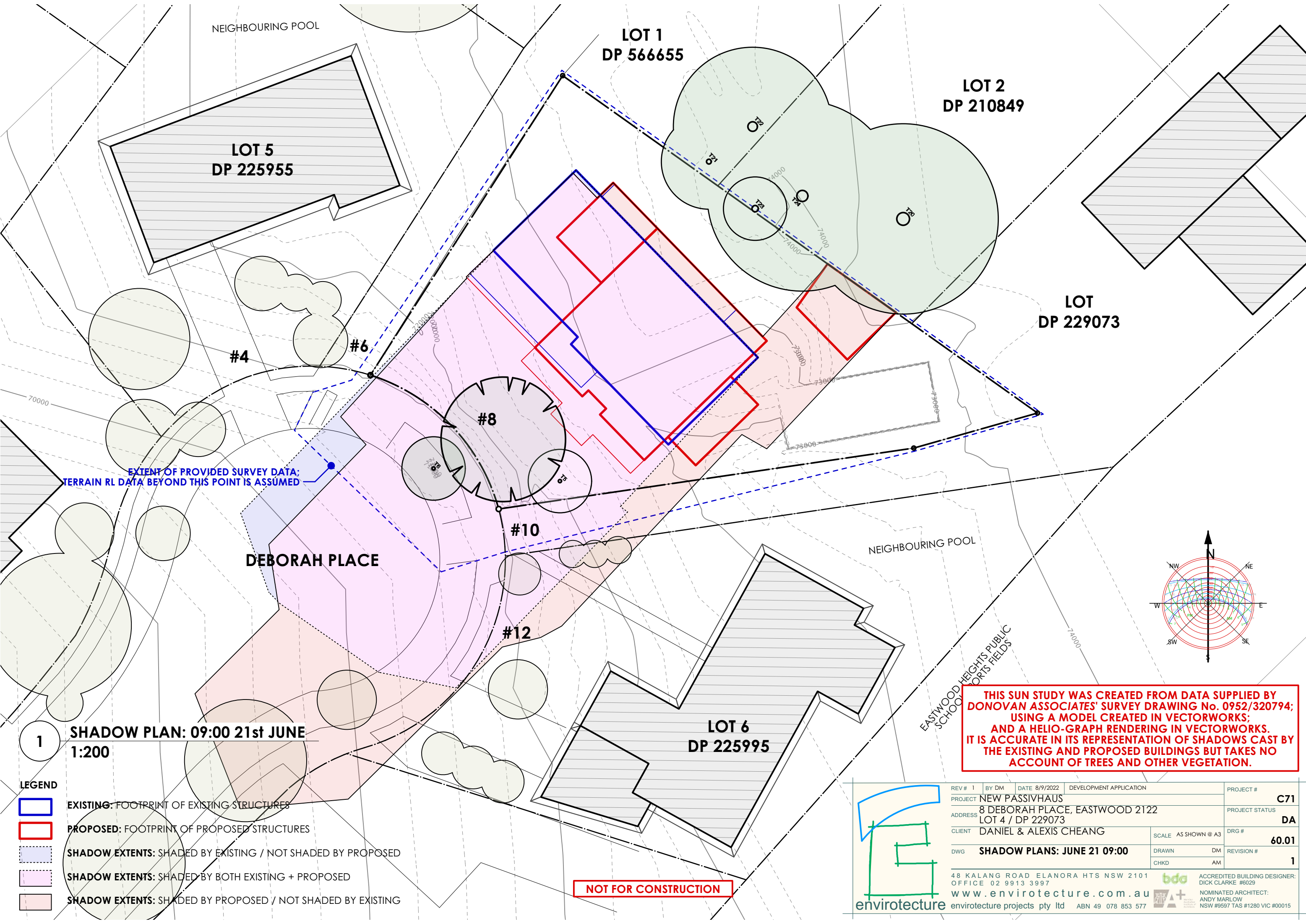
LEGEND

- |  |   |   |
|--|---|---|
|  ROOF: BONDOR METECNOSPAN PIR<br>$U=0.204 \text{ W/(m}^2\text{K)}$                     |  EXTERNAL WALLS: EXTERNAL CLADDING AS SHOWN ON ELEVATIONS, PANELS BY CARBONLITE, PLASTERBOARD INTERNAL LINING (OR FC SHEET IN WET AREAS).<br>$U=0.281 \text{ W/(m}^2\text{K)}$ |  OSD / WATER TANKS |
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|  CONCRETE SLAB: CONCRETE SLAB TO ENGINEERS SPECS.<br>$U=2.603 \text{ W/(m}^2\text{K)}$ |  JOINERY   |   |



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ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	40.03
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	SECTIONS 5 & 6			SCALE	AS SHOWN @ A3
	DRAWN	DM	CHKD	AM	
48 KALANG ROAD, ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotecture.com.au				NOMINATED ARCHITECT:	
envirotecture projects pty ltd ABN 49 078 853 577				ANDY MARLOW	
				NSW #9597 TAS #1280 VIC #00015	





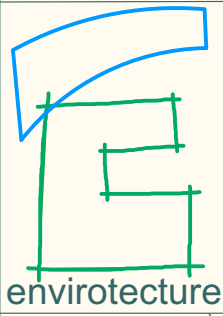
EXTENT OF PROVIDED SURVEY DATA;  
TERRAIN RL DATA BEYOND THIS POINT IS ASSUMED

1 **SHADOW PLAN: 09:00 21st JUNE**  
1:200


- LEGEND**
- EXISTING:** FOOTPRINT OF EXISTING STRUCTURES
  - PROPOSED:** FOOTPRINT OF PROPOSED STRUCTURES
  - SHADOW EXTENTS:** SHADED BY EXISTING / NOT SHADED BY PROPOSED
  - SHADOW EXTENTS:** SHADED BY BOTH EXISTING + PROPOSED
  - SHADOW EXTENTS:** SHADED BY PROPOSED / NOT SHADED BY EXISTING

**NOT FOR CONSTRUCTION**

**THIS SUN STUDY WAS CREATED FROM DATA SUPPLIED BY DONOVAN ASSOCIATES' SURVEY DRAWING No. 0952/320794; USING A MODEL CREATED IN VECTORWORKS; AND A HELIO-GRAPH RENDERING IN VECTORWORKS. IT IS ACCURATE IN ITS REPRESENTATION OF SHADOWS CAST BY THE EXISTING AND PROPOSED BUILDINGS BUT TAKES NO ACCOUNT OF TREES AND OTHER VEGETATION.**



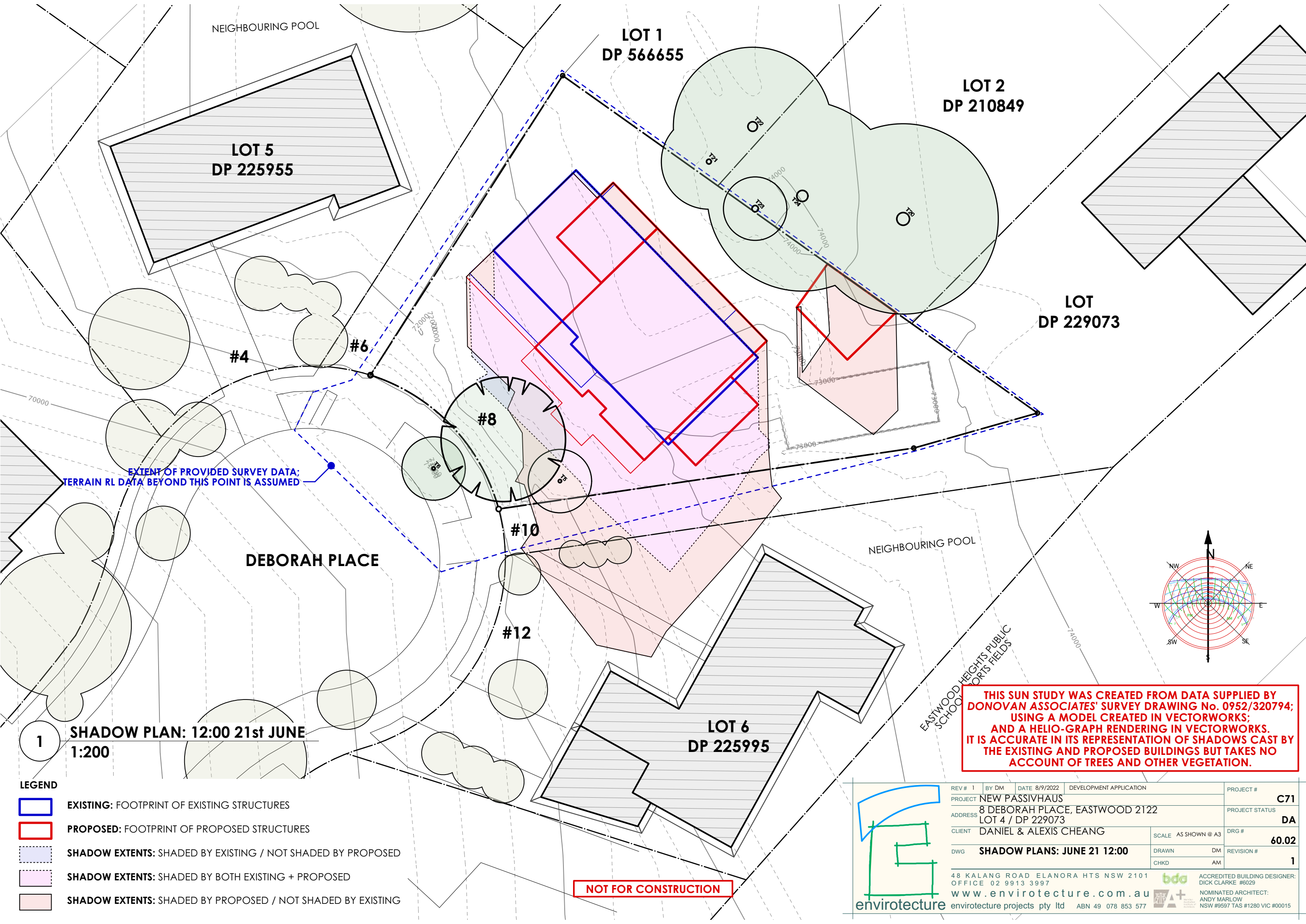
REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT NEW PASSIVHAUS				PROJECT STATUS	DA
ADDRESS 8 DEBORAH PLACE, EASTWOOD 2122				DRG #	60.01
LOT 4 / DP 229073				REVISION #	1
CLIENT DANIEL & ALEXIS CHEANG				SCALE AS SHOWN @ A3	
DWG SHADOW PLANS: JUNE 21 09:00				DRAWN DM	
				CHKD AM	
48 KALANG ROAD ELANORA HTS NSW 2101					
OFFICE 02 9913 3997					
www.envirotecture.com.au					
envirotecture projects pty ltd ABN 49 078 853 577					



ACCREDITED BUILDING DESIGNER:  
DICK CLARKE #6029

NOMINATED ARCHITECT:  
ANDY MARLOW  
NSW #9597 TAS #1280 VIC #00015





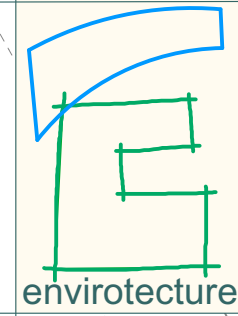
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**SHADOW PLAN: 12:00 21st JUNE**  
**1:200**

- LEGEND**
- EXISTING:** FOOTPRINT OF EXISTING STRUCTURES
  - PROPOSED:** FOOTPRINT OF PROPOSED STRUCTURES
  - SHADOW EXTENTS:** SHADED BY EXISTING / NOT SHADED BY PROPOSED
  - SHADOW EXTENTS:** SHADED BY BOTH EXISTING + PROPOSED
  - SHADOW EXTENTS:** SHADED BY PROPOSED / NOT SHADED BY EXISTING

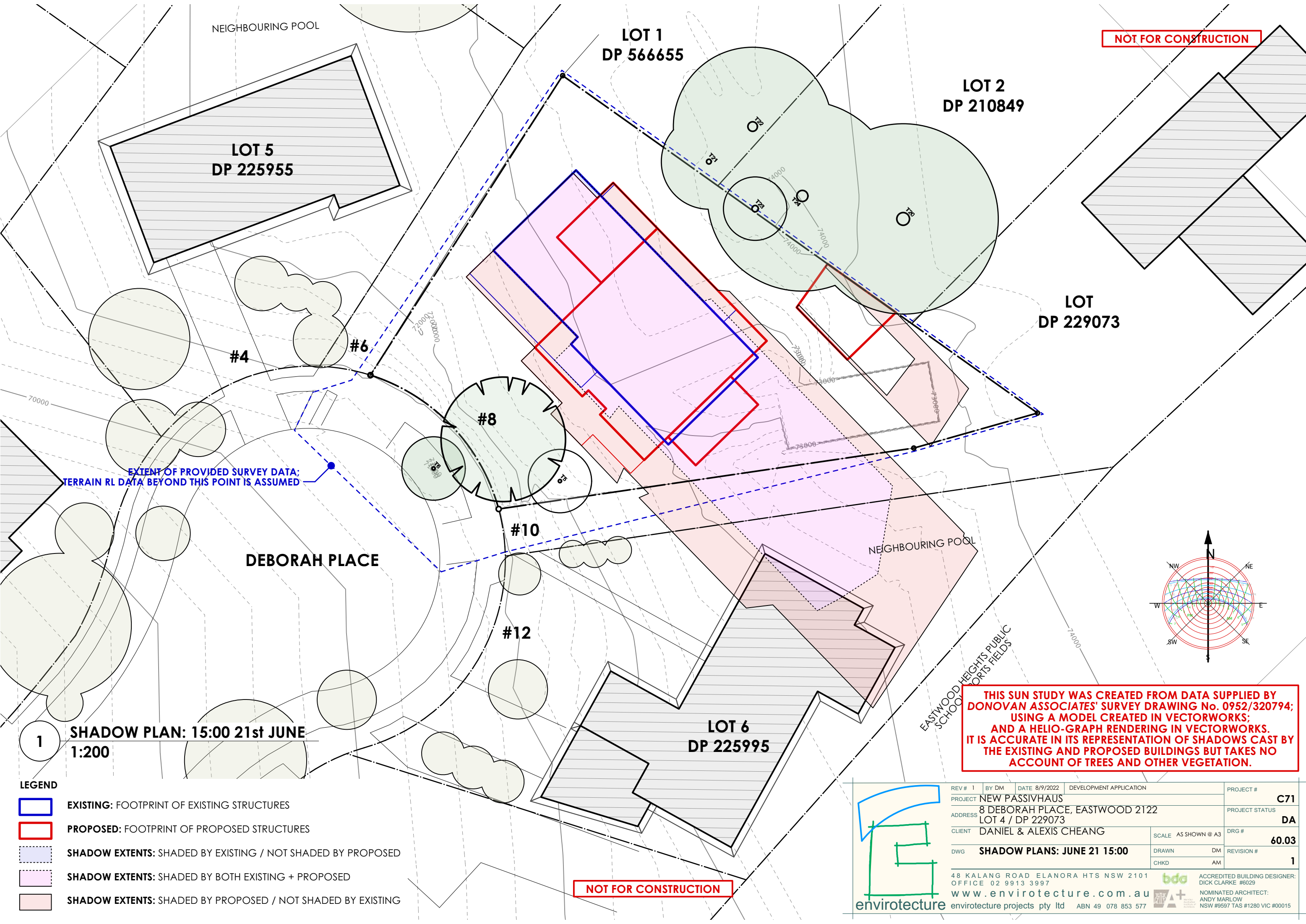
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REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT NEW PASSIVHAUS				PROJECT STATUS	DA
ADDRESS 8 DEBORAH PLACE, EASTWOOD 2122				DRG #	60.02
LOT 4 / DP 229073				REVISION #	1
CLIENT	DANIEL & ALEXIS CHEANG			SCALE	AS SHOWN @ A3
DWG	SHADOW PLANS: JUNE 21 12:00			DRAWN	DM
				CHKD	AM
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029	
OFFICE 02 9913 3997				NOMINATED ARCHITECT: ANDY MARLOW	
www.envirotecture.com.au				NSW #9597 TAS #1280 VIC #00015	
envirotecture projects pty ltd				ABN 49 078 853 577	





NOT FOR CONSTRUCTION

LOT 1  
DP 566655

LOT 2  
DP 210849

LOT 5  
DP 225955

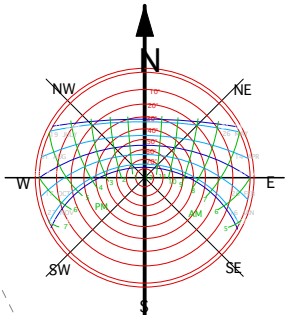
LOT  
DP 229073

LOT 6  
DP 225995

DEBORAH PLACE

NEIGHBOURING POOL

EASTWOOD HEIGHTS PUBLIC  
SCHOOL SPORTS FIELDS

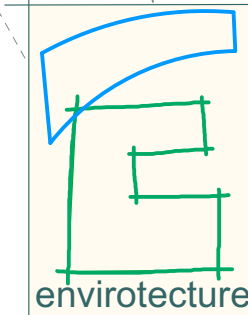


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THE EXISTING AND PROPOSED BUILDINGS BUT TAKES NO  
ACCOUNT OF TREES AND OTHER VEGETATION.

