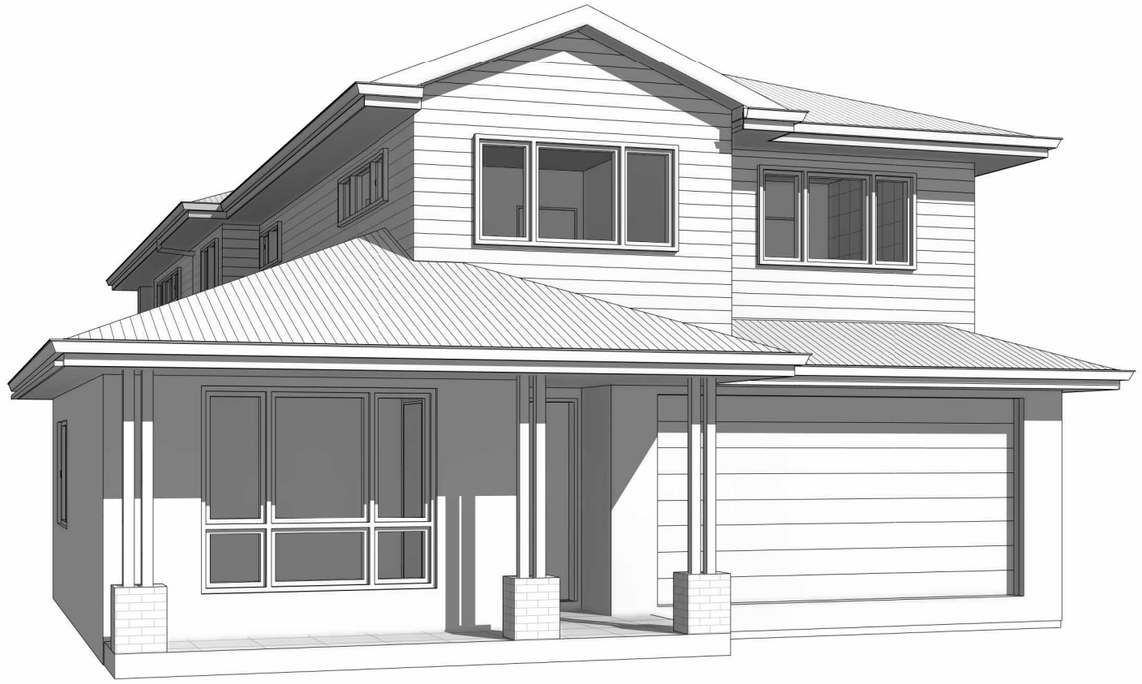
Sheet List

Sheet Number	Sheet Name
1	COVER SHEET
2	SITE PLAN
3	COMPLIANCE SHEET
4	GROUND FLOOR PLAN
5	GROUND FLOOR PLAN 2/2
6	FIRST FLOOR PLAN
7	ELEVATION
8	ELEVATION
9	DEMOLITION PLAN
10	WET AREA DETAILS
11	WET AREA DETAILS
12	G.F. ELECTRICAL PLAN
13	F.F. ELECTRICAL PLAN
14	BASIX
15	SLAB PLAN
16	SECTION + WINDOW SCHEDULE
17	ROOF PLAN
18	SITE MANAGEMENT
19	SITE ANALYSIS
20	SHADOWS



FRONT PERSPECTIVE

LOT 6 FALCONER STREET, WEST RYDE

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: COVER SHEET

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

SIGN OFF

CLIENT

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SIGNED..... DATE.....

SIGNED..... DATE.....

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*DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.

*REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

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DATE:	14-06-22
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PAGE SIZE:	A3

SHEET NUMBER: 1/21

ATRIA JOB NUMBER: J1770

ANSA JOB NUMBER: 2133

REVISIONS

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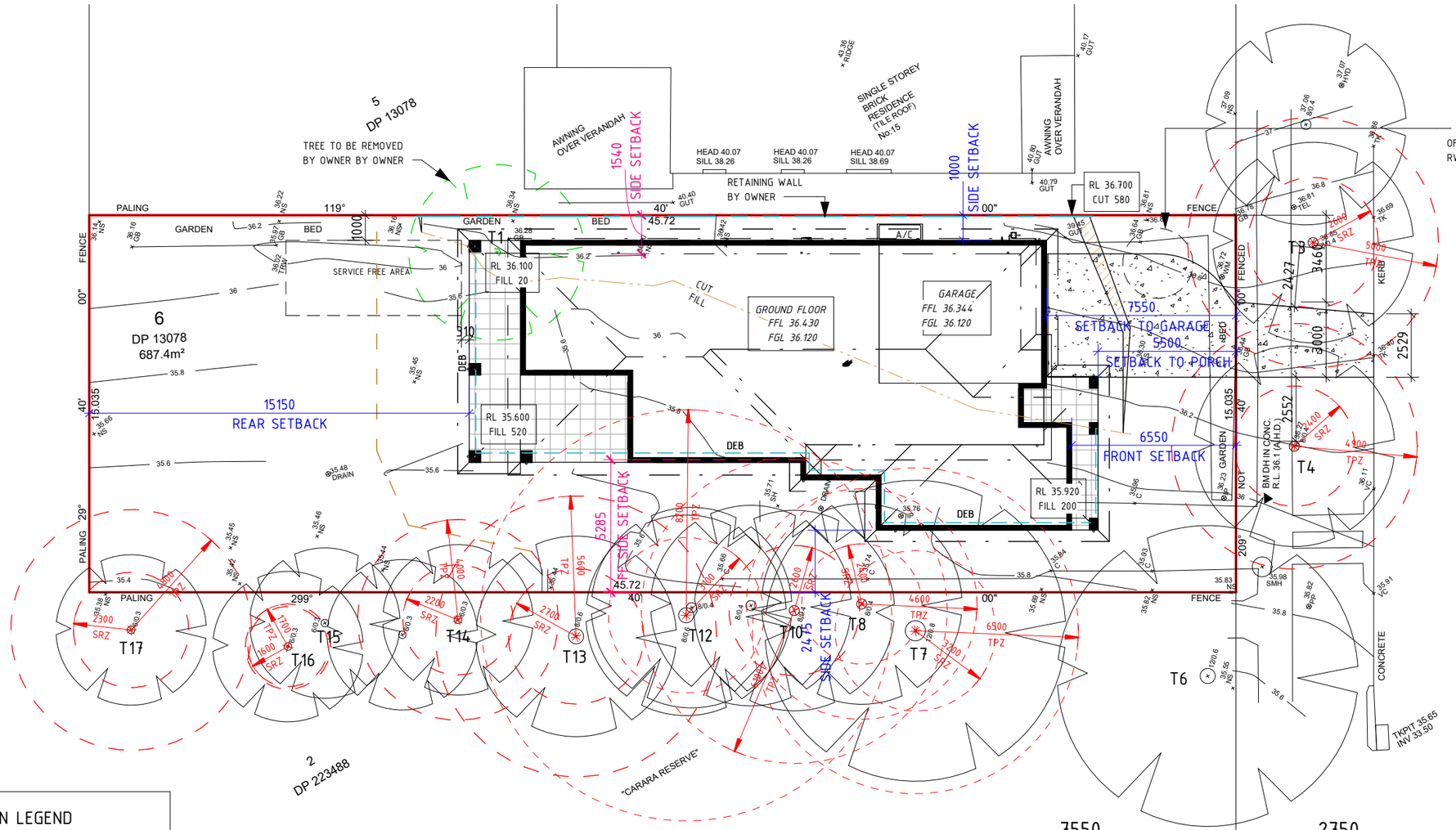