1 SHADOW PLAN: 15:00 21st JUNE  
1:200

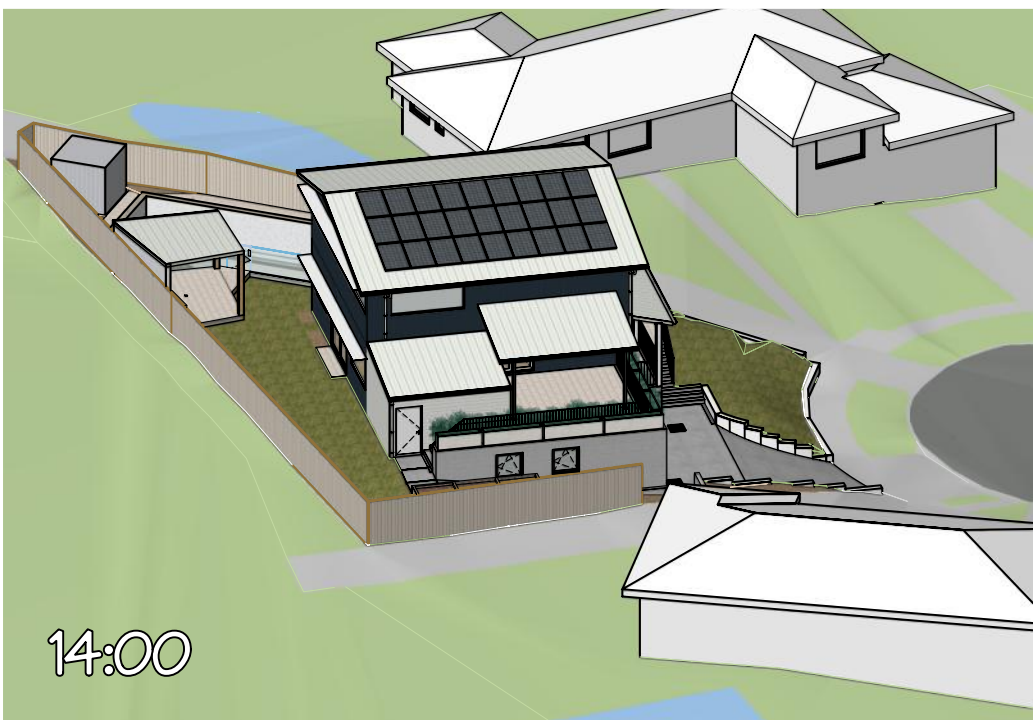
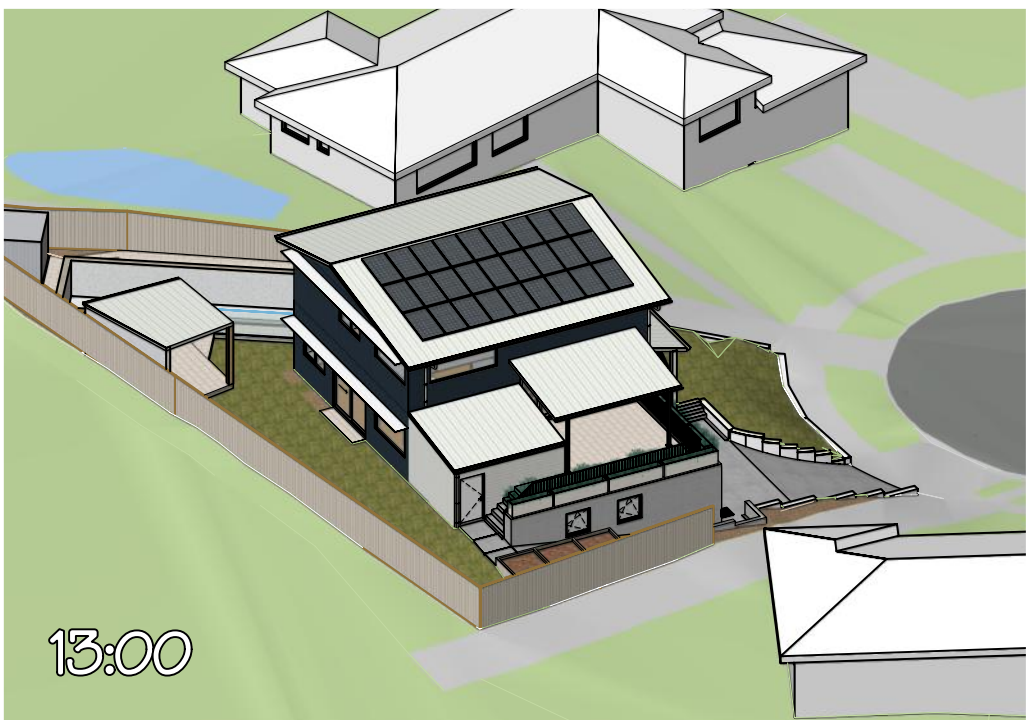
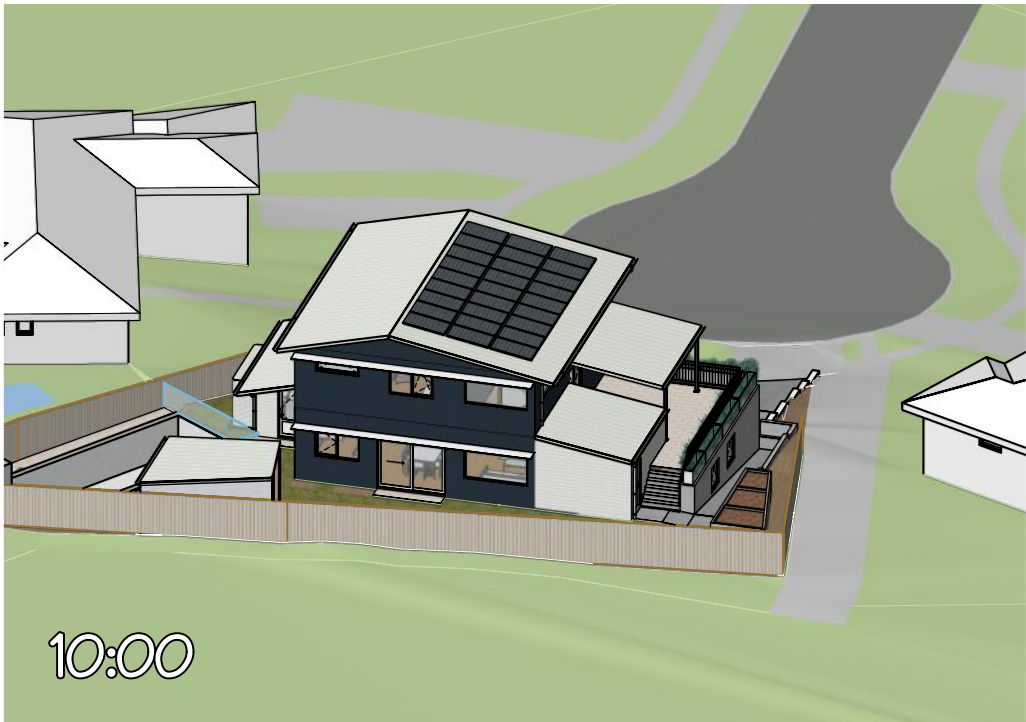
- LEGEND
- EXISTING: FOOTPRINT OF EXISTING STRUCTURES
  - PROPOSED: FOOTPRINT OF PROPOSED STRUCTURES
  - SHADOW EXTENTS: SHADED BY EXISTING / NOT SHADED BY PROPOSED
  - SHADOW EXTENTS: SHADED BY BOTH EXISTING + PROPOSED
  - SHADOW EXTENTS: SHADED BY PROPOSED / NOT SHADED BY EXISTING

NOT FOR CONSTRUCTION



REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	60.03
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	SHADOW PLANS: JUNE 21 15:00			SCALE	AS SHOWN @ A3
				DRAWN	DM
				CHKD	AM
48 KALANG ROAD, ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotexture.com.au				NOMINATED ARCHITECT:	
envirotexture projects pty ltd ABN 49 078 853 577				ANDY MARLOW	
				NSW #9597 TAS #1280 VIC #00015	

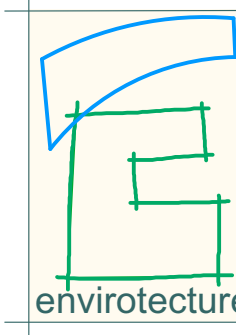




SOLAR VIEWS ON JUNE 21<sup>st</sup>  
OF PROPOSED DWELLING

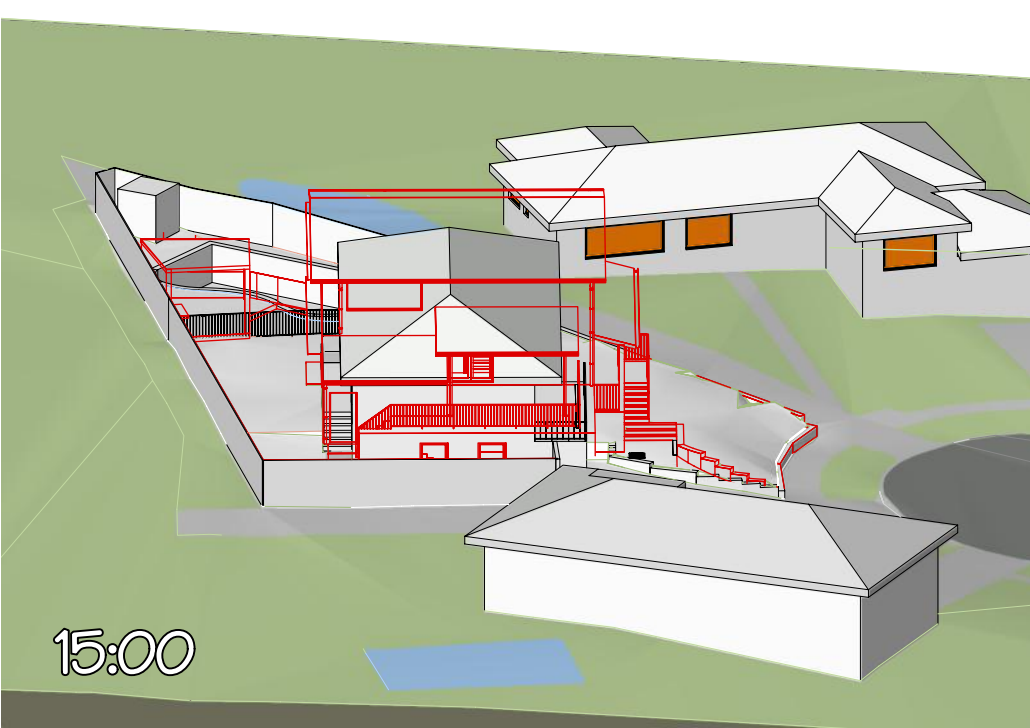
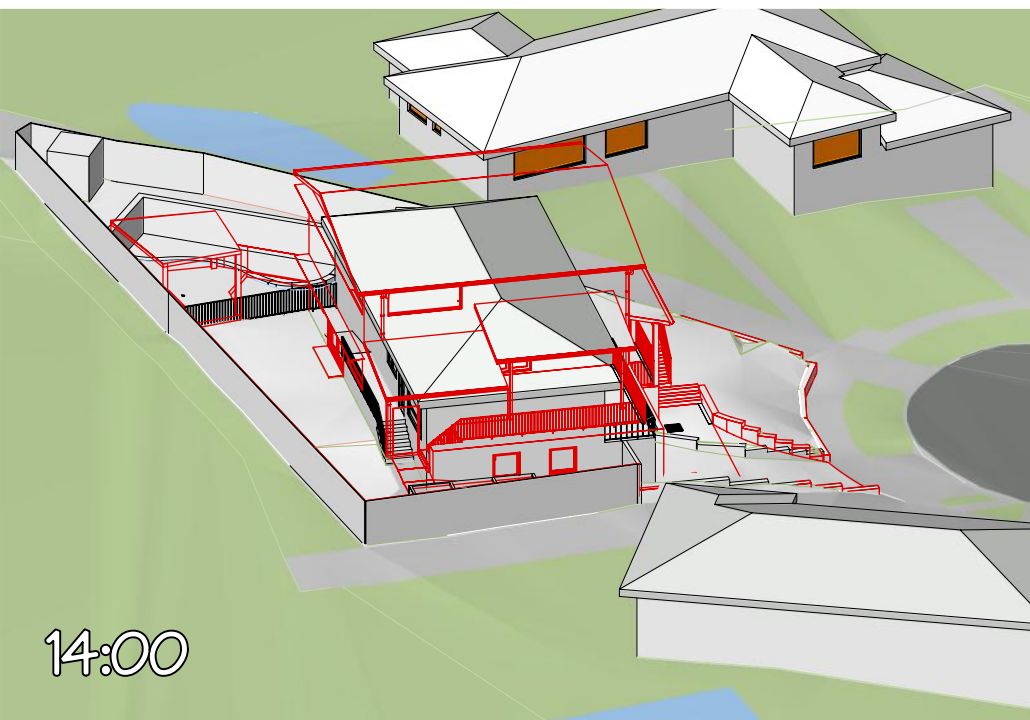
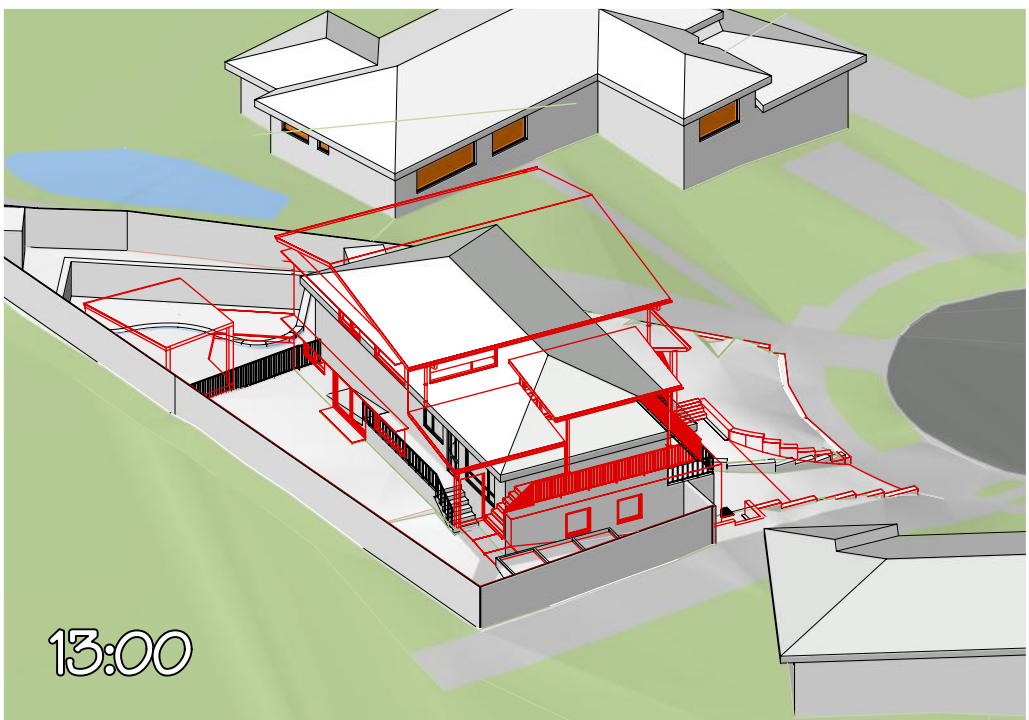
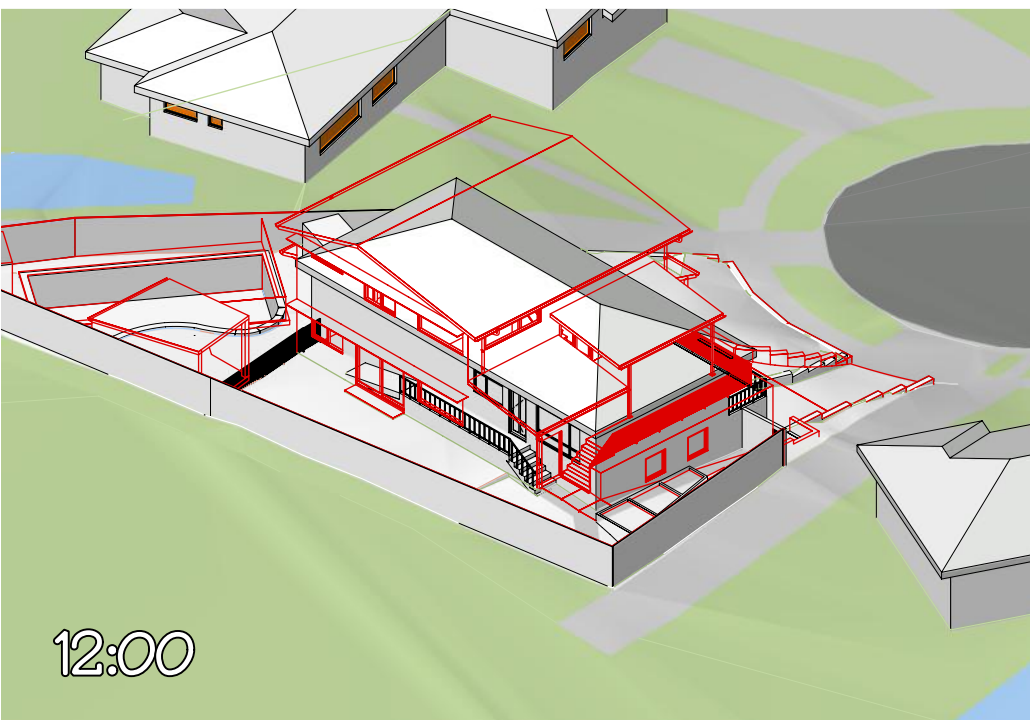
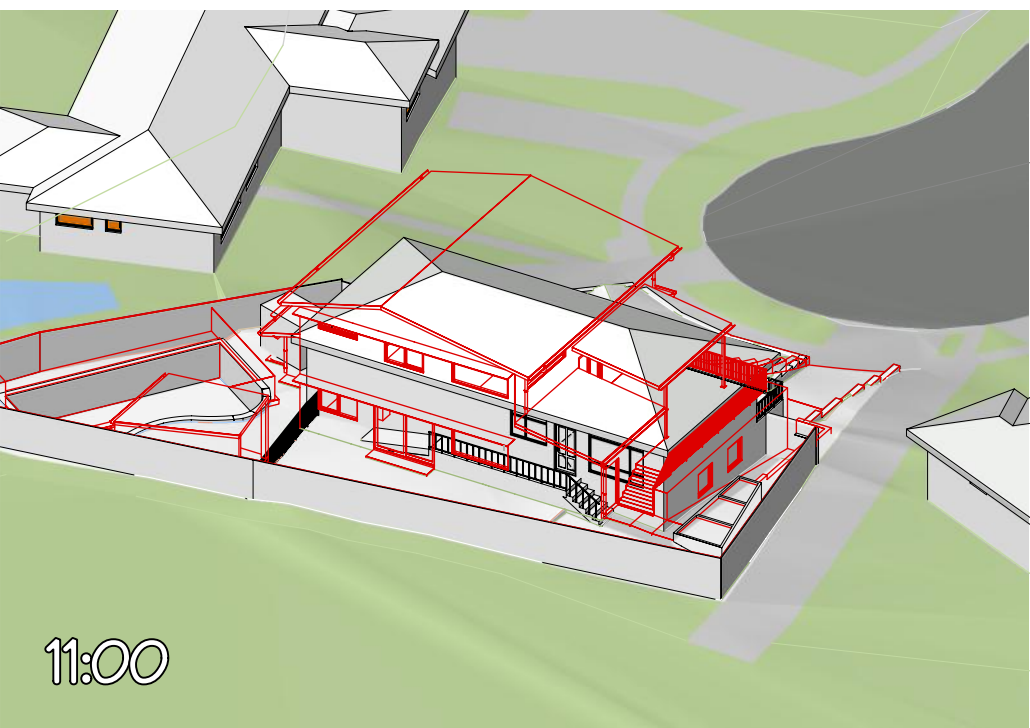
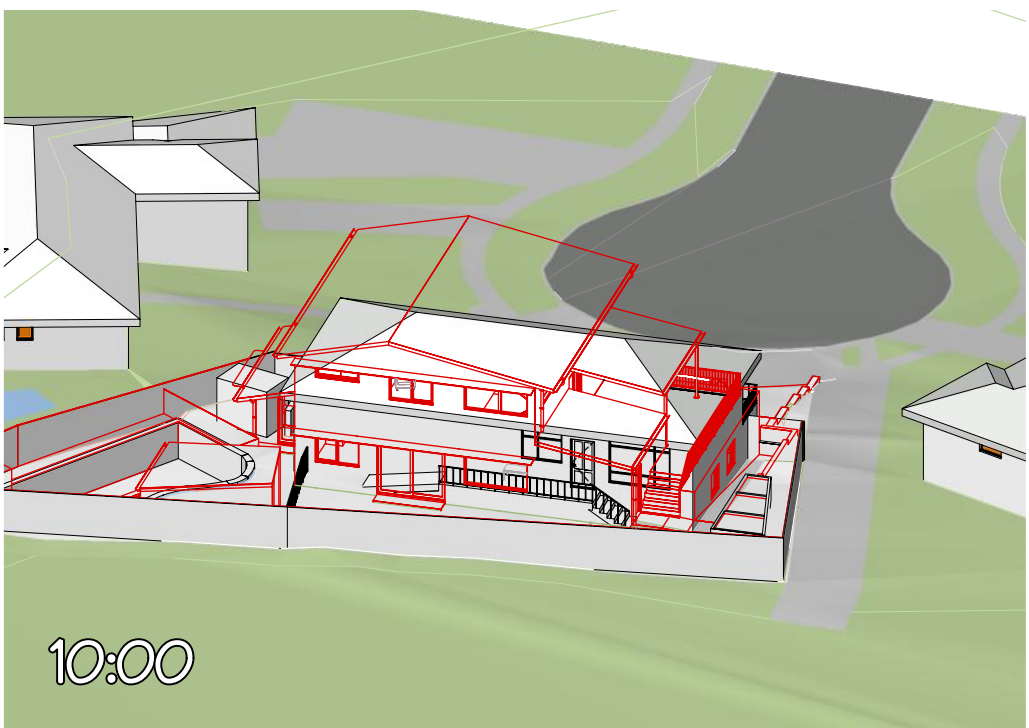
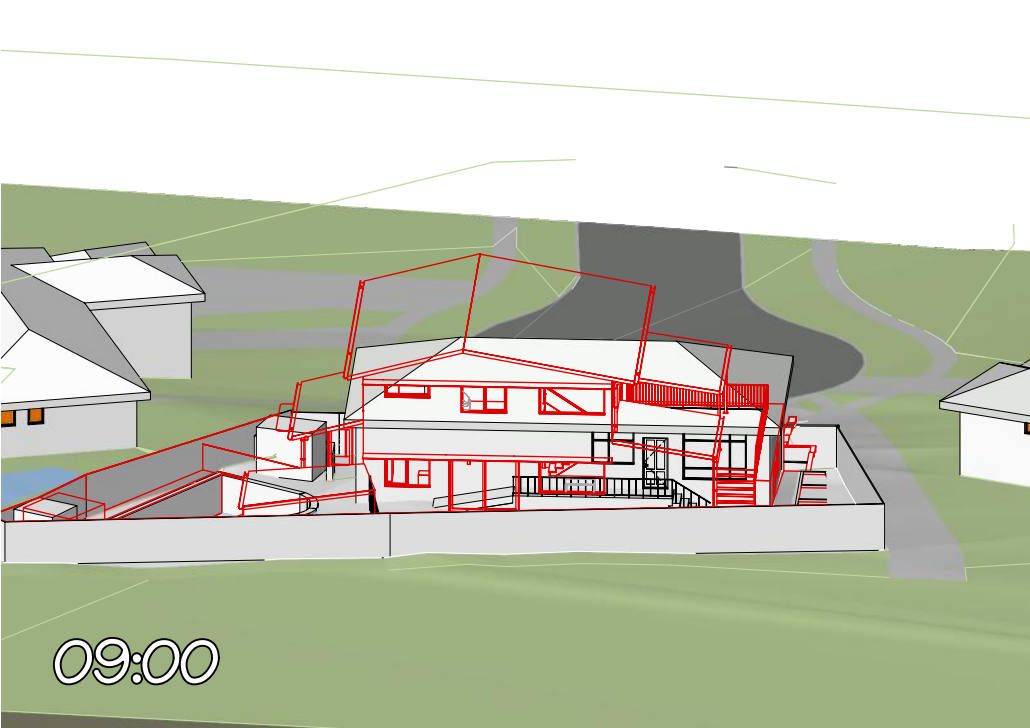
NOT FOR CONSTRUCTION

THIS SUN STUDY WAS CREATED FROM DATA SUPPLIED BY  
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THE EXISTING AND PROPOSED BUILDINGS BUT TAKES NO  
ACCOUNT OF TREES AND OTHER VEGETATION.



REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT NEW PASSIVHAUS				PROJECT STATUS	DA
ADDRESS 8 DEBORAH PLACE, EASTWOOD 2122				DRG #	60.04
LOT 4 / DP 229073				REVISION #	1
CLIENT	DANIEL & ALEXIS CHEANG			SCALE	AS SHOWN @ A3
DWG	SOLAR VIEWS - PROPOSED			DRAWN	DM
			CHKD	AM	
48 KALANG ROAD ELANORA HTS NSW 2101 OFFICE 02 9913 3997 www.envirotecture.com.au				ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029 NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015	
envirotecture projects pty ltd				ABN 49 078 853 577	





SOLAR VIEWS ON JUNE 21st  
OF EXISTING DWELLING

PROPOSED DWELLING SHOWN IN RED OUTLINE.

ANYTHING OBSCURED BY THE PROPOSED  
OUTLINE WILL BE IN SHADOW.

- LEGEND
- NEIGHBOURING DWELLING WINDOWS
  - OUTLINE OF PROPOSED

NOT FOR CONSTRUCTION

THIS SUN STUDY WAS CREATED FROM DATA SUPPLIED BY  
DONOVAN ASSOCIATES' SURVEY DRAWING No. 0952/320794;  
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REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	60.05
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	SOLAR VIEWS - COMPARISON w/ EXISTING			SCALE	AS SHOWN @ A3
48 KALANG ROAD ELANORA HTS NSW 2101			DRAWN	DM	
OFFICE 02 9913 3997			CHKD	AM	
www.envirotecture.com.au			bda		
envirotecture projects pty ltd			ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029		
ABN 49 078 853 577			NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015		



Waste Minimisation Tips for Builders

Before You Start Building

Plan your site to reduce waste at the different stages:

\*Demolition/Excavation;

\*Building Structure;

\*Envelope;

\*Interior Fit Out;

\*Finishing

Insert clauses in sub-contractors contracts so you make them:

\*follow your site waste management plan;

\*responsible for their waste

\*If the job is large, allocate staff to implement parts of the site waste management plan

Research new practices and materials that reduce wastage

Plan ahead thenumber of skips you intend to use and your total waste budget

Set a weekly target so you can see quickly if your waste budget is blowing ou

When You Order and Purchase Materials

Estimate accurately, aim for nil waste allowance

Control purchasing and limit over ordering

Purchase materials that have recycled content.

Especially steel reinforcement and concrete.

Purchase material and components that can be reused and/or recycled

Use durable, low maintenance materials

Use pre-fab and modular components

Plan ahead thenumber of skips you intend to use and your total waste budget

Reduce Packaging

Negotiate with your suppliers to:

\*not deliver excess packaging;

\*only use packaging that is reusable or recyclable;

\*take back packaging

Negotiate With Your Waste Contractor

Do you need one? - can you stockpile materials and:

\*take them to a recycler yourself or;

\*arrange to have them transported there

Negotiate with a reputable waste contractor to take waste for recycling.

Get monthly reports from your waste contractor on how much was recycled or which landfill it went to

Train Your Staff and Subcontractors

Include your waste management plan in your site induction

Train your labourers-the people at the sharp end of waste avoidance

Keep staff and subbies up to date on progress & reward good progress

After the Job is finished, evaluate your success

Purchasing Recycled Products

<http://www.wasteboards.nsw.gov.au/directory/buyrecycled/>

<http://ecospecifier.rmit.edu.au/flash.htm>

Recycling Contractors and Outlets

<http://www.wasteboards.nsw.gov.au/directory/>

Waste Centres (Includes Landfill Sites)

<http://www.wasteboards.nsw.gov.au/directory/>

Waste Transporters and Skip Companies

<http://www.wasteboards.nsw.gov.au/directory/>

Recycling Signs

<http://www.wasteboards.nsw.gov.au/facilities/data/recyclingsigns/welcome.html>

NOT FOR CONSTRUCTION

DEMOLITION & EXCAVATION STAGE			DESTINATION		WASTE
MATERIAL	ESTIMATED WASTE		ON-SITE	OFF-SITE	
	VOLUME (cubic/m)	WEIGHT (T)	SPECIFY PROPOSED RE-USE OR ON-SITE RECYCLING METHODS	SPECIFY CONTRACTOR AND RECYCLING OUTLET	SPECIFY CONTRACTOR AND LANDFILL SITE
EXCAVATION	2m³	-	landscape + levelling	-	builder to specify
TIMBER	10m³	-	-	-	-
CONCRETE	4m³	-	-	-	builder to specify
BRICKS/PAVERS	4m³	-	-	builder to specify	-
TILES	9m³	-	-	-	builder to specify
METALS	6m³	-	-	builder to specify	-
GLASS	-	-	-	builder to specify	-
FIXTURES + FITTINGS	2m³	-	-	builder to specify	-
FLOOR COVERINGS	4m³	-	-	-	builder to specify
GARDEN ORGANICS	2m³	-	landscaping	-	-
PLASTERBOARD	3m³	-	-	builder to specify	-
CONSTRUCTION STAGE			DESTINATION		WASTE
MATERIAL	ESTIMATED WASTE		ON-SITE	OFF-SITE	
	VOLUME (cubic/m)	WEIGHT (T)	SPECIFY PROPOSED RE-USE OR ON-SITE RECYCLING METHODS	SPECIFY CONTRACTOR AND RECYCLING OUTLET	SPECIFY CONTRACTOR AND LANDFILL SITE
TIMBER	2m³	-	LANDSCAPING	-	BUILDER TO SPECIFY
CONCRETE	1m³	-	-	BUILDER TO SPECIFY	-
TILES	1m³	-	-	BUILDER TO SPECIFY	-
METAL	0.5m³	-	-	BUILDER TO SPECIFY	-
GLASS	0.5m³	-	-	BUILDER TO SPECIFY	-
PLASTERBOARD (OFFCUTS)	0.5m³	-	-	BUILDER TO SPECIFY	-
FLOOR COVERINGS	0.5m³	-	-	-	BUILDER TO SPECIFY
PACKAGING	1m³	-	-	BUILDER TO SPECIFY	-
GARDEN ORGANICS	2m³	-	LANDSCAPING	-	-
CONTAINERS	1m³	-	-	BUILDER TO SPECIFY	-
PAPER/CARDBOARD	1m³	-	-	BUILDER TO SPECIFY	-
ON-GOING WASTE MANAGEMENT					
TYPE OF WASTE	EXPECTED VOLUME / WEEK	PROPOSED ON-SITE STORAGE & TREATMENT FACILITIES		DESTINATION	
Please specify, eg. Food, waste, glass, paper, metal, off-cuts etc.	(L) or (m/cube)	eg. Waste storage and recycling area, garbage chute, on-site compost, compression equipment		recycling, disposal, specify contractor	
GENERAL WASTE	120	receptacle > bin store > kerbside collection		council collection	
RECYCLING	60	receptacle > bin store > kerbside collection		council collection	
GREEN WASTE	60	compost / receptacle > bin store > kerbside collection		council collection	

ESTIMATING CONSTRUCTION WASTE		
MATERIAL	AVERAGE % WASTE	TONNES PER CUBIC METRE
BRICKS	N/A	1.3
CONCRETE	3 - 5%	1.1
PLASTERBOARD	5 - 20%	0.4
ROOF TILES	2 - 5%	1.3
GENERAL SITE WASTE	100%	0.2
PAPER/CARDBOARD	N/A	?
STEEL - ROOFING	N/A	0.6
STEEL - STRUCTURAL	N/A	0.9
STEEL - REINFORCING	N/A	0.65
TIMBER	5 - 7%	0.5

ON-GOING BIN STORAGE IN GARAGE

SITE CONTROL FENCE

WASH-OUT AREA

ON-GOING KERB COLLECTION POINT

TERRACE OVER GARAGE

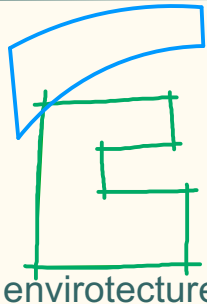
TWO-STOREY DWELLING

MIXED WASTE & RECYCLING AREA DURING CONSTRUCTION PHASE:  
1 x 3 CUBIC METRE BRICK, CONCRETE & TILE RECYCLE BIN  
1 x 3 CUBIC METRE TIMBER RECYCLE BIN  
1 x 3 CUBIC METRE METAL RECYCLE BIN  
1 x 3 CUBIC METRE MIXED WASTE RECYCLE BIN

500  
200  
45 X 45 HWD STAKE  
COUNCIL APPROVED FILTER FABRIC  
MIN. EMBEDMENT  
SEDIMENT CONTROL FENCE SECTION















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WASTE + EROSION CONTROL PLAN  
1:200



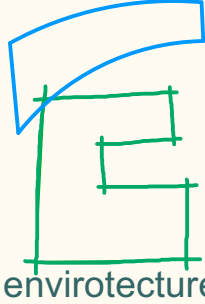
REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION		PROJECT #	
PROJECT NEW PASSIVHAUS					C71	
ADDRESS 8 DEBORAH PLACE, EASTWOOD 2122					PROJECT STATUS	
LOT 4 / DP 229073					DA	
CLIENT DANIEL & ALEXIS CHEANG				SCALE AS SHOWN @ A3	DRG #	
DWG WASTE MANAGEMENT & SITE EROSION CONTROL PLAN				DRAWN DM	63.01	
				CHKD AM	REVISION #	
					1	
48 KALANG ROAD ELANORA HTS NSW 2101					ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997					DICK CLARKE #6029	
www.envirotexture.com.au					NOMINATED ARCHITECT:	
envirotexture projects pty ltd					ANDY MARLOW	
ABN 49 078 853 577					NSW #9597 TAS #1280 VIC #00015	



WINDOW SCHEDULE														
ALL DIMENSIONS SHOWN ON EXTERNAL DOORS AND WINDOWS ARE EXTERNAL FRAME SIZES. ACTUAL FRAME SIZES MUST ALLOW FOR REVEALS AND INSTALLATION CLEARANCES, WHICH MUST BE ADDED TO THESE NOTIONAL SIZES - ASSUMED 5mm ALL ROUND.														
CHECK MEASURE ALL DIMENSIONS ON SITE PRIOR TO ORDER/MANUFACTURE. ALL WINDOWS & EXTERNAL DOORS TO HAVE INSTALLATION CLEARANCES FOAM-FILLED.														
WINDOWS														
IMAGE	ID	HEIGHT	WIDTH	ELEVATION SET AT	FFL (+/-)	GLAZING	FRAME	GLAZED AREA	FLY SCREEN	FLY SCREEN MATERIAL	RESTRICTED OPENING	RESTRICTED OPENING METHOD	LOCATION	NOTES:
	WF1	1280	1800	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	1.81	TBC	TBC	TBC	TBC	BED 2	
	WF2	1500	1200	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	1.33	TBC	TBC	TBC	TBC	LANDING	
	WF3	1280	1800	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	1.81	TBC	TBC	TBC	TBC	BED 3	
	WF4	700	1200	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	0.51	TBC	TBC	TBC	TBC	WC	OBSCURE
	WF5	700	1200	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	0.51	TBC	TBC	TBC	TBC	UPPER BATHROOM	OBSCURE
	WF6	700	1800	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	0.81	TBC	TBC	TBC	TBC	ENSUITE	OBSCURE
	WF7	1280	1800	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	1.81	TBC	TBC	TBC	TBC	BED 1	
	WF8	1280	2600	Head of frame	5500	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	3.02	N/A	N/A	N/A	N/A	VOID	
	WF9	1280	3000	Head of frame	5500	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	3.5	N/A	N/A	N/A	N/A	VOID	
	WG1	1600	1800	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	2.31	TBC	TBC	TBC	TBC	PLAY	
	WG2	1600	1800	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	2.31	TBC	TBC	TBC	TBC	GUEST	
	WG3	700	1000	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	0.41	TBC	TBC	TBC	TBC	LOWER BATHROOM	OBSCURE
	WG4	1350	920	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	0.85	TBC	TBC	TBC	TBC	KITCHEN	
	WG5	1350	1800	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	1.92	TBC	TBC	TBC	TBC	KITCHEN	

NOT FOR CONSTRUCTION

NOTE: ALL WINDOWS & DOORS NOMINATED IN SCHEDULE ARE SHOWN AS VIEWED FROM OUTSIDE.



REV # 1

BY DM

DATE 8/9/2022

DEVELOPMENT APPLICATION

PROJECT

NEW PASSIVHAUS

8 DEBORAH PLACE, EASTWOOD 2122

LOT 4 / DP 229073

CLIENT

DANIEL & ALEXIS CHEANG

DWG

WINDOW SCHEDULE 1

48 KALANG ROAD ELANORA HTS NSW 2101

OFFICE 02 9913 3997

www.envirotecture.com.au

envirotecture projects pty ltd

ABN 49 078 853 577

PROJECT #

C71

PROJECT STATUS

DA

DRG #

70.01

REVISION #

1

SCALE AS SHOWN @ A3

DRAWN DM


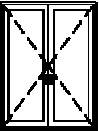
CHKD AM

ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029

NOMINATED ARCHITECT: ANDY MARLOW

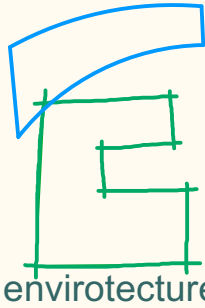
NSW #9597 TAS #1280 VIC #00015



WINDOW SCHEDULE														
ALL DIMENSIONS SHOWN ON EXTERNAL DOORS AND WINDOWS ARE EXTERNAL FRAME SIZES. ACTUAL FRAME SIZES MUST ALLOW FOR REVEALS AND INSTALLATION CLEARANCES, WHICH MUST BE ADDED TO THESE NOTIONAL SIZES - ASSUMED 5mm ALL ROUND.														
CHECK MEASURE ALL DIMENSIONS ON SITE PRIOR TO ORDER/MANUFACTURE. ALL WINDOWS & EXTERNAL DOORS TO HAVE INSTALLATION CLEARANCES FOAM-FILLED.														
WINDOWS														
IMAGE	ID	HEIGHT	WIDTH	ELEVATION SET AT	FFL (+/-)	GLAZING	FRAME	GLAZED AREA	FLY SCREEN	FLY SCREEN MATERIAL	RESTRICTED OPENING	RESTRICTED OPENING METHOD	LOCATION	NOTES:
	WG6	1500	2600	Head of frame	2400	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	3.58	N/A	N/A	N/A	N/A	LIVING	
	WG7	2400	1800	Sill of frame	0	DOUBLE GLAZED, G 0.35, U 1.05	TIMBER / AL COMPOSITE	2.77	TBC	TBC	TBC	TBC	TERRACE	

NOT FOR CONSTRUCTION

NOTE: ALL WINDOWS & DOORS NOMINATED IN SCHEDULE ARE SHOWN AS VIEWED FROM OUTSIDE.