TOTAL FLOOR AREA

NAME	AREA	SQS
GROUND FLOOR	156.2 m²	16.8
GARAGE	38.3 m²	4.1
PORCH	9.5 m²	1.0
ALFRESCO	33.1 m²	3.6
FIRST FLOOR	153.4 m²	16.5
BALCONY	8.5 m²	0.9
TOTAL FLOOR AREA & SQS	399.0 m²	42.9

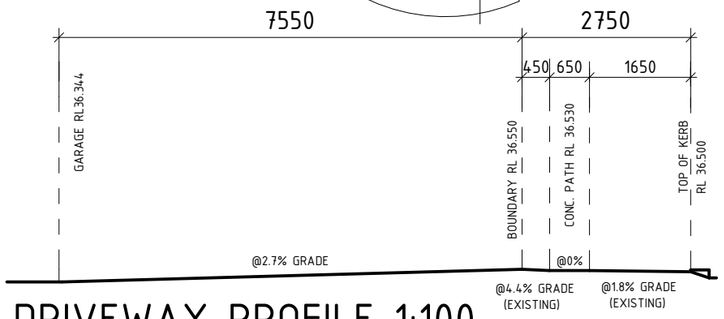
REFER TO HYDRAULICS ENGINEERS PLAN
FOR FULL DETAILS.
SITE PLANS TO BE CROSS REFERENCED
WITH HYDRAULIC PLANS. ANY DISCREPENCIES
ARE TO BE VERIFIED BEFORE PROCEEDING.

SITE PLAN LEGEND

	DENOTES BATTER REGION
	DENOTES LINE OF BATTER TO CUT OR FILL
	DENOTES RETAINING WALL
	DENOTES DROPPED EDGE BEAM
	DENOTES GROUND FLOOR FOOTPRINT
	DENOTES FIRST FLOOR FOOTPRINT
	DENOTES EXISTING TREES
	DENOTES TREES TO BE DEMOLISHED

TPZ ENCROACHMENT

TREE No.	PERMISSABLE	PROVIDED	COMPLIES Y/N
3	10% OR 8.0sqm	17.9% OR 14.3sqm	N
4	10% OR 7.6sqm	15.5% OR 11.8sqm	N
7	10% OR 13.2sqm	9.6% OR 12.69sqm	Y
8	10% OR 6.5sqm	2.3% OR 3.13sqm	Y
10	10% OR 11.8sqm	1.7% OR 2.0sqm	Y
12	10% OR 20.9sqm	9.8% OR 20.5sqm	Y



DRIVEWAY PROFILE 1:100

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: SITE PLAN

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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PAGE SIZE: A3

SHEET NUMBER: 2/21

ATRIA JOB NUMBER: J1770

ANSA JOB NUMBER: 2133

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LEP COMPLIANCE

687.4SQM (DP13078)	REQUIRED	PROVIDED	COMPLIES Y/N
FLOOR SPACE RATIO	0.5:1 OR 343.7SQM	285.94QM	Y
BUILDING HEIGHT	9.5M	8.3M	Y

DA COMPLIANCE - RYDE DCP

	REQUIRED	PROVIDED		COMPLIES Y/N
FRONT SETBACK	6000mm	6550mm TO B/L 7530mm TO GARAGE 5500mm TO PORCH		Y
GARAGE SETBACK FROM FRONT FACADE	1000mm	1000mm		Y
TOTAL GARAGE DOOR WIDTH	5700mm	4800mm		Y
GARAGE TOTAL MAXIMUM WIDTH	6000m OR 50% OF LOT (WHICHEVER IS LESS)	5980mm		Y
SIDE SETBACK (GROUND FLOOR)	900mm	LHS	2375mm	Y
		RHS	1000mm	Y
SIDE SETBACK (FIRST FLOOR)	1500mm	LHS	5285mm	Y
		RHS	1540mm	Y
REAR SETBACK	11430mm	15140mm		Y
LANDSCAPING	60% OR 58.6sqm OF FRONT TO BE LANDSCAPED	59.7sqm		Y
	MINIMUM 8M x 8M DEEP PLANTING ZONE TO REAR	8M x 8M		Y
PRIVATE OPEN SPACE	24sqm	331.7sqm		Y
MAXIMUM CUT & FILL	900mm CUT	580mm		Y
	900m CONTAINED FILL	520mm		Y

TOTAL FLOOR AREA

NAME	AREA	SQS
GROUND FLOOR	156.2 m^2	16.8
GARAGE	38.3 m^2	4.1
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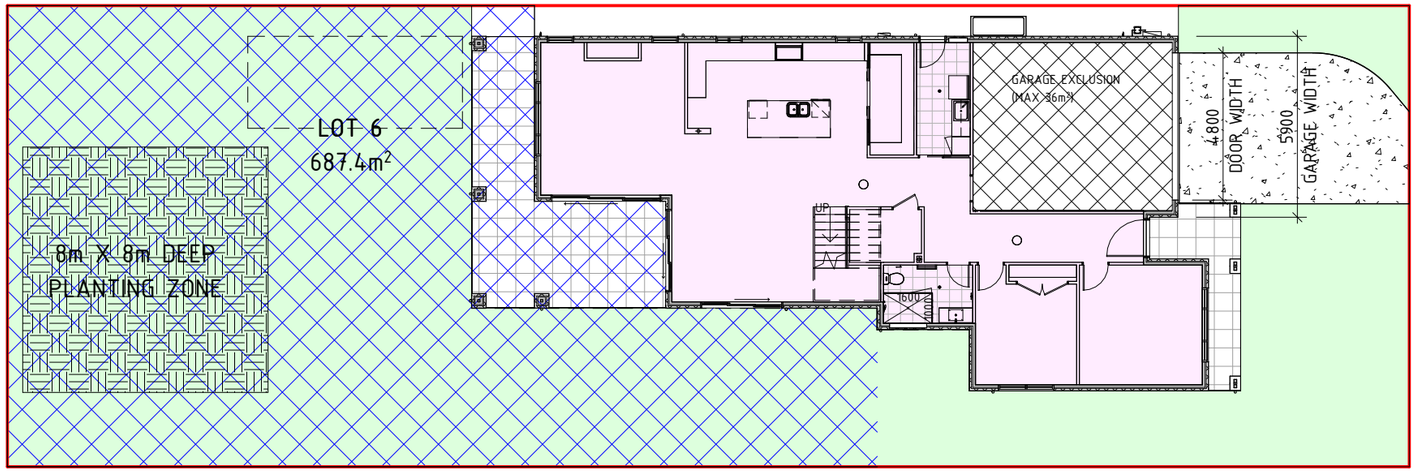

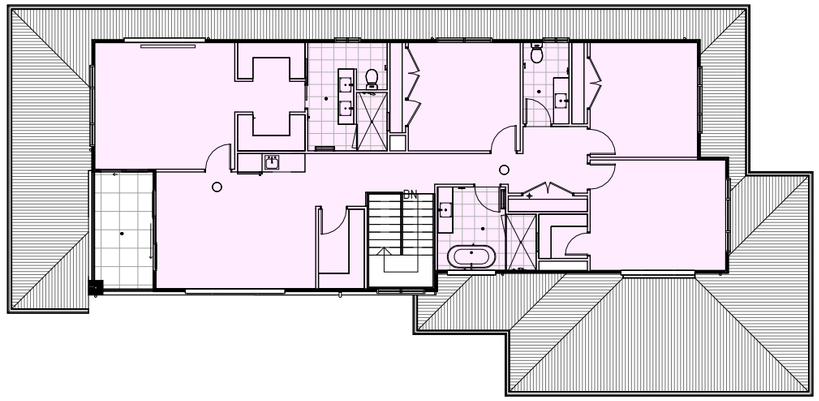

COMPLIANCE LEGEND

	DENOTES GROSS FLOOR AREA
	DENOTES LANDSCAPE AREA
	DENOTES PRIVATE OPEN SPACE
	DENOTES GARAGE G.F.A EXCLUSION

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: COMPLIANCE SHEET

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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DATE: 14-06-22		
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PAGE SIZE: A3		

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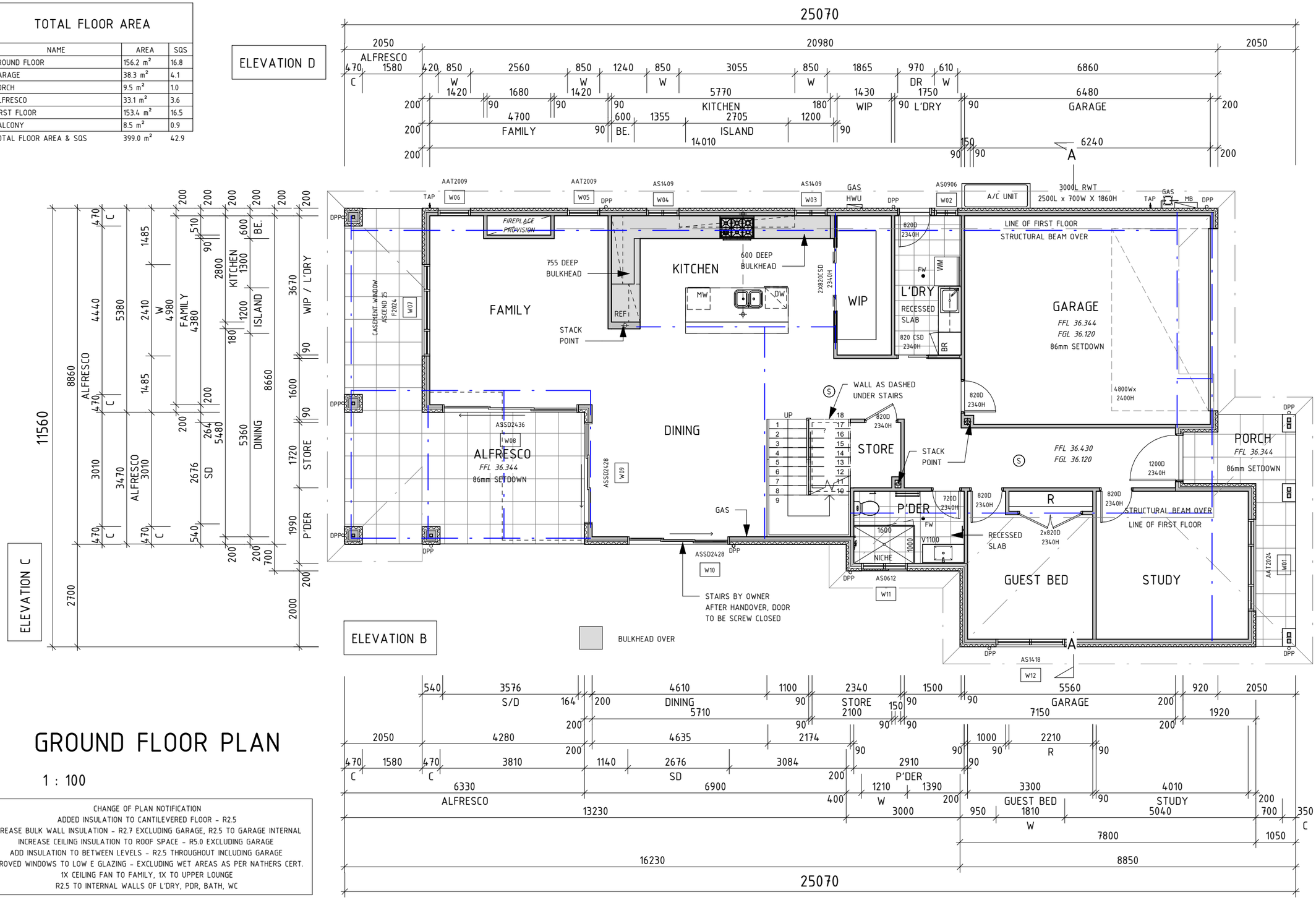