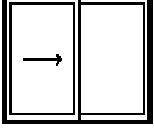


REV #	1	BY	DM	DATE	8/9/2022	DEVELOPMENT APPLICATION			
PROJECT	NEW PASSIVHAUS						PROJECT #	C71	
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122						PROJECT STATUS	DA	
CLIENT	DANIEL & ALEXIS CHEANG					SCALE	AS SHOWN @ A3	DRG #	70.02
DWG	WINDOW SCHEDULE 2					DRAWN	DM	REVISION #	1
						CHKD	AM		
48 KALANG ROAD ELANORA HTS NSW 2101 OFFICE 02 9913 3997 www.envirotecture.com.au							bda ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029 NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015		
envirotecture projects Pty Ltd							ABN 49 078 853 577		



EXTERNAL DOOR SCHEDULE

ALL DIMENSIONS SHOWN ON EXTERNAL DOORS AND WINDOWS ARE EXTERNAL FRAME SIZES. ACTUAL FRAME SIZES MUST ALLOW FOR REVEALS AND INSTALLATION CLEARANCES, WHICH MUST BE ADDED TO THESE NOTIONAL SIZES - ASSUMED 5mm ALL ROUND.

CHECK MEASURE ALL DIMENSIONS ON SITE PRIOR TO ORDER/MANUFACTURE. ALL WINDOWS & EXTERNAL DOORS TO HAVE INSTALLATION CLEARANCES FOAM-FILLED.

DOORS														
IMAGE	ID	HEIGHT	WIDTH	ELEVATION SET AT	FFL (+/-)	GLAZING	FRAME	GLAZED AREA	FLY SCREEN	FLY SCREEN MATERIAL	RESTRICTED OPENING	RESTRICTED OPENING METHOD	LOCATION	NOTES
	DG1	2400	1100	Sill of frame	0	DOUBLE GLAZED: G 0.35, U 1.05	TIMBER / AL COMPOSITE	1.72	TBC	TBC	NO	N/A	MAIN ENTRY	
	DG2	2400	1100	Sill of frame	0	DOUBLE GLAZED: G 0.35, U 1.05	TIMBER / AL COMPOSITE	1.72	N/A	N/A	NO	N/A	GARAGE TO LIVING	
	DG3	2400	2800	Sill of frame	0	DOUBLE GLAZED: G 0.35, U 1.05	TIMBER / AL COMPOSITE	5.08	TBC	TBC	NO	N/A	LIVING	
	DG4	2400	1000	Sill of frame	0	DOUBLE GLAZED: G 0.35, U 1.05	TIMBER / AL COMPOSITE	1.06	TBC	TBC	NO	N/A	LAUNDRY	
	DG5	2150	1080	Head of frame	2100	N/A	TIMBER	0	TBC	TBC	NO	N/A	GARAGE TO GARDEN	

NOT FOR CONSTRUCTION

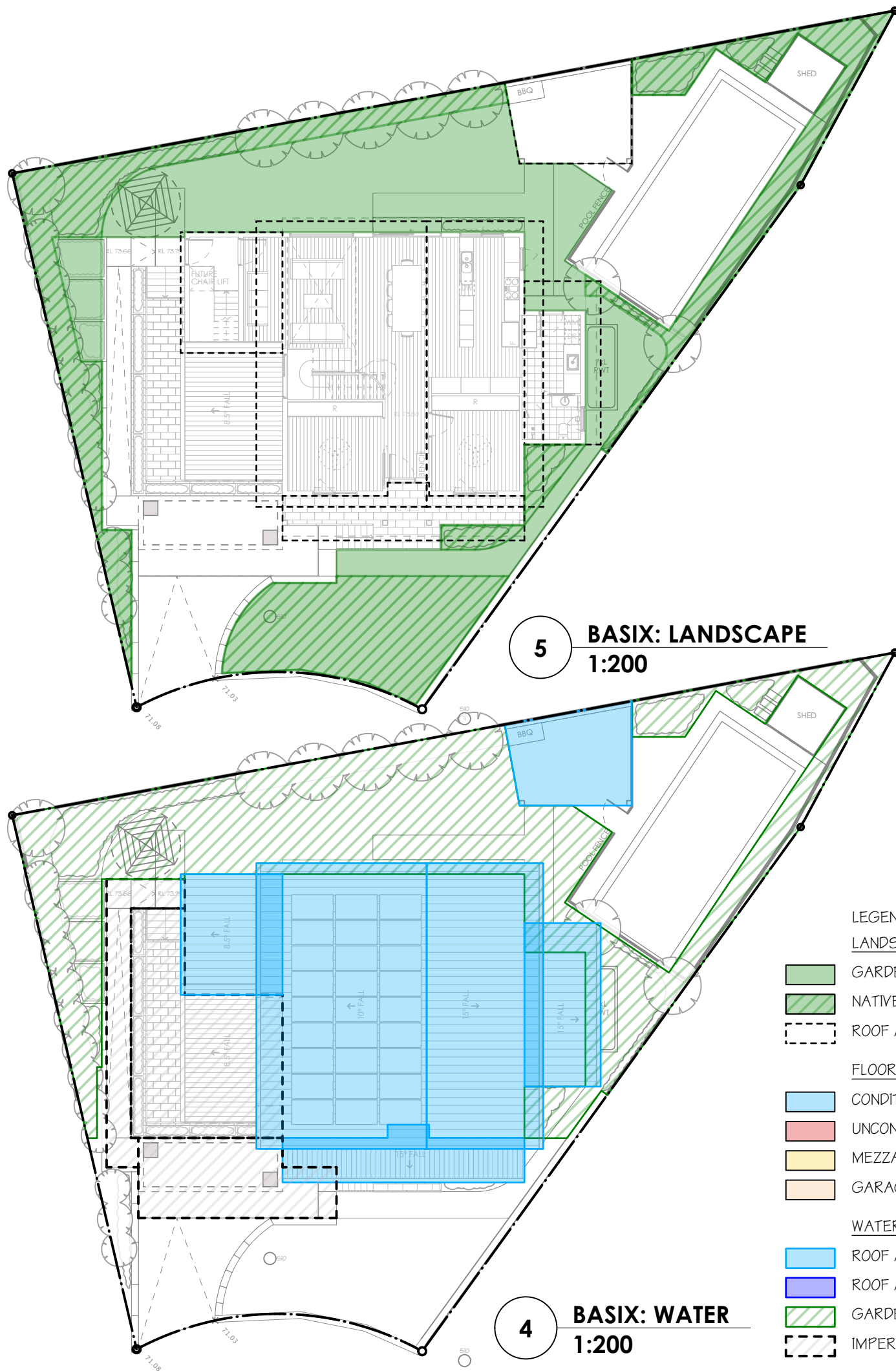
NOTE: ALL WINDOWS & DOORS NOMINATED IN SCHEDULE ARE SHOWN AS VIEWED FROM OUTSIDE.



REV #	1	BY	DM	DATE	8/9/2022	DEVELOPMENT APPLICATION	
PROJECT	NEW PASSIVHAUS						
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122 LOT 4 / DP 229073						
CLIENT	DANIEL & ALEXIS CHEANG					SCALE	AS SHOWN @ A3
DWG	EXTERNAL DOOR SCHEDULE					DRAWN	DM
						CHKD	AM
48 KALANG ROAD ELANORA HTS NSW 2101 OFFICE 02 9913 3997 www.envirotecture.com.au							ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029 NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015
envirotecture projects Pty Ltd ABN 49 078 853 577							

PROJECT #	C71
PROJECT STATUS	DA
DRG #	71.01
REVISION #	1





5 BASIX: LANDSCAPE  
1:200

4 BASIX: WATER  
1:200

3 BASIX: FIRST FLOOR  
1:200

2 BASIX: GROUND FLOOR  
1:200

1 BASIX: GROUND FLOOR  
1:200

#### BASIX COUNTS

##### ROOF AREA

BASIX ROOF - East	55.77m <sup>2</sup>
BASIX ROOF - West	81.49m <sup>2</sup>
BASIX ROOF - Porch	18.95m <sup>2</sup>
BASIX ROOF - Laundry	20.88m <sup>2</sup>
BASIX ROOF - Garage	20.60m <sup>2</sup>
	18.71m <sup>2</sup>
	= 216.41m <sup>2</sup>

##### GARAGE AREA

BASIX FA - Garage	33.90m <sup>2</sup>
	= 33.90m <sup>2</sup>

##### FLOOR AREA: CONDITIONED

BASIX FA - BED 2	14.24m <sup>2</sup>
BASIX FA - BED 3	13.14m <sup>2</sup>
BASIX FA - BASINS	3.62m <sup>2</sup>
BASIX FA - MAIN BED	17.53m <sup>2</sup>
BASIX FA - ENSUITE	7.03m <sup>2</sup>
BASIX FA - PLAY	14.24m <sup>2</sup>
BASIX FA - STUDY	14.04m <sup>2</sup>
BASIX FA - LIVING AREAS	76.04m <sup>2</sup>
	= 159.87m <sup>2</sup>

##### FLOOR AREA: UNCONDITIONED

BASIX FA - WC	2.43m <sup>2</sup>
BASIX FA - BATH	5.26m <sup>2</sup>
BASIX FA - LAUNDRY	7.66m <sup>2</sup>
BASIX FA - SMALL BATH	4.32m <sup>2</sup>
	= 19.67m <sup>2</sup>

##### FLOOR AREA: MEZZANINE

BASIX FA - LANDING	9.56m <sup>2</sup>
	= 9.56m <sup>2</sup>

##### LANDSCAPE AREA: GARDEN + LAWN

BASIX Garden	231.58m <sup>2</sup>
	= 231.58m <sup>2</sup>

##### LANDSCAPE AREA: NATIVE SPECIES

Native Planting - Front pocket 1	2.80m <sup>2</sup>
Native Planting - Front pocket 2	4.13m <sup>2</sup>
Native Planting - Front yard	39.63m <sup>2</sup>
Native Planting - Pool adj.	29.68m <sup>2</sup>
Native Planting - Rear + Side	42.17m <sup>2</sup>
	= 118.41m <sup>2</sup>

#### WATER USAGE

##### ROOF AREA TO RWT

Porch Roof to RWT	18.95m <sup>2</sup>
Lower East Roof to RWT	20.88m <sup>2</sup>
Main East Roof to RWT	55.77m <sup>2</sup>
Main West Roof to RWT	81.49m <sup>2</sup>
Lower West Roof to RWT	20.60m <sup>2</sup>
Cabana Roof to RWT	18.71m <sup>2</sup>
	= 216.41m <sup>2</sup>

##### ROOF AREA TO OSD

	= 0.00m <sup>2</sup>
--	----------------------

##### GARDEN AREA TO OSD

Garden + Lawn to OSD	172.49m <sup>2</sup>
	= 172.49m <sup>2</sup>

##### IMPERVIOUS AREA TO OSD

Ramps to OSD	14.79m <sup>2</sup>
Driveway to OSD	23.95m <sup>2</sup>
Patio to OSD	44.06m <sup>2</sup>
	= 82.80m <sup>2</sup>

#### LEGEND

##### LANDSCAPE

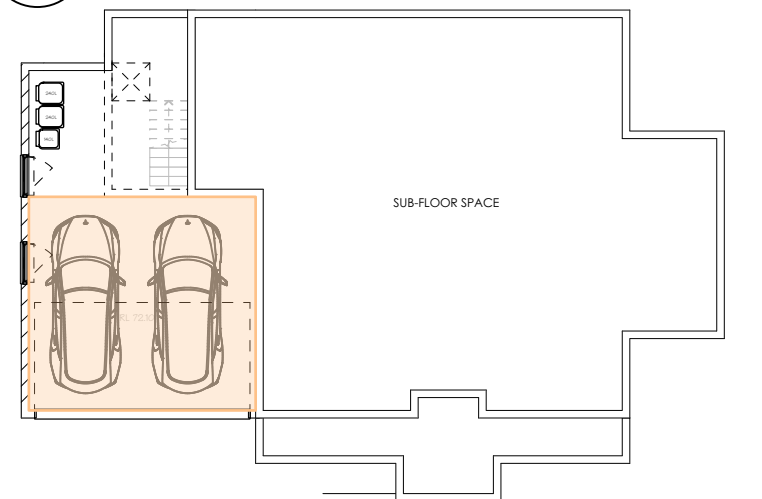
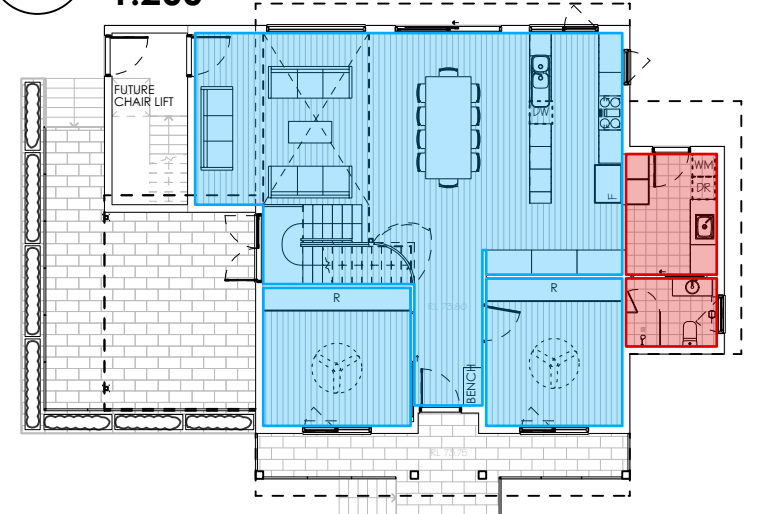
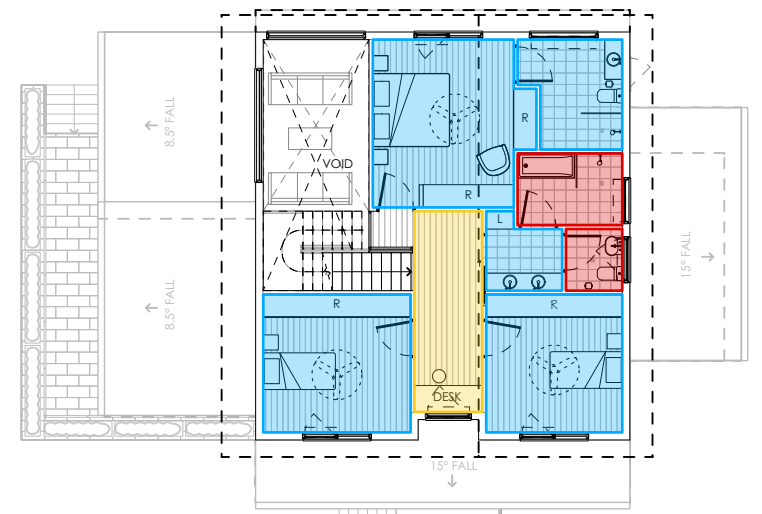
- GARDEN + LAWN
- NATIVE SPECIES
- ROOF AREA