GROUND FLOOR PLAN

1 : 100

CHANGE OF PLAN NOTIFICATION
ADDED INSULATION TO CANTILEVERED FLOOR - R2.5
INCREASE BULK WALL INSULATION - R2.7 EXCLUDING GARAGE, R2.5 TO GARAGE INTERNAL
INCREASE CEILING INSULATION TO ROOF SPACE - R5.0 EXCLUDING GARAGE
ADD INSULATION TO BETWEEN LEVELS - R2.5 THROUGHOUT INCLUDING GARAGE
IMPROVED WINDOWS TO LOW E GLAZING - EXCLUDING WET AREAS AS PER NATHERS CERT.
1X CEILING FAN TO FAMILY, 1X TO UPPER LOUNGE
R2.5 TO INTERNAL WALLS OF L'DRY, PDR, BATH, WC

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: GROUND FLOOR PLAN

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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ANSA JOB NUMBER: 2133

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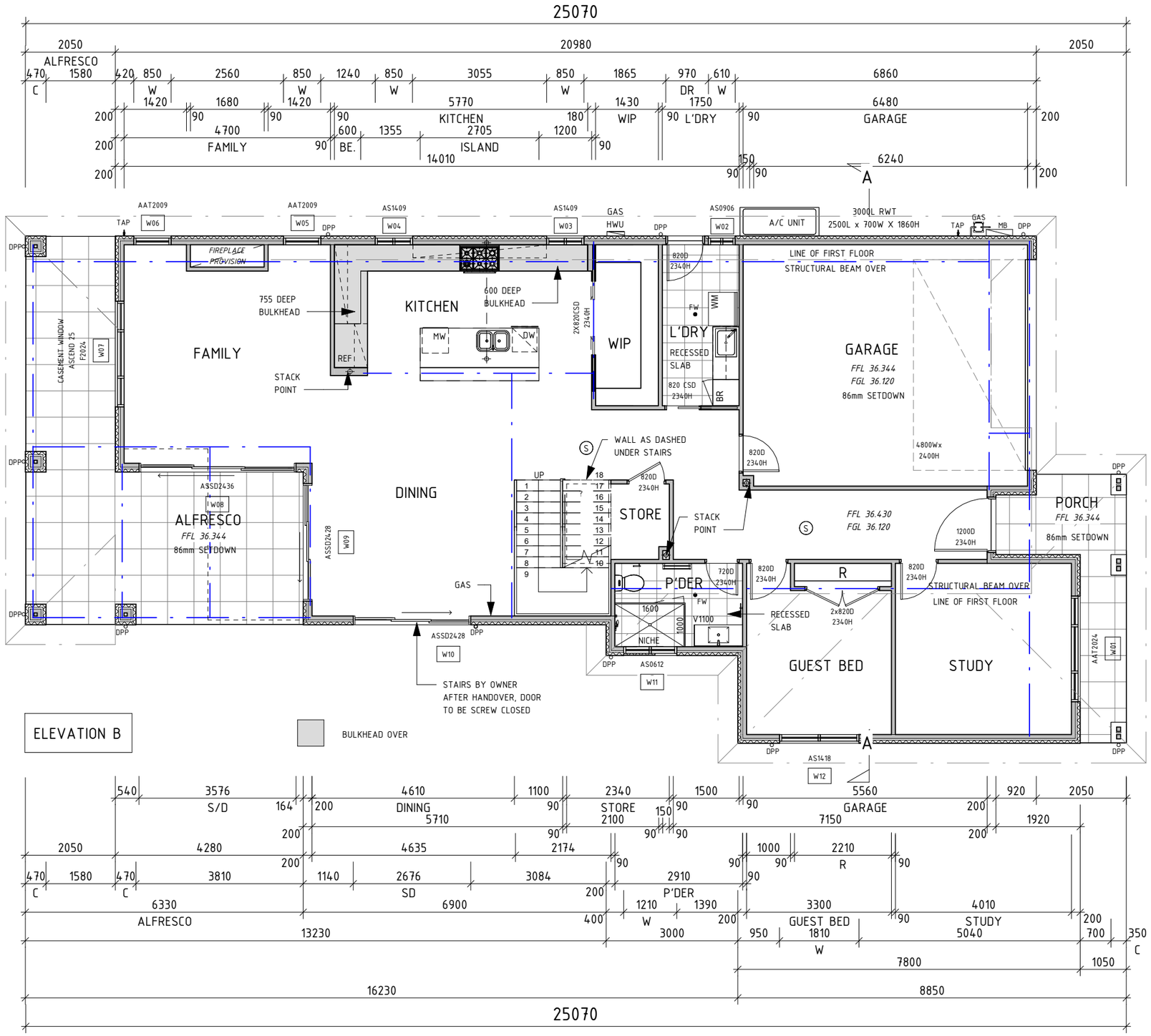

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ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: GROUND FLOOR PLAN 2/2

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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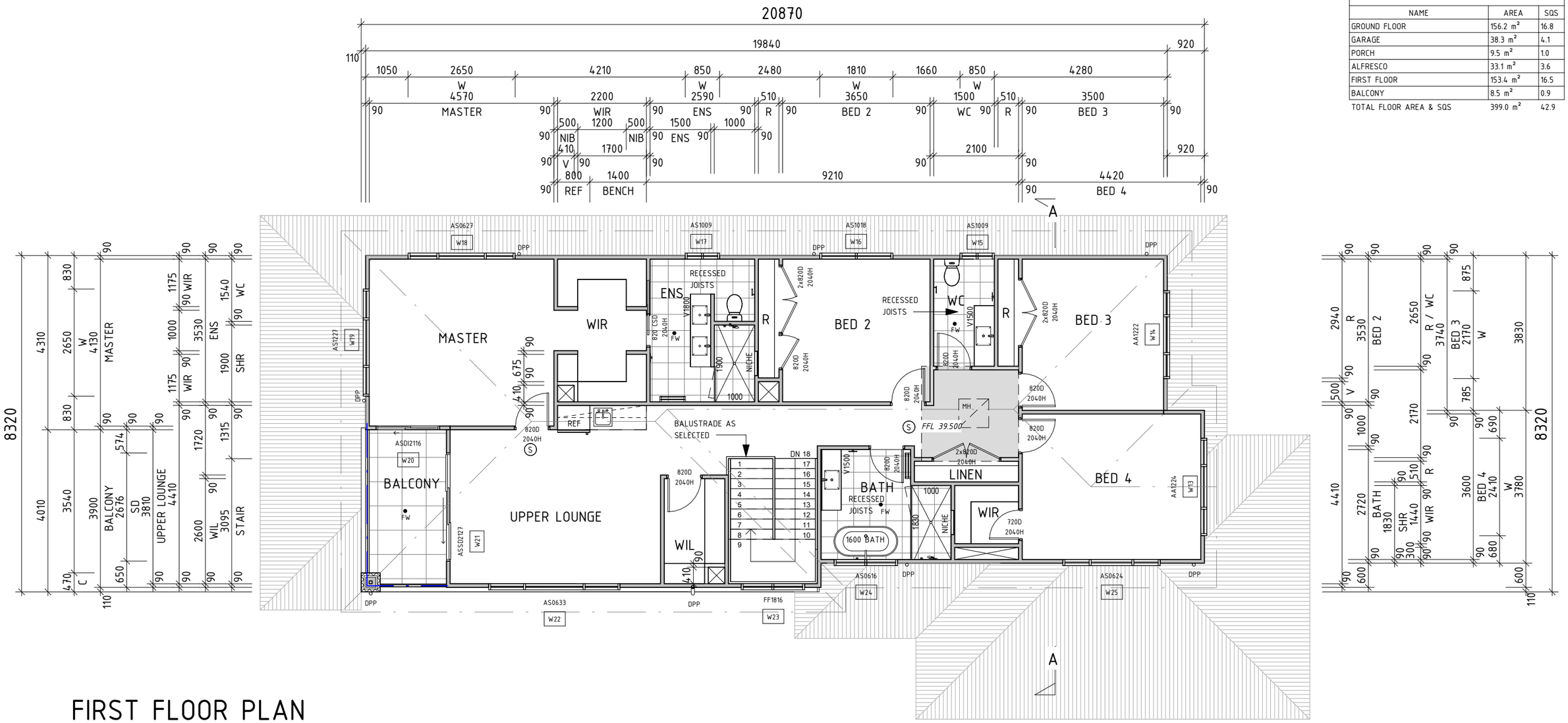
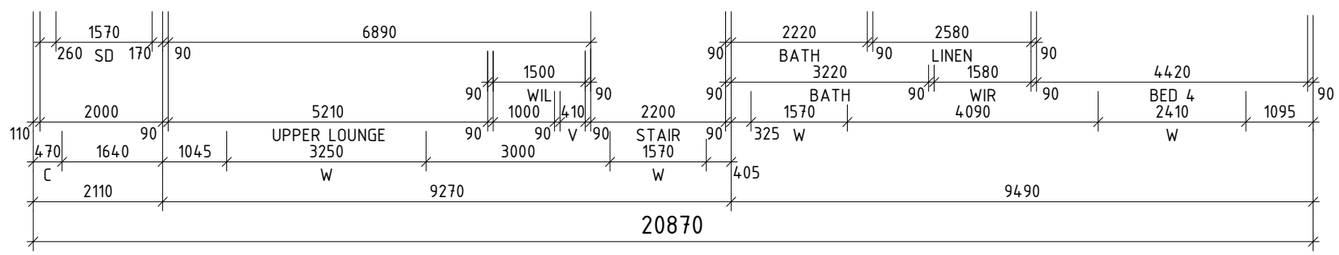


FIRST FLOOR PLAN

1 : 100

DENOTES VOID IN TRUSSES



ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: FIRST FLOOR PLAN

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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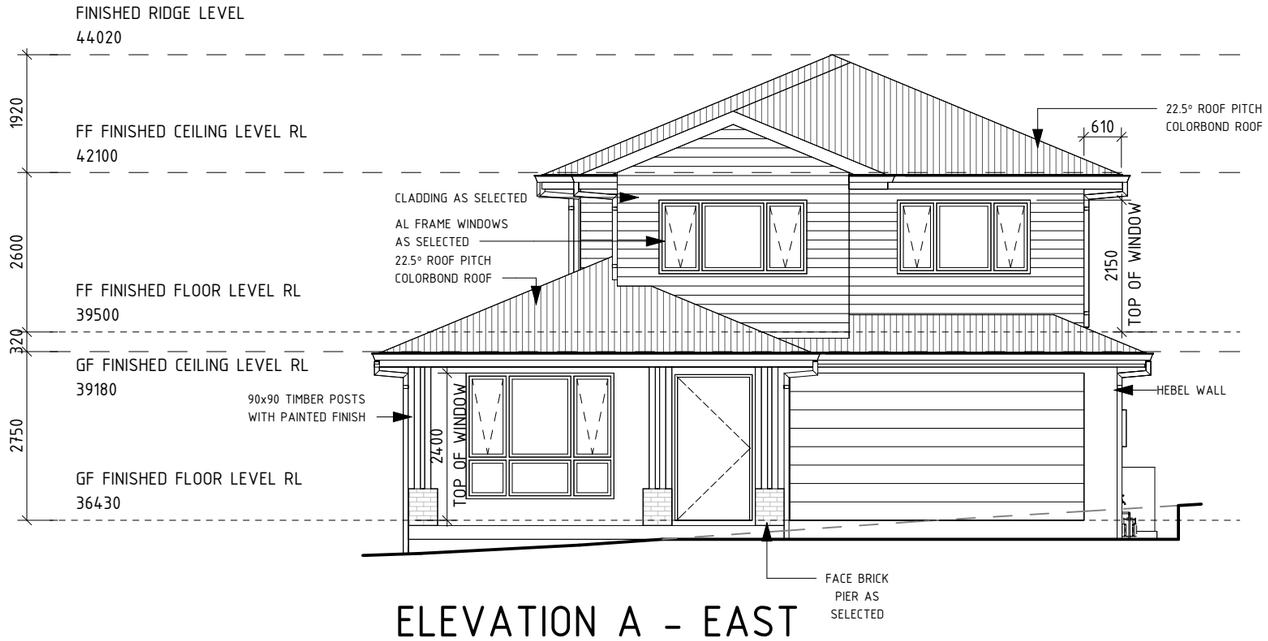
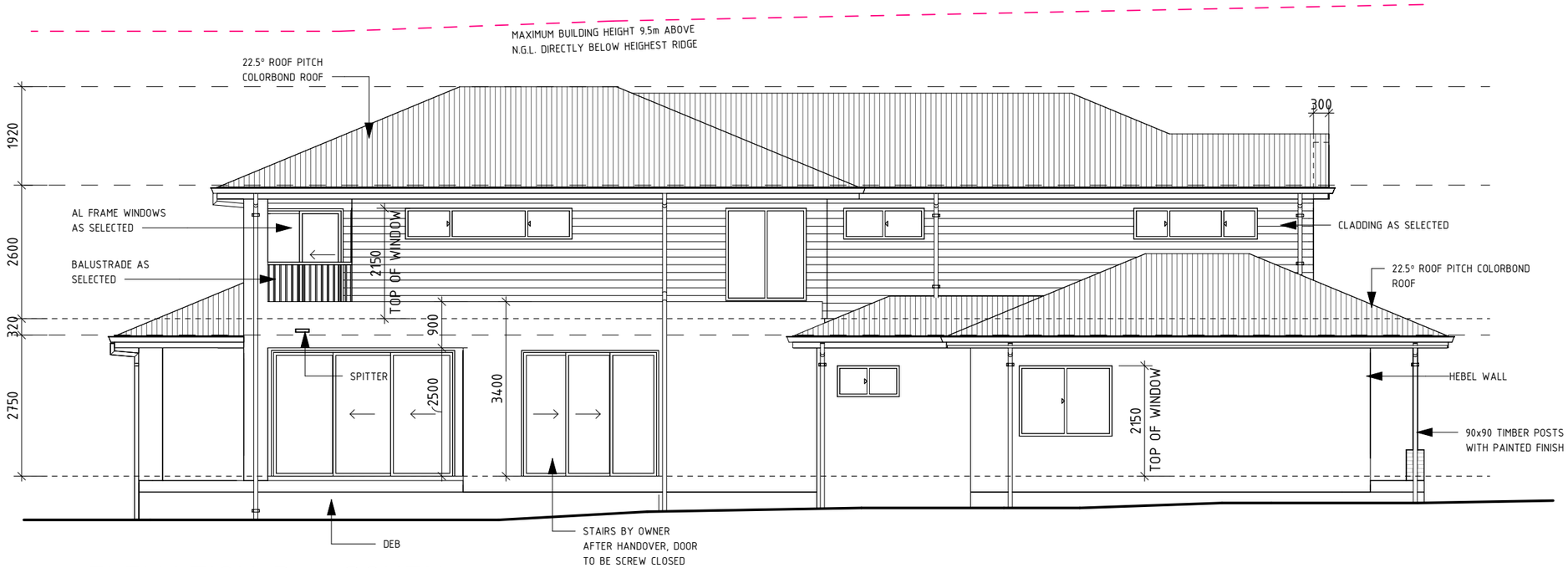