##### FLOOR AREAS

- CONDITIONED FLOOR AREA
- UNCONDITIONED FLOOR AREA
- MEZZANINE FLOOR AREA
- GARAGE FLOOR AREA

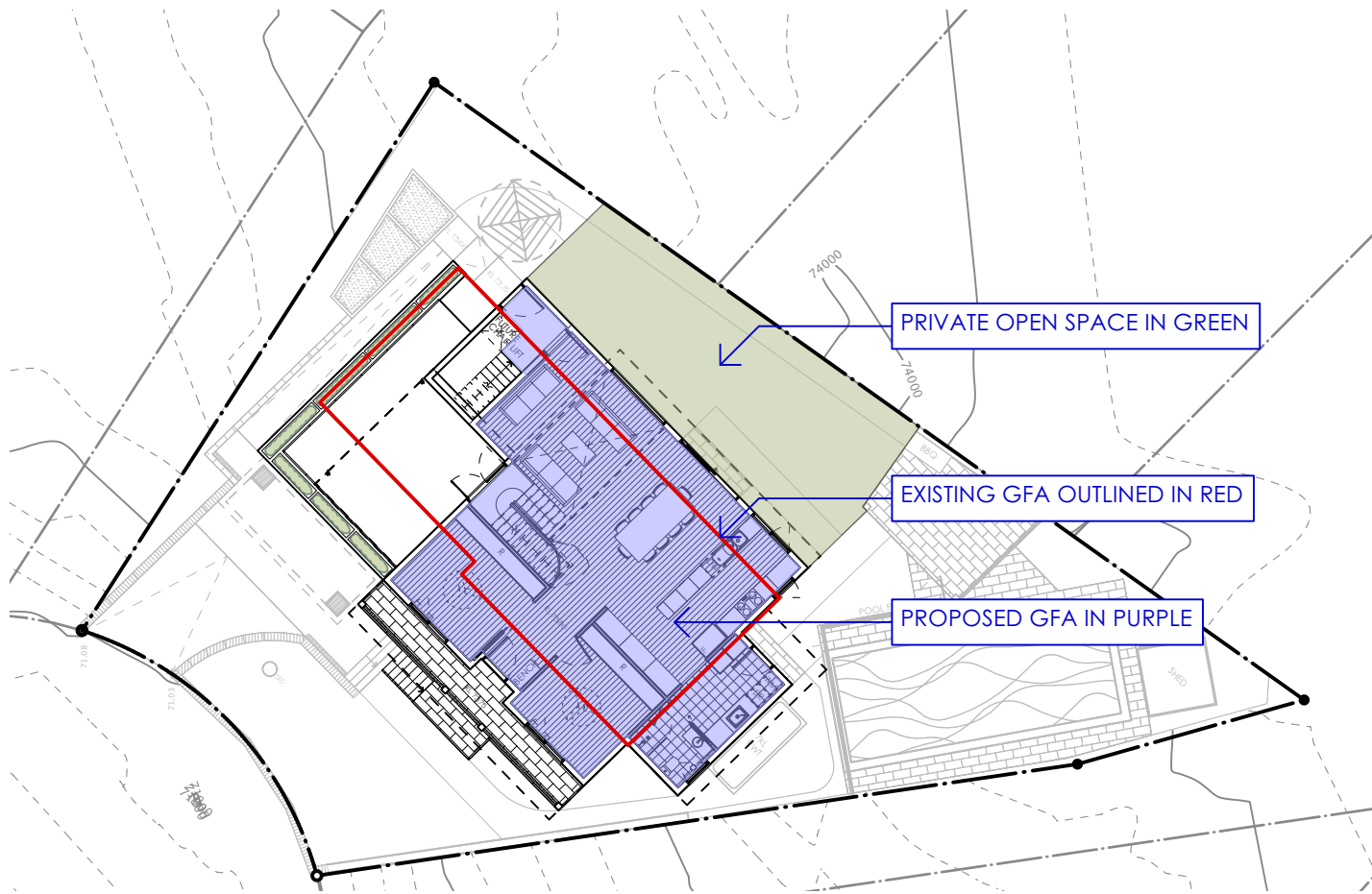
##### WATER USAGE

- ROOF AREA DIVERTED TO RWT
- ROOF AREA DIVERTED TO OSD
- GARDEN AREA DIVERTED TO OSD
- IMPERVIOUS AREA DIVERTED TO OSD



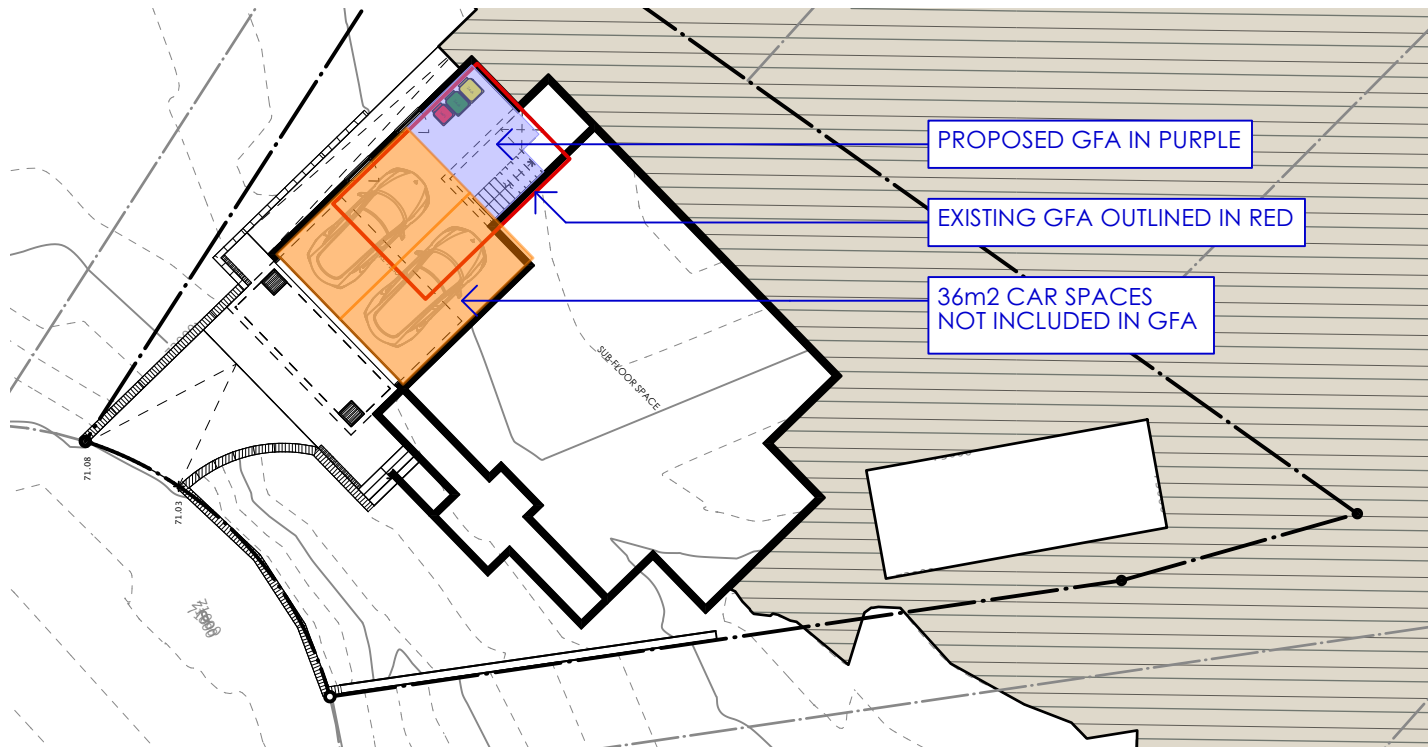
REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	90.02
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	BASIX - DIAGRAMS			SCALE	AS SHOWN @ A3
				DRAWN	DM
				CHKD	AM
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029	
OFFICE 02 9913 3997				NOMINATED ARCHITECT: ANDY MARLOW	
www.envirotecture.com.au				NSW #9597 TAS #1280 VIC #00015	
envirotecture projects pty ltd				ABN 49 078 853 577	





2

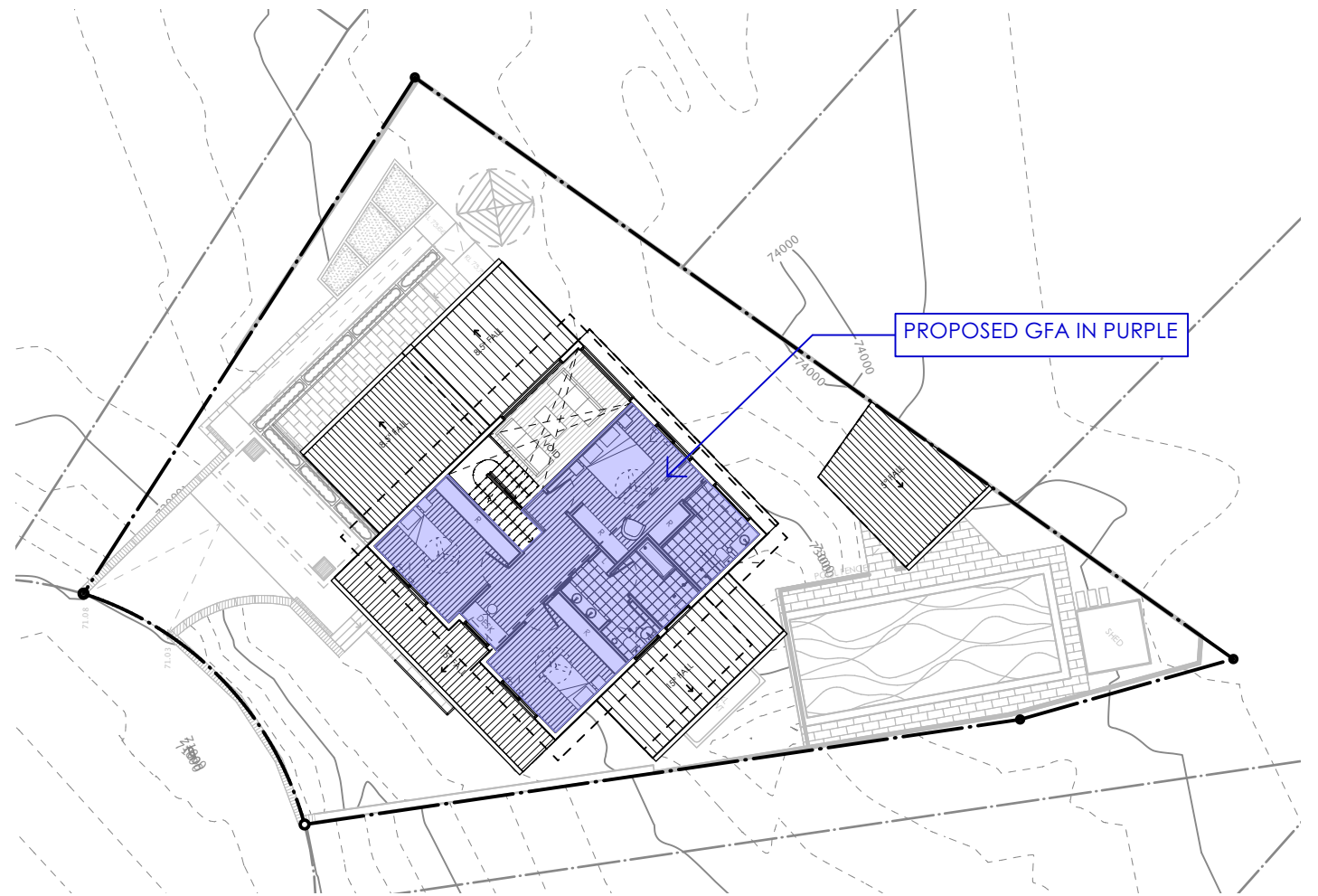
## GFA: GROUND FLOOR 1:250



1

## GFA: BASEMENT 1:250

NOT FOR CONSTRUCTION



3

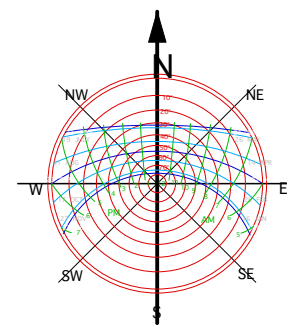
## GFA: FIRST FLOOR 1:250

SITE AREA	581.6m <sup>2</sup>
PRIVATE OPEN SPACE POS	67.65m <sup>2</sup>

GROSS FLOOR AREA	
EXISTING	
GROUND FLOOR	110.57m <sup>2</sup>
GARAGE	29.21m <sup>2</sup>
	139.783m <sup>2</sup>

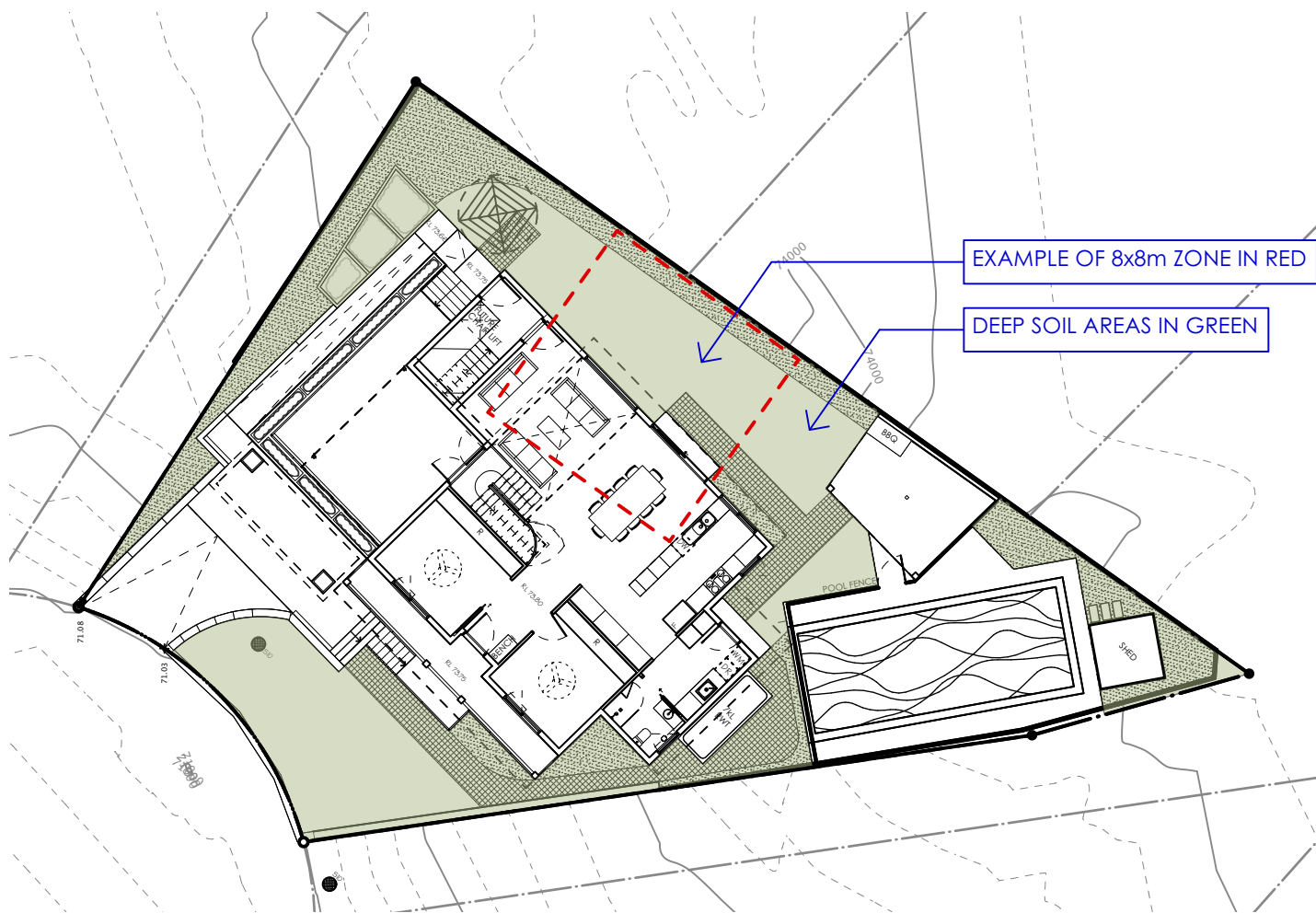
PROPOSED	
FIRST FLOOR	77.93m <sup>2</sup>
GROUND FLOOR	122.23m <sup>2</sup>
GARAGE	11.82m <sup>2</sup>
	211.984m <sup>2</sup> (+ 72.201m <sup>2</sup> )

FLOOR SPACE RATIO	
ALLOWABLE	0.5:1
EXISTING	0.24:1
PROPOSED	0.36:1 (+0.12:1)



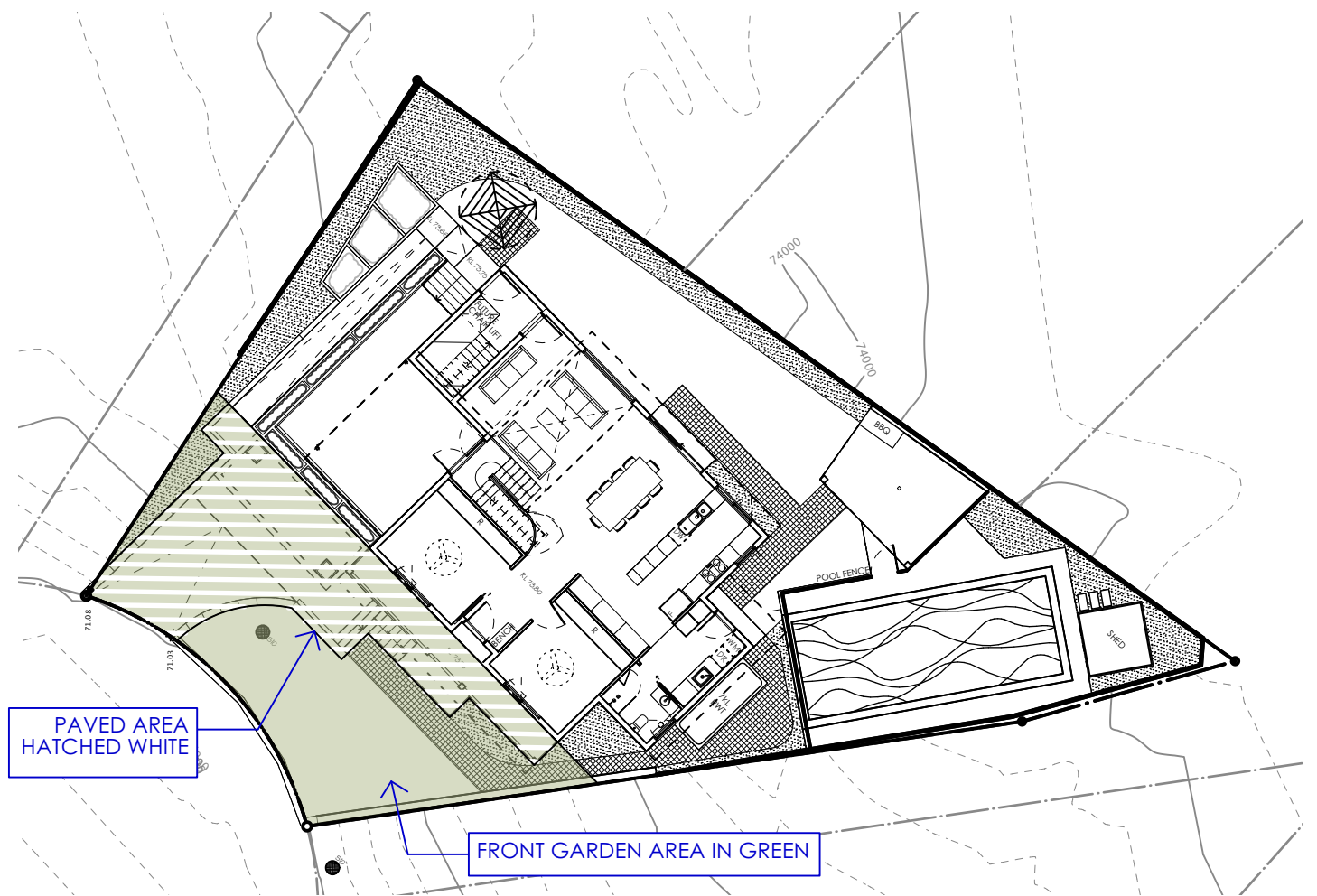
REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #
PROJECT	NEW PASSIVHAUS			C71
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			PROJECT STATUS
	LOT 4 / DP 229073			DA
CLIENT	DANIEL & ALEXIS CHEANG	SCALE AS SHOWN @ A3		DRG #
				91.02
DWG	DCP/LEP COMPLIANCE: FLOOR AREA	DRAWN DM		REVISION #
		CHKD AM		1
48 KALANG ROAD, ELANORA HTS NSW 2101 OFFICE 02 9913 3997 www.envirotecture.com.au				ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029 NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015
envirotecture projects pty ltd ABN 49 078 853 577				