ELEVATION A - EAST

1:100



ELEVATION B - SOUTH

1:100

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: ELEVATION

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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ANSA JOB NUMBER: 2133

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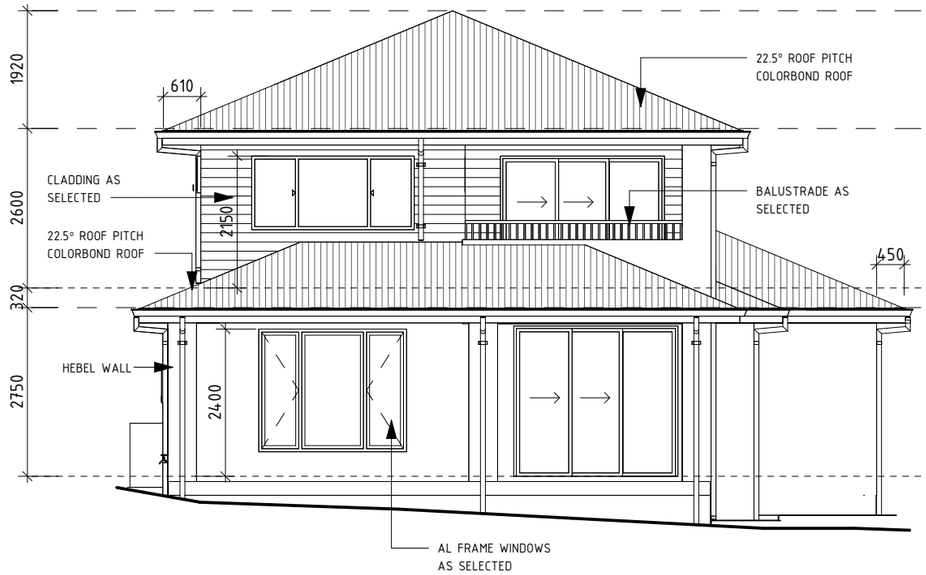
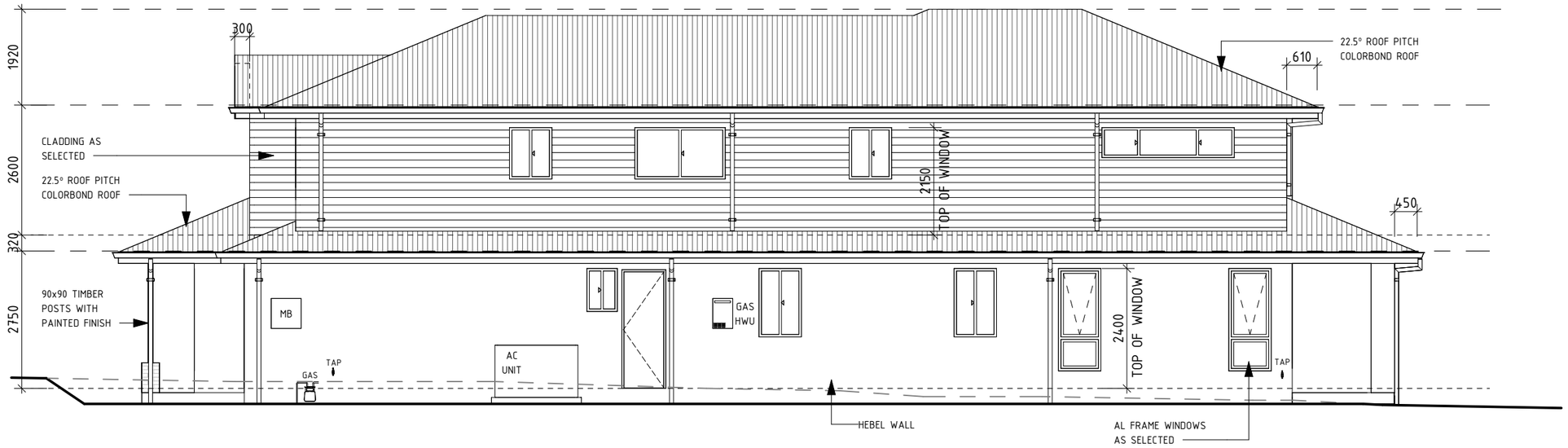


ELEVATION C - WEST

1:100



ELEVATION D - NORTH

1:100

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: ELEVATION

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

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SIGNED..... DATE.....

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*DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.

*REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

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DATE: 14-06-22		
DRAWN: JC		ANSA JOB NUMBER: 2133
PAGE SIZE: A3		

REVISIONS

REV	DATE	REVISION DESCRIPTION	DRAWN BY
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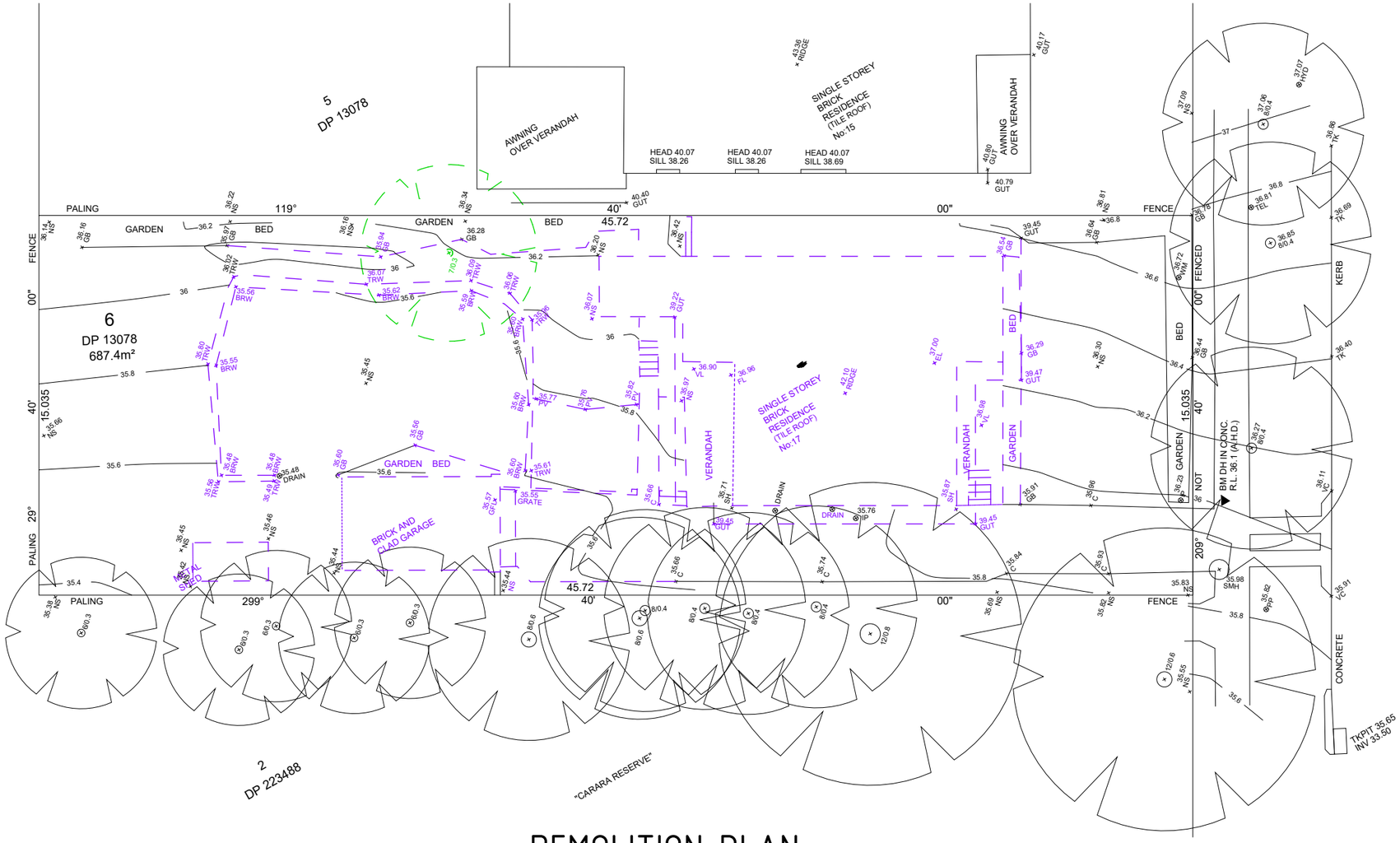
E	30-09-22	PERMIT PLAN	KC
F	14-11-22	AMEND PERMIT PLAN	KC



DEMOLITION PLAN

1 : 200

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: DEMOLITION PLAN

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

SIGN OFF

CLIENT

I / WE.....

.....

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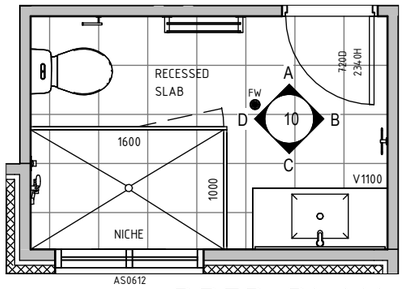
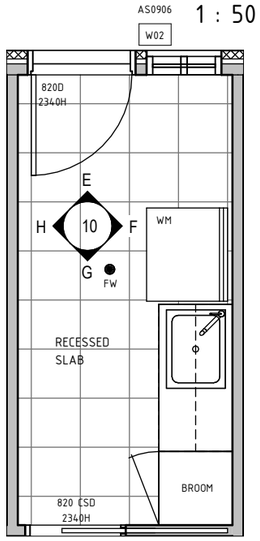


PDER PLAN

1 : 50



LDRY PLAN

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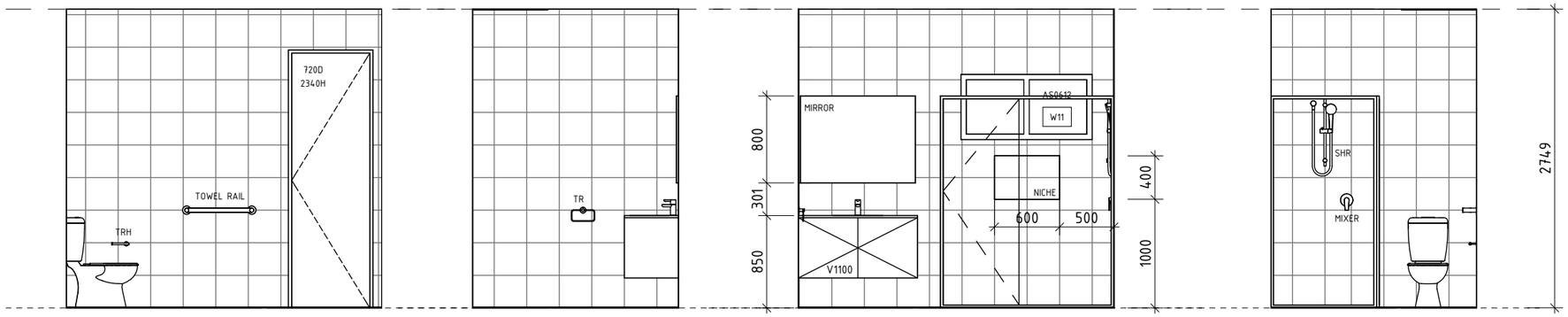