1

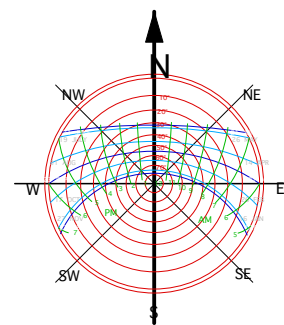
## DEEP SOIL AREAS 1:250



2

## FRONT PAVED AREAS 1:250

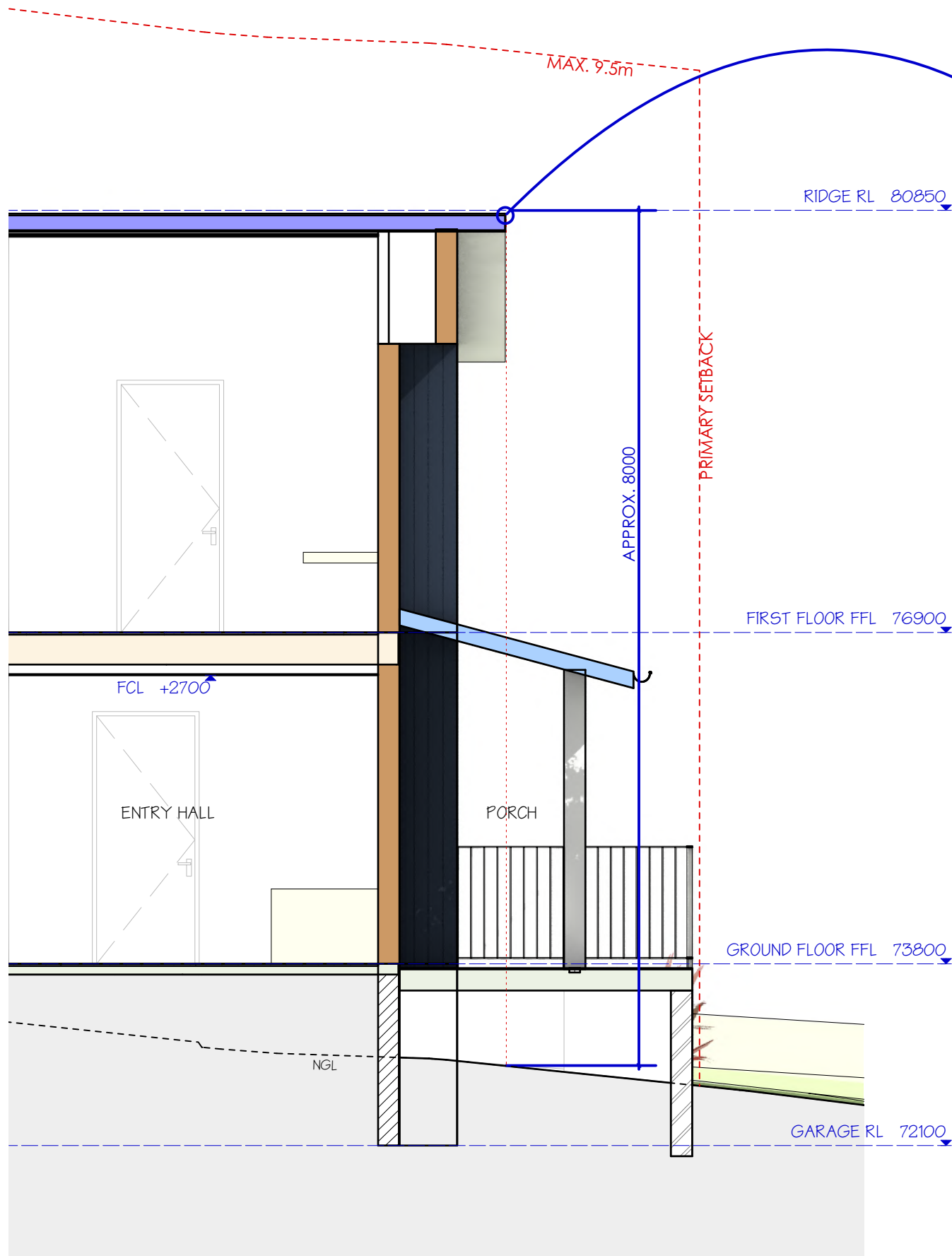
SITE AREA	581.6m <sup>2</sup>	
DEEP SOIL AREAS		
REQUIRED	203.56m <sup>2</sup>	(35.00%)
PROPOSED	218.39m <sup>2</sup>	(37.55%)
FRONT LANDSCAPE		
TOTAL AREA	126.06m <sup>2</sup>	
PAVING ALLOWED	50.42m <sup>2</sup>	(40.00%)
PAVING PROPOSED	63.86m <sup>2</sup>	(50.66%)



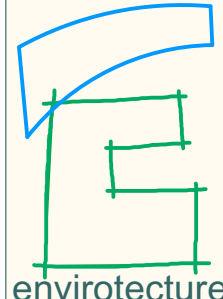
NOT FOR CONSTRUCTION

REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #
PROJECT	NEW PASSIVHAUS			C71
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			PROJECT STATUS
CLIENT	DANIEL & ALEXIS CHEANG			DA
DWG	DCP/LEP COMPLIANCE: LANDSCAPE AREA			DRG #
CHKD	AM			91.03
48 KALANG ROAD ELANORA HTS NSW 2101			SCALE AS SHOWN @ A3	REVISION #
OFFICE 02 9913 3997			DRAWN DM	1
www.envirotecture.com.au			CHKD AM	
envirotecture projects pty ltd ABN 49 078 853 577			ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029	
			NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015	





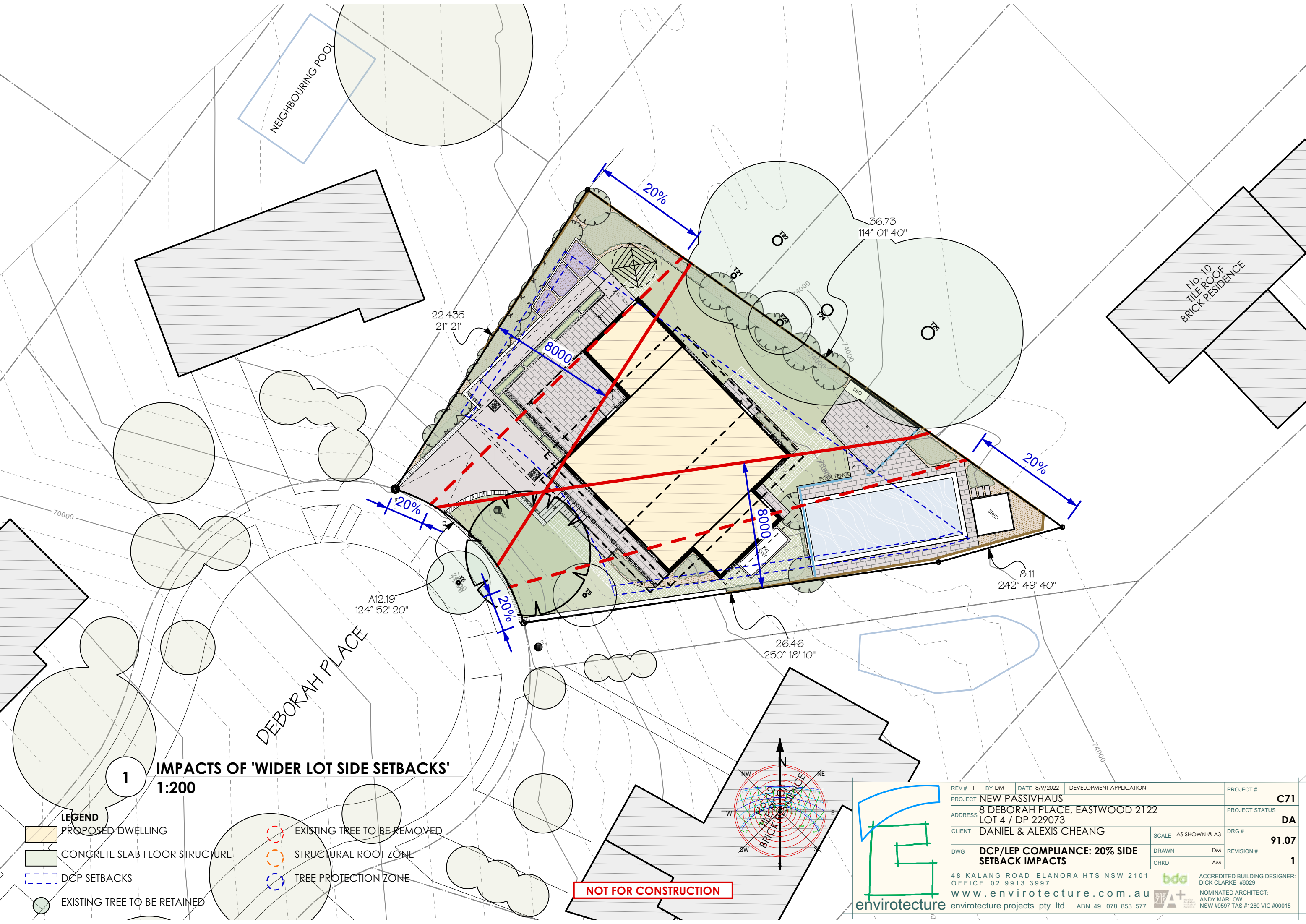
4 **TALLEST POINT ABOVE EXISTING GROUND**  
1:50

	REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #
	PROJECT	NEW PASSIVHAUS			<b>C71</b>
	ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			PROJECT STATUS
	CLIENT	DANIEL & ALEXIS CHEANG			<b>DA</b>
	DWG	<b>DCP/LEP COMPLIANCE: BUILDING HEIGHT</b>			DRG #
			SCALE AS SHOWN @ A3		<b>91.05</b>
			DRAWN DM	REVISION #	<b>1</b>
			CHKD AM		
48 KALANG ROAD ELANORA HTS NSW 2101 OFFICE 02 9913 3997 <a href="http://www.envirotecture.com.au">www.envirotecture.com.au</a> envirotecture projects pty ltd ABN 49 078 853 577					ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029 NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015





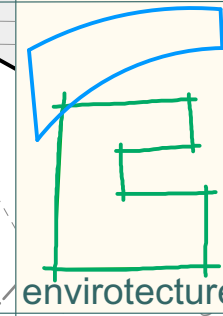
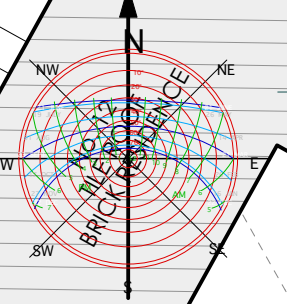




1 IMPACTS OF 'WIDER LOT SIDE SETBACKS'  
1:200

- LEGEND**
- PROPOSED DWELLING
  - CONCRETE SLAB FLOOR STRUCTURE
  - DCP SETBACKS
  - EXISTING TREE TO BE RETAINED
  - EXISTING TREE TO BE REMOVED
  - STRUCTURAL ROOT ZONE
  - TREE PROTECTION ZONE

NOT FOR CONSTRUCTION



REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS			PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122			DRG #	91.07
CLIENT	DANIEL & ALEXIS CHEANG			REVISION #	1
DWG	DCP/LEP COMPLIANCE: 20% SIDE SETBACK IMPACTS			SCALE	AS SHOWN @ A3
	DRAWN	DM	CHKD	AM	
48 KALANG ROAD ELANORA HTS NSW 2101				ACCREDITED BUILDING DESIGNER:	
OFFICE 02 9913 3997				DICK CLARKE #6029	
www.envirotexture.com.au				NOMINATED ARCHITECT:	
envirotexture projects pty ltd				ANDY MARLOW	
ABN 49 078 853 577				NSW #9597 TAS #1280 VIC #00015	





ROOF PANELS  
PIR PANEL IN WHITE / SURFMIST



WINDOW FRAMES



GUTTERS, DOWNPIPES,  
METAL ROOF



WEATHERTEX CLADDING EXAMPLES  
HORIZONTAL IN WHITE TONES



VERTICAL IN DARK BLUE TONES



VERTICAL IN DARK BLUE TONES

NOTE - MATERIALS NOTED ARE INDICATIVE OF GENERAL TONAL VALUES, AND TEXTURE/PATTERN TYPE. ACTUAL COLOURS MAY VARY BY NOMENCLATURE.

REV #	1	BY	DM	DATE	8/9/2022	DEVELOPMENT APPLICATION	PROJECT #	C71
PROJECT	NEW PASSIVHAUS						PROJECT STATUS	DA
ADDRESS	8 DEBORAH PLACE, EASTWOOD 2122						DRG #	92.01
CLIENT	DANIEL & ALEXIS CHEANG						REVISION #	1
DWG	COLOURS AND FINISHES						SCALE	AS SHOWN @ A3
48 KALANG ROAD ELANORA HTS NSW 2101						bda		
OFFICE 02 9913 3997						ACCREDITED BUILDING DESIGNER:		
www.envirotecture.com.au						DICK CLARKE #6029		
envirotecture projects pty ltd						NOMINATED ARCHITECT:		
ABN 49 078 853 577						ANDY MARLOW		
						NSW #9597 TAS #1280 VIC #00015		





IMAGE SOURCE:  
GOOGLE STREETVIEW



	REV # 1	BY DM	DATE 8/9/2022	DEVELOPMENT APPLICATION		PROJECT #		
	PROJECT NEW PASSIVHAUS					C71		
	ADDRESS 8 DEBORAH PLACE, EASTWOOD 2122 LOT 4 / DP 229073					PROJECT STATUS		
	CLIENT DANIEL & ALEXIS CHEANG					DA		
	SCALE AS SHOWN @ A3					DRG #		
	100.01							
DWG	STREET PERSPECTIVE					DRAWN	DM	REVISION #
						CHKD	AM	1
48 KALANG ROAD ELANORA HTS NSW 2101								
OFFICE 02 9913 3997								
www.envirotecture.com.au								
envirotecture projects pty ltd ABN 49 078 853 577								
								
						ACCREDITED BUILDING DESIGNER: DICK CLARKE #6029		
								
						NOMINATED ARCHITECT: ANDY MARLOW NSW #9597 TAS #1280 VIC #00015		



LEGEND

- PROPOSED CONCRETE AREA
- PROPOSED PAVED AREA
- PROPOSED LAWN AREA
- PROPOSED PERMEABLE PAVERS
- PROPOSED BOUNDARY FENCE
- PROPOSED POOL FENCE
- PROPOSED RET. WALL
- EXISTING RET. WALL
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN



PLANTING SCHEDULE

Latin Name	Common Name	QTY	Pot Size	Spread	Height
Carpobrotus glaucescens	Pigface	20	2.5LT	600	600
Cordyline terminalis 'Rubra'	Red Ti	3	5lt	1200	1200
Crassula ovata 'Blue Bird'	Crassula	7	5LT	1000	1000
Cycas revoluta	Sago Palm	2	10lt	1500	1000
Eucalyptus haemastoma	Scribbly Gum	1	45LT	8000	15000
Liriope 'Evergreen Giant'	Giant Lilyturf	90	2.5lt	400	300
Magnolia 'Little Gem'	Magnolia	6	25lt	2500	3000
Michelia figo	Port Wine Magnolia	2	5lt	2500	3000
Philodendron 'Xanadu'	Dwarf Philodendron	34	5lt	750	1000
phormium tenax purpurea	Purple N.Z Flax	4	5lt	1500	1500
Sansevieria trifasciata	Mother in Law Tongue	17	5lt	500	1500
Syzygium australe 'Resilience'	Lillypilly	13	15lt	1500	2500
Westringia 'Jervis Gem'	Coastal Rosemary	10	5LT	1000	1000

REVISION  
A

DATE  
05/09/22

AMMENDMENT  
Updated arch & plant schedule

DRAWN  
JS

NORTH

Client:  
MR & MRS CHEANG

Site Address:  
NO. 8 DEBORAH PL,  
EASTWOOD

Title:  
LANDSCAPE PLAN

Date  
14.02.22

Drawing Status:  
DA

Scale:  
1:200

Sheet No:  
L/01

Project Number:  
220128

Sheet:  
A3

Rev:  
A

PROPOSED RESIDENCE

Aspect Designs  
Studio 103  
84 Alexander St,  
Crows Nest NSW 2065  
0418 638 973  
joel@aspectdesigns.com.au

1. DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE  
2. ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORK. ASPECT DESIGNS ARE TO BE NOTIFIED IN WRITING OF ANY DISCREPANCIES  
3. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, REPORTS, SPECIFICATIONIONS  
© COPYRIGHT OF THIS DRAWING AND THE DESIGN DESCRIBED HEREIN IS VESTED IN ASPECT DESIGNS



OUTLINE LANDSCAPE SPECIFICATION (AS APPLICABLE)

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones: (i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

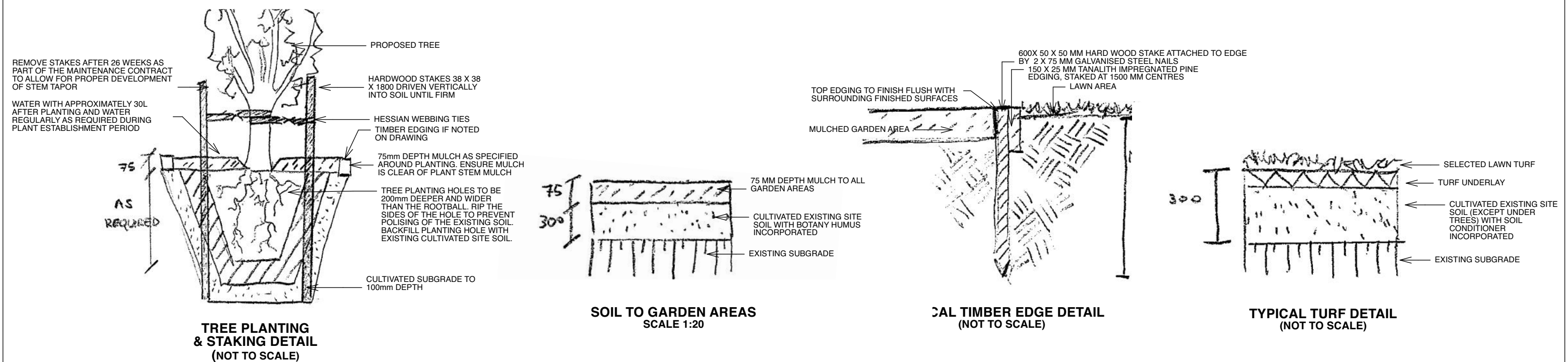
Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.



Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.



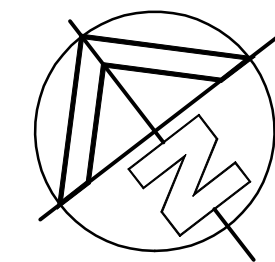
REVISION A	DATE 05/09/22	AMMENDMENT Updated arch & plant schedule	DRAWN JS	NORTH 	Client: MR & MRS CHEANG	Title: LANDSCAPE DETAILS SHEET	Scale: N/A	Sheet: A3	PROPOSED RESIDENCE
<div>1. DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE</div> <div>2. ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORK. ASPECT DESIGNS ARE TO BE NOTIFIED IN WRITING OF ANY DISCREPANCIES</div> <div>3. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, REPORTS, SPECIFICATIONIONS</div> <div>© COPYRIGHT OF THIS DRAWING AND THE DESIGN DESCRIBED HEREIN IS VESTED IN ASPECT DESIGNS</div>					Site Address: NO. 8 DEBORAH PL, EASTWOOD	Date 14.02.22	Sheet No: L/02	Rev: A	<div>Aspect Designs</div> <div>Studio 103</div> <div>84 Alexander St,</div> <div>Crows Nest NSW 2065</div> <div>0418 638 973</div> <div>joel@aspectdesigns.com.au</div> <div></div>
						Drawing Status: DA	Project Number: 220128		







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SCALE = 1 : 100

A1

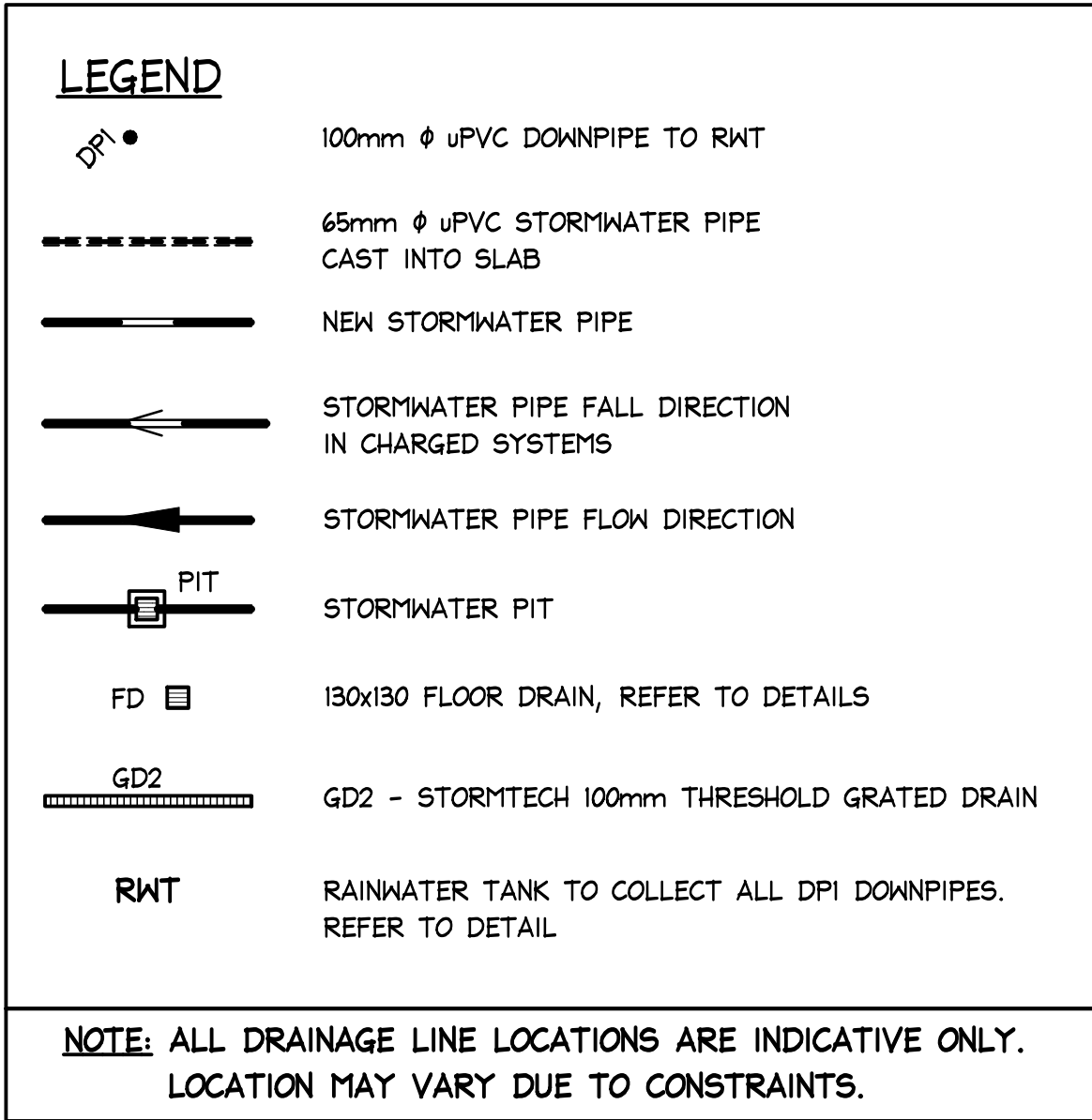
IF IN DOUBT ASK

[illegible]

# B Consulting Engineers



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SCALE = 1 : 100

Scale check - 100mm when printed to scale →

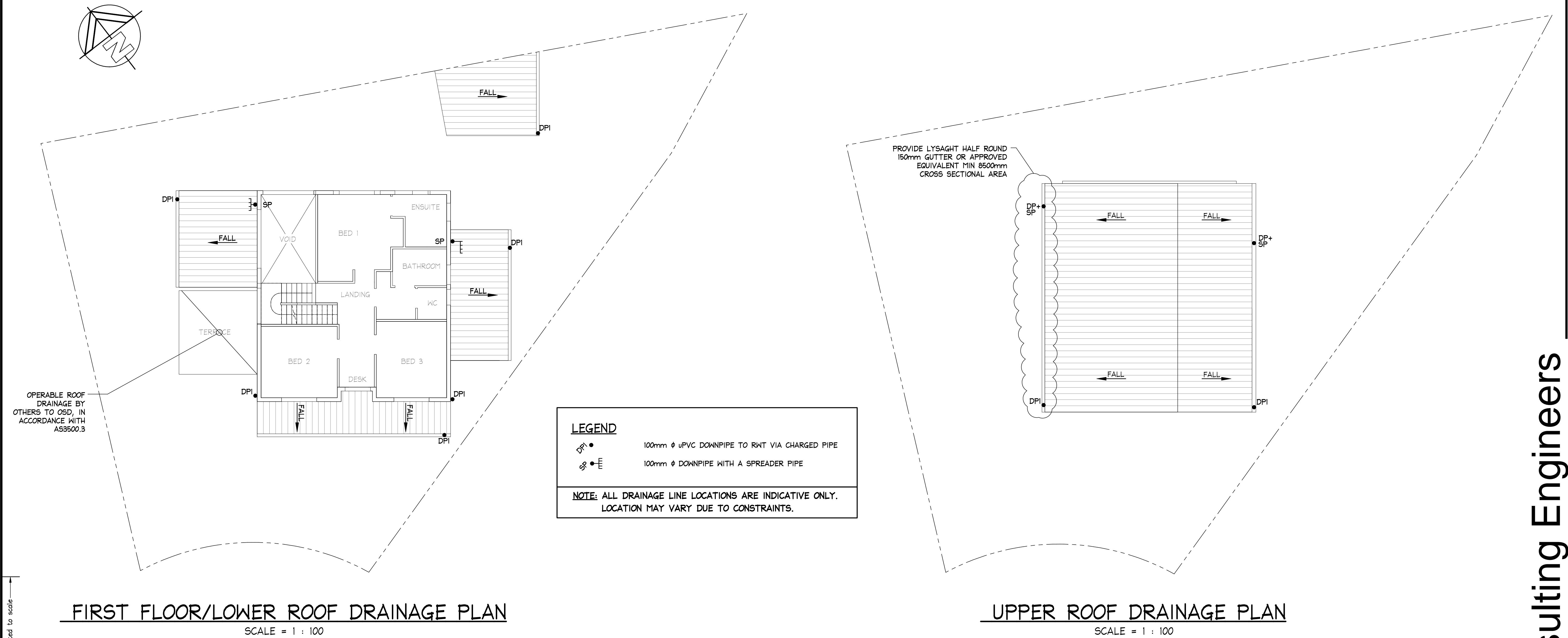
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Scale check - 100mm when printed to scale

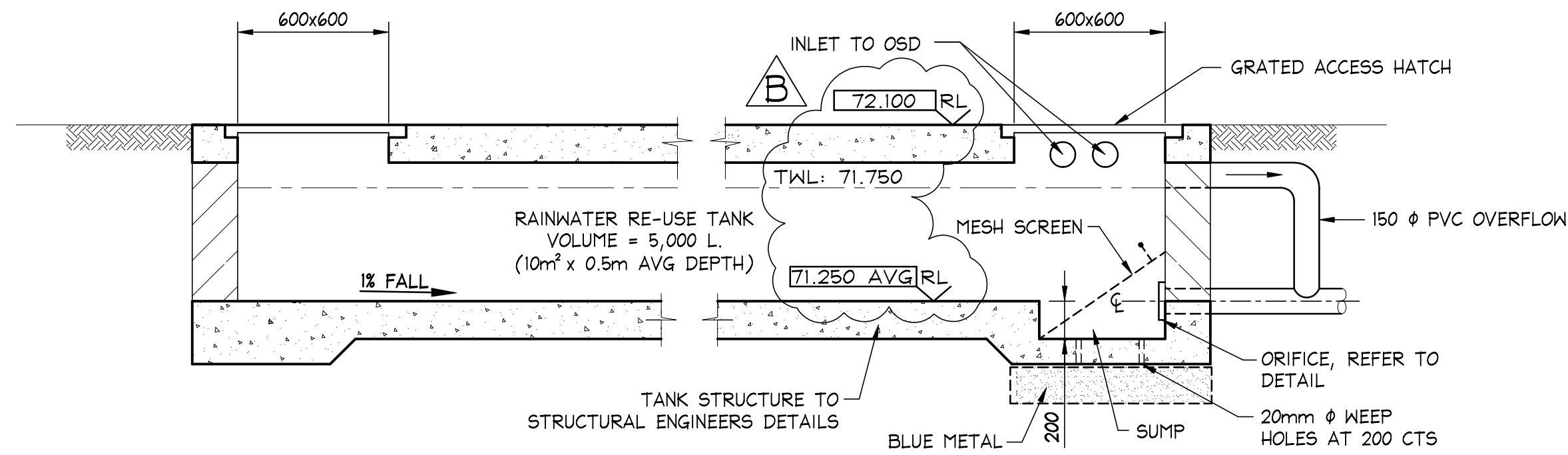
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CONSTRUCTION

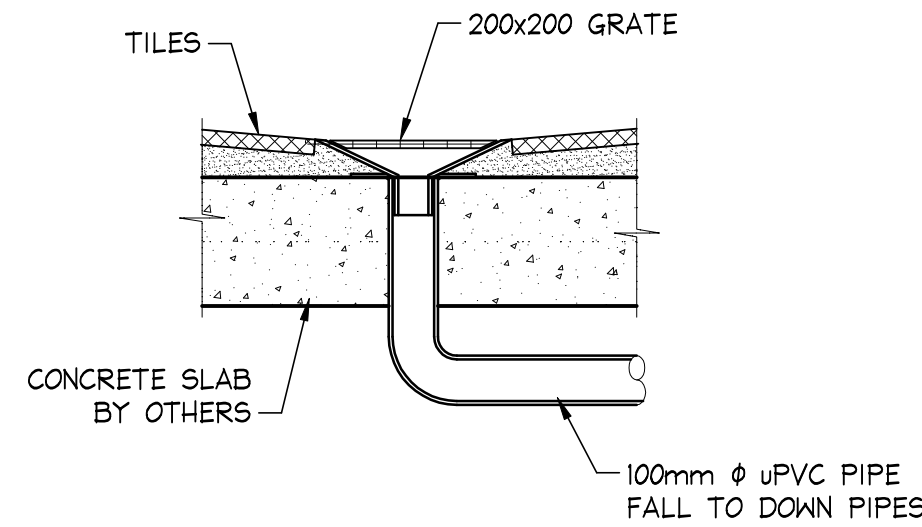
IF IN DOUBT ASK

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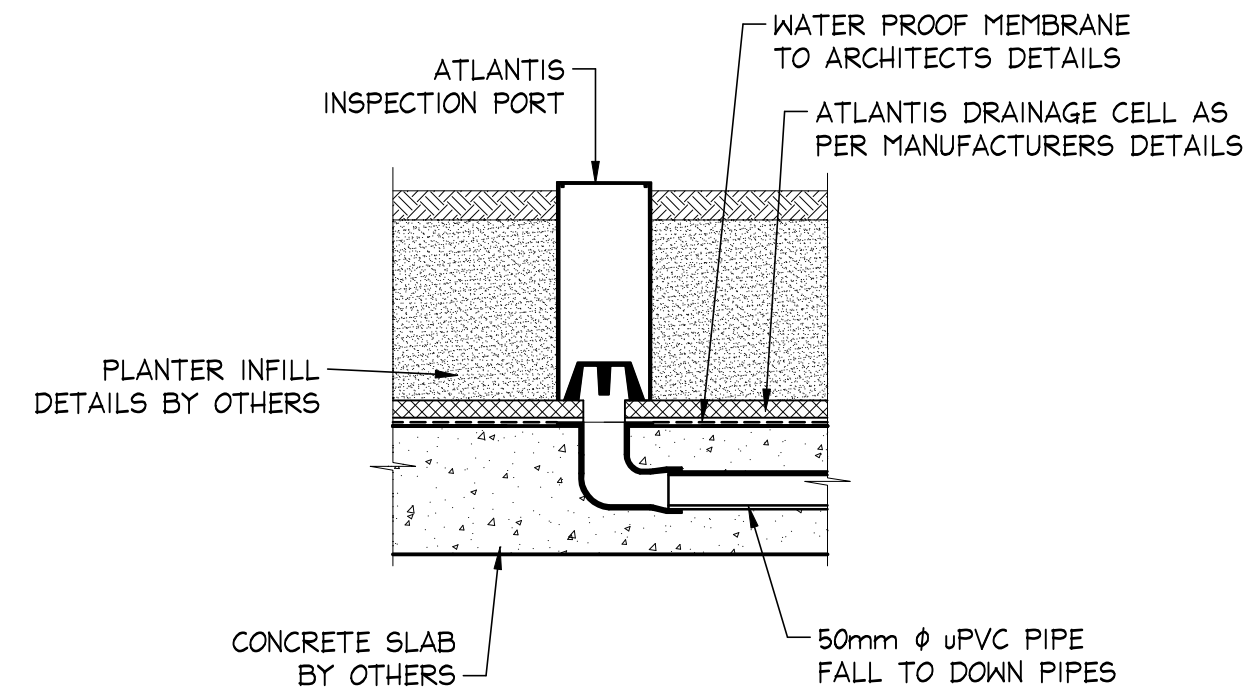




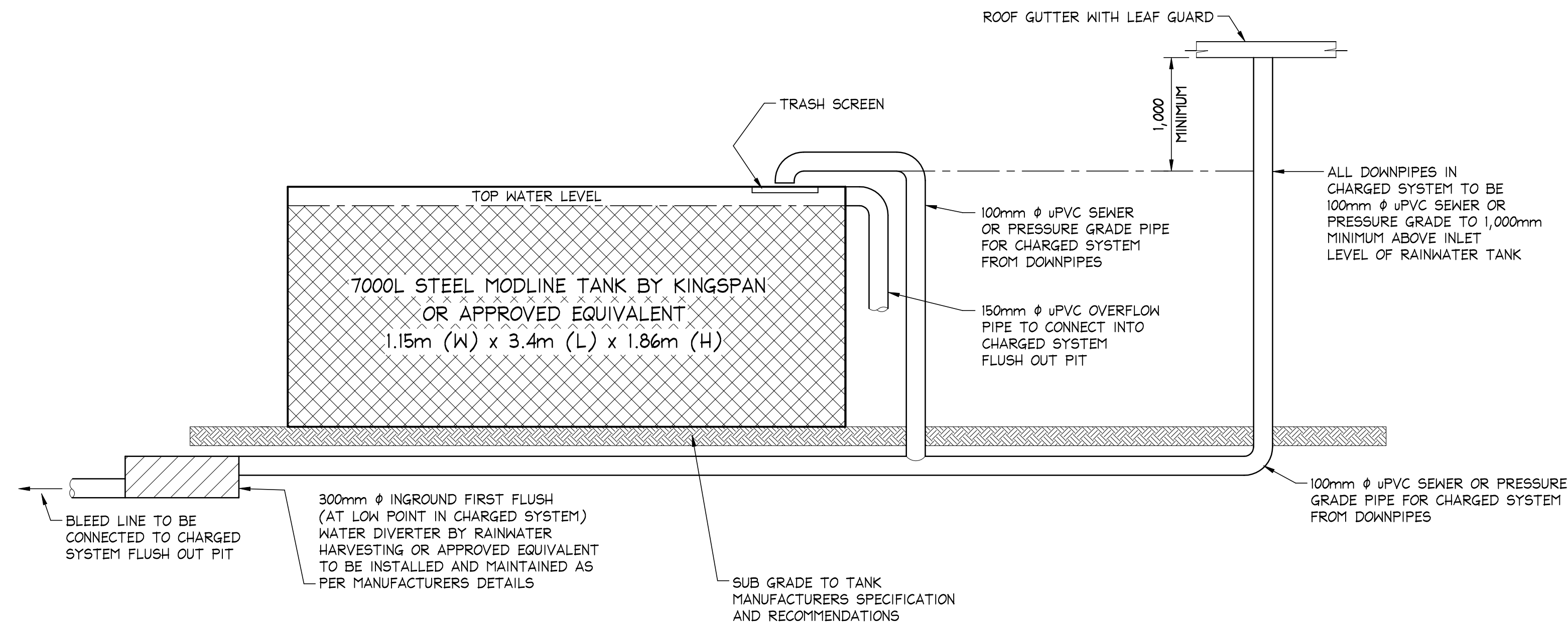
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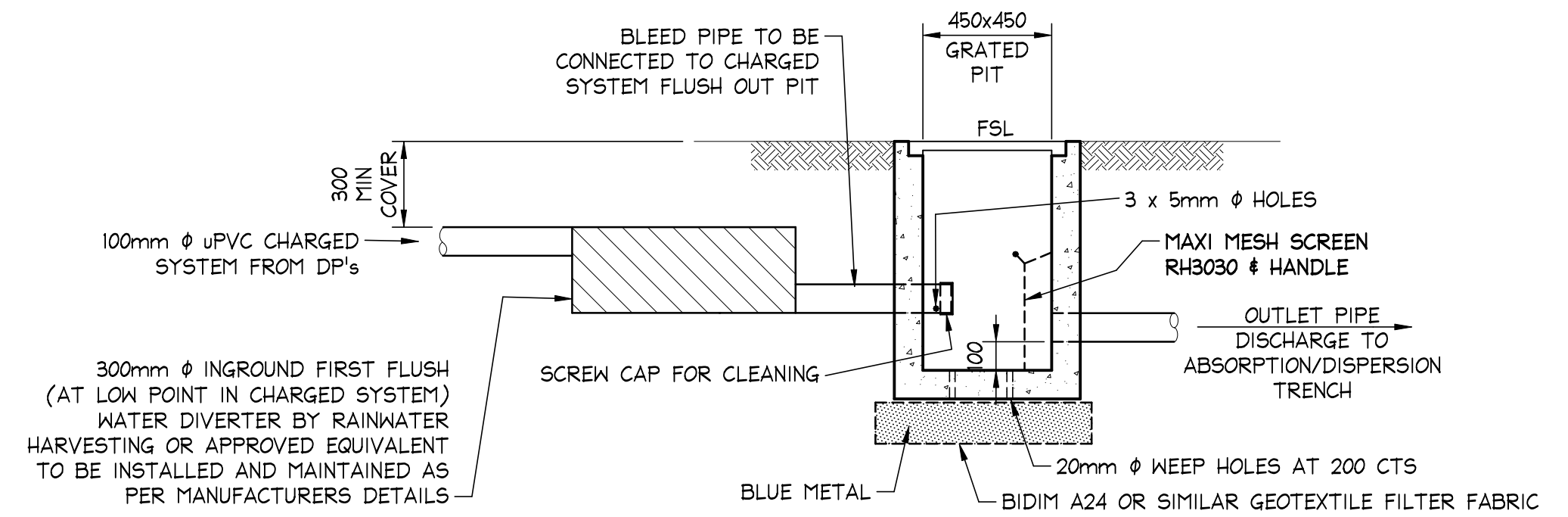
STANDARD FLOOR DRAIN - 'FDI'  
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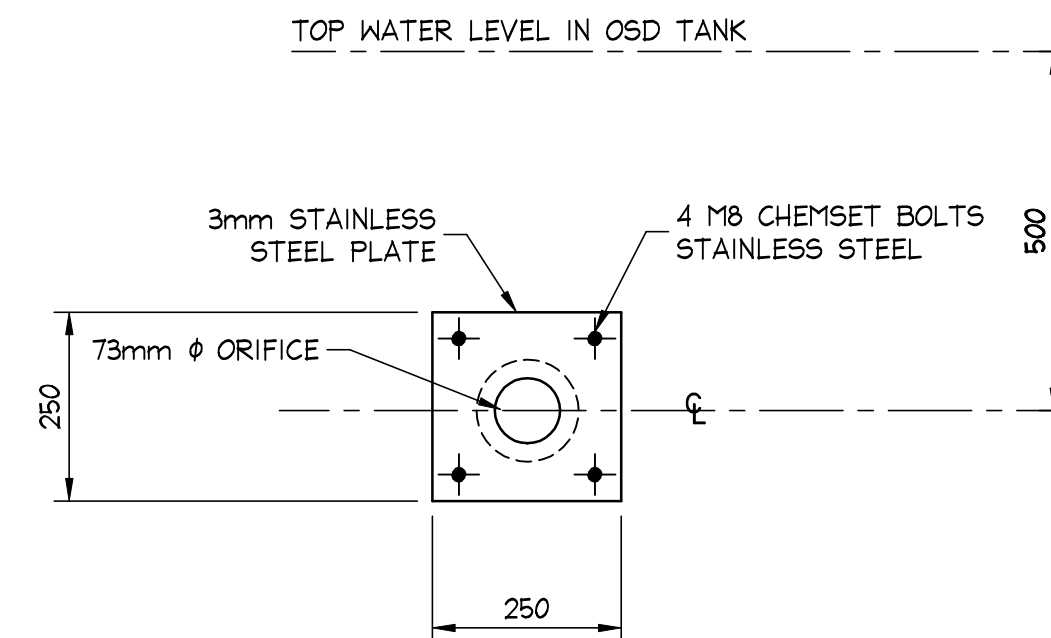
REFER TO MANUFACTURERS SPECIFICATION FOR ATLANTIS PLANTER DETAILS  
STANDARD PLANTER DRAIN - 'PDI'  
SCALE = 1 : 10



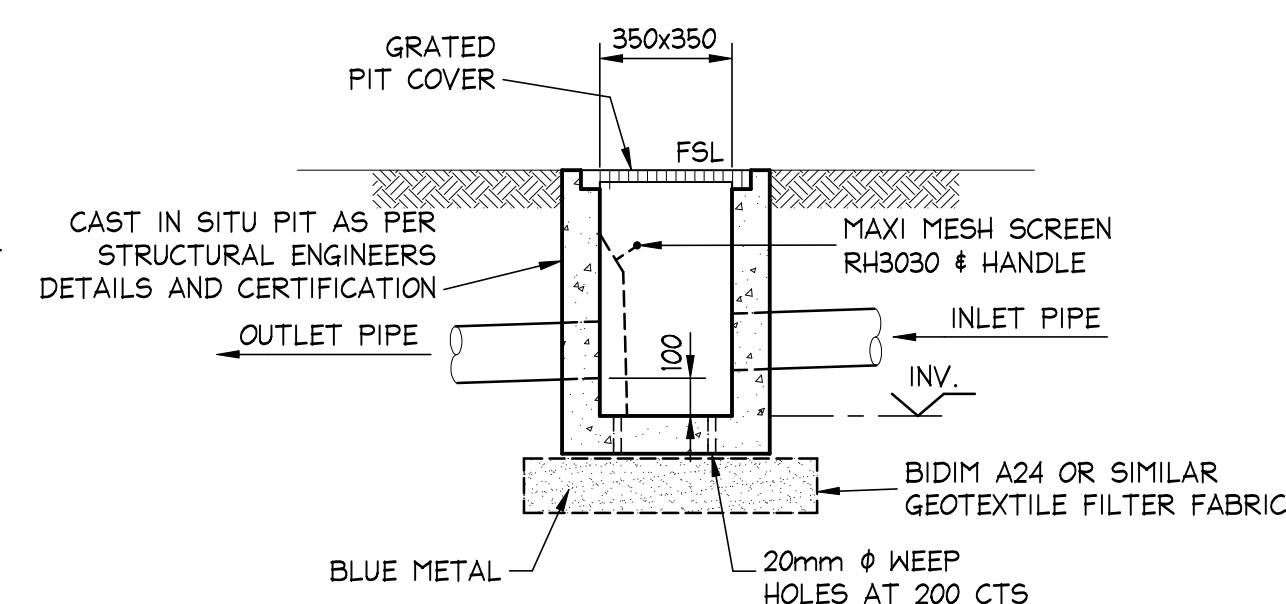
TYPICAL SECTION RAINWATER RE-USE TANKS WITH CHARGED PIPE SYSTEM  
NOT TO SCALE



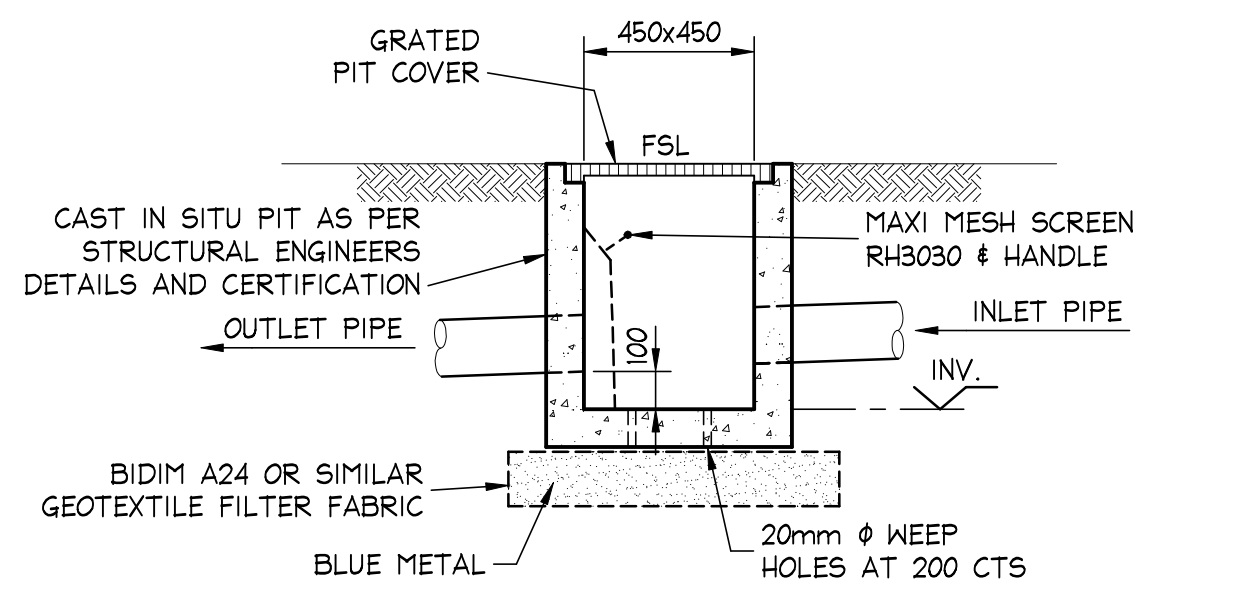
PRECAST OR CAST INSITU PIT REFER STORMWATER NOTES  
450x450 CHARGED SYSTEM FLUSH OUT PIT DETAIL  
SCALE = 1 : 20



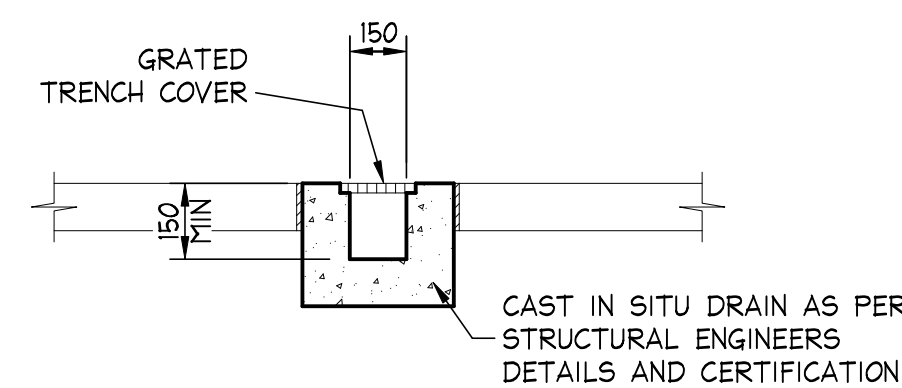
ORIFICE PLATE DETAIL  
SCALE = 1 : 10



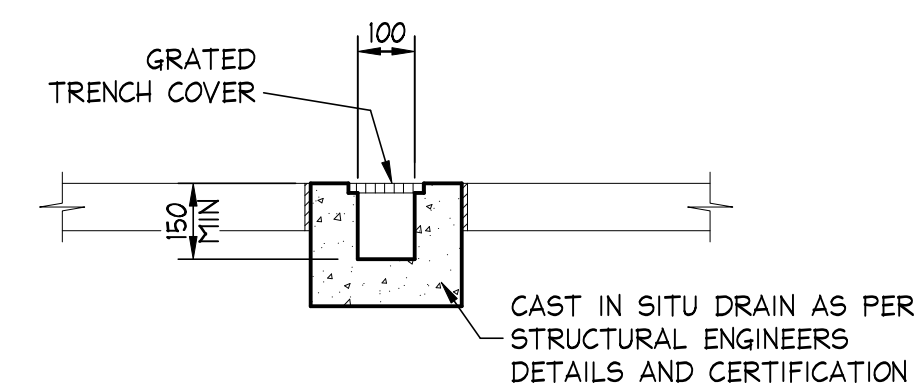
OR PRECAST GRATED PIT BY MANUFACTURER  
ALTERNATE POLYPROPYLENE PIT BY MANUFACTURER  
350x350 PIT DETAIL  
SCALE = 1 : 20



OR PRECAST GRATED PIT BY MANUFACTURER  
ALTERNATE POLYPROPYLENE PIT BY MANUFACTURER  
450x450 PIT DETAIL  
SCALE = 1 : 20



OR PRECAST GRATED DRAIN BY MANUFACTURER  
ALTERNATE POLYPROPYLENE DRAIN BY MANUFACTURER  
TYPE 'GDI' GRATED DRAIN  
SCALE = 1 : 20



OR PRECAST GRATED DRAIN BY MANUFACTURER  
ALTERNATE POLYPROPYLENE DRAIN BY MANUFACTURER  
TYPE 'GD2' GRATED DRAIN  
SCALE = 1 : 20

NOTE:  
NOTIFY ENGINEER IF  
HEIGHT TO ORIFICE  
IS TO CHANGE.

## NOTES:

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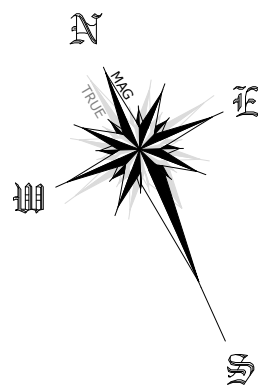
IF IN DOUBT ASK

Scale check - 100mm when printed to scale

AI												DOCUMENT CERTIFICATION		NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616		Architect: ENVIROTECTURE PROJECTS PTY LTD		Project: ALTERATIONS AND ADDITIONS 8 DEBORAH PLACE, EASTWOOD		Date: APR' 22	Design: LB	Drawn: NB	
07/09/2022		B	UPDATED TO SUIT NEW ARCH. PLANS										NB	LB	Sydney: Ph: (02) 9984 7000 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Suite 1, 30B Griffith Street, Coolangatta QLD 4225 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au		Client: DANIEL & ALEXIS CHEANG		Drawing Title: STORMWATER DRAINAGE DETAILS SHEET 1		Job No: 220131	Drawing No: D05	Issue: B
28/04/2022		A	ISSUED FOR DA SUBMISSION ONLY										NB	H4	B.E.(Civil), MIEAust. (Director NB Consulting Engineers)								
Date:	Issue:	Description:										By:	Review:	The copyright of this drawing remains with NB Consulting Engineers									

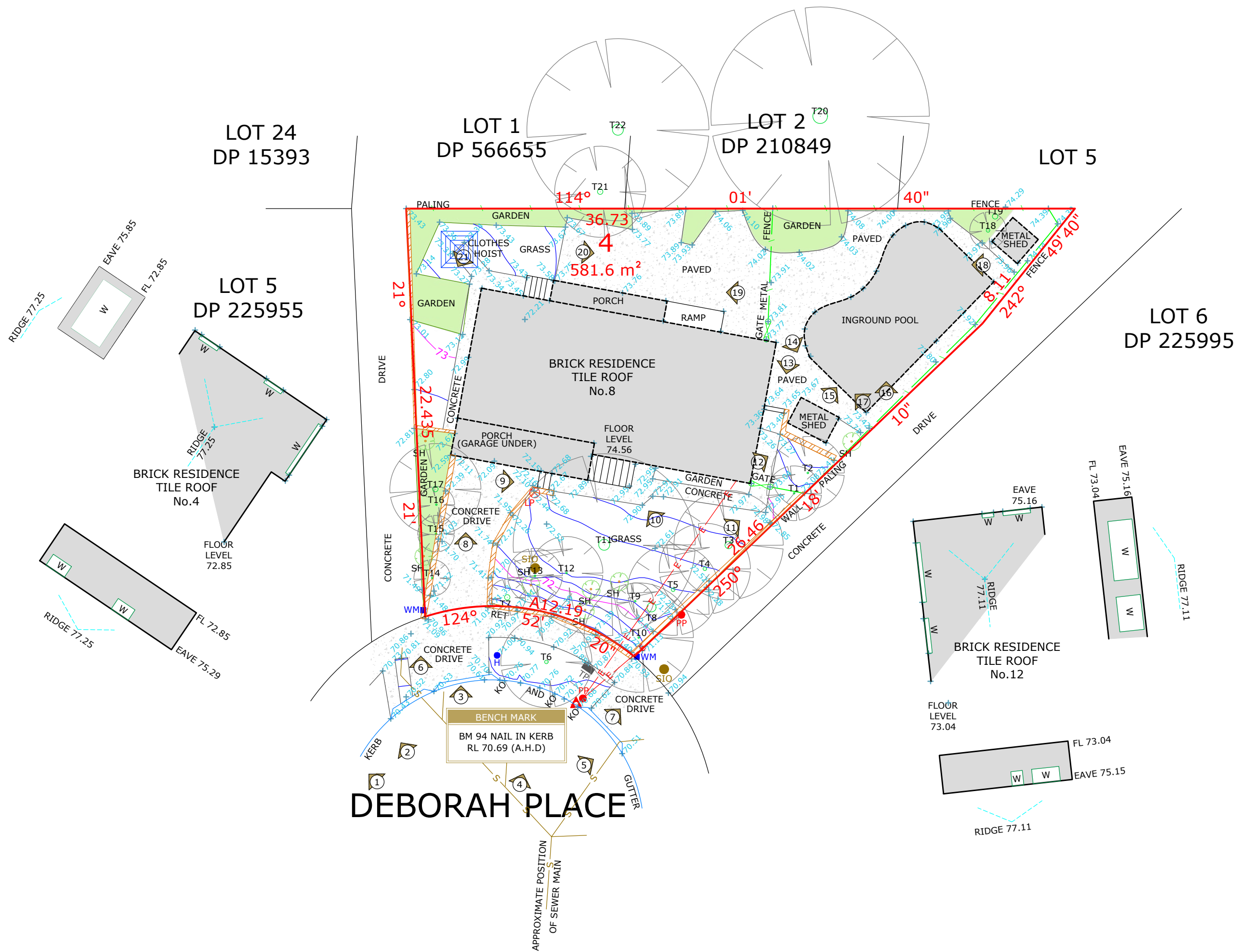
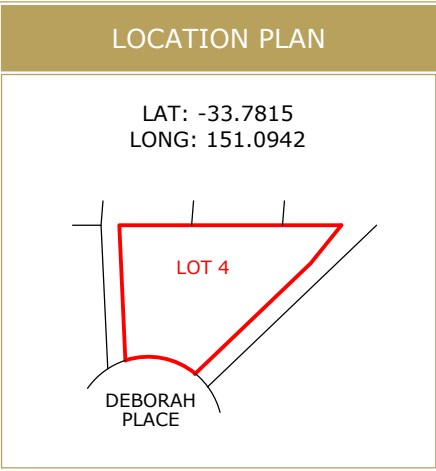
NB Consulting Engineers





**NORTH NOTE**

BEARINGS SHOWN HAVE BEEN DETERMINED FROM NSW LAND REGISTRY SERVICES PLANS AND ARE RELATED TO MAGNETIC NORTH. TRUE NORTH IS APPROXIMATE ONLY AND FURTHER INVESTIGATION WOULD BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.



SCHEDULE OF TREES			
	DIAMETER	HEIGHT	TYPE
T1	0.10	6m	-
T2	0.10	6m	-
T3	0.40	6m	-
T4	0.20	4m	-
T5	0.20	5m	-
T6	0.20	6m	-
T7	0.30	7m	-
T8	0.50		STUMP
T9	0.10	3m	-
T10	0.10	4m	-
T11	0.60	10m	-
T12	0.10	4m	-
T13	0.10	4m	-
T14	0.10	7m	-
T15	0.10	3m	-
T16	0.10	3m	-
T17	0.30	4m	-
T18	0.20	2m	-
T19	0.30		STUMP
T20	0.80	15m	-
T21	0.30	7m	-
T22	0.60	12m	-

LEGEND	
	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR/PRAM CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS	
EB	ELECTRICAL BOX
EM	ELECTRICAL METER
GM	GAS METER
H	HYDRANT
KO	KERB OUTLET
LH	LAMP HOLE
LP	LIGHT POLE
MH	MAN HOLE
MS	MAINTENANCE SHAFT
PP	POWER POLE
R	HYDRANT RECYCLED
SH	SHRUB
SIO	SEWER INSPECTION OPENING
SMH	SEWER MAN HOLE
SR	STOP VALVE RECYCLED
SV	STOP VALVE
SVP	SEWER VENT PIPE
SWP	STORM WATER PIT
T	TREE
TP	TELECOMMUNICATIONS PIT
VER	VERANDAH
WT	WATER TAG
WM	WATER METER
WMR	WATER METER RECYCLED
WC, GC, EC, TC	SERVICE CONDUIT
W/C	WATER CLOSET

SOURCE OF LEVELS	
SSM 58801	RL 63.978
S.C.I.M.S	



DRAWING NOTES	PLAN BY	CLIENT	REVISION	DESCRIPTION	DATE	PROJECT LOCATION	PLAN TYPE	LEVEL DATUM
1. CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.						LOT 4 DP 229073 8 DEBORAH PLACE EASTWOOD, NSW	CONTOUR PLAN	AUSTRALIAN HEIGHT DATUM
2. DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY NSW LAND REGISTRY SERVICES PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED. BUILDINGS AND FENCES ARE SHOWN IN APPROXIMATE POSITIONS ONLY AND COULD VARY + OR - 100MM.								DRAWN CHECKED
3. SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.								D.FISK N.TAYLOR
4. DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.								SURVEY DATE DGN/DWG No.
								01.02.2021 320794
		CLIENT REFERENCE:					0952/320794	SHEET SIZE SCALE
								A2 1:200