P'DER A

1 : 50

P'DER B

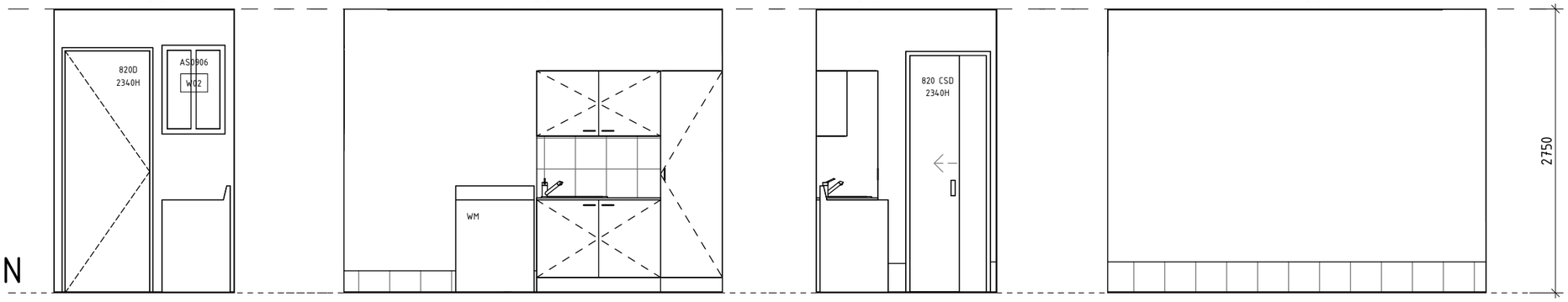
1 : 50

P'DER C

1 : 50

P'DER D

1 : 50



L'DRY E

1 : 50

L'DRY F

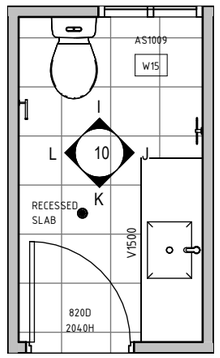
1 : 50

L'DRY G

1 : 50

L'DRY H

1 : 50



WC PLAN

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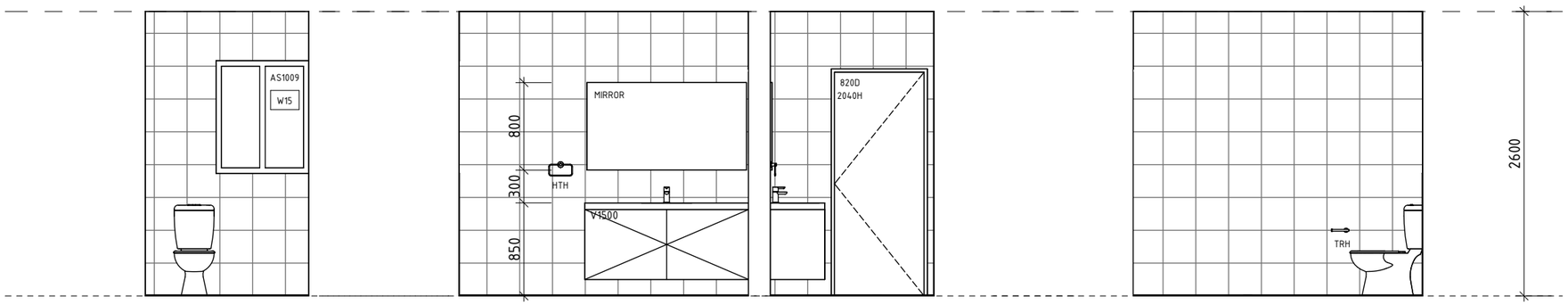

WC I

1 : 50

WC J

1 : 50

WC K

1 : 50

WC L

1 : 50

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT:
WET AREA DETAILS

HOUSE TYPE:
CUSTOM

PROPERTY ADDRESS:
LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT:
MR & MRS NEAL

SIGN OFF

CLIENT

I / WE.....

.....

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REVISIONS

REV	DATE	REVISION DESCRIPTION	DRAWN BY
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E	30-09-22	PERMIT PLAN	KC
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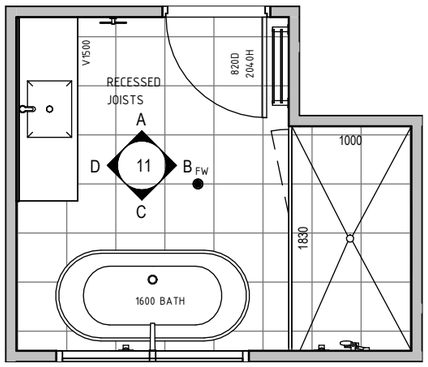
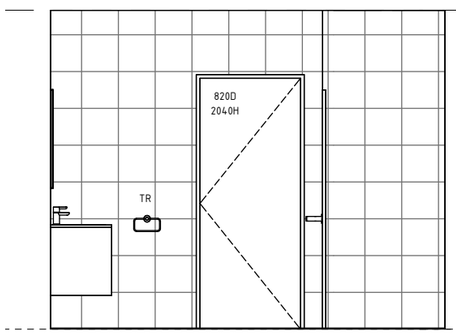


AS0616
W24

BATH PLAN

1 : 50



BATH A

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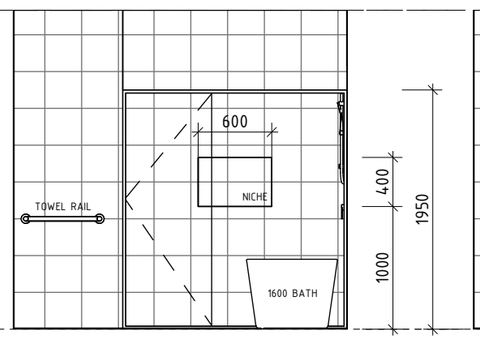

BATH B

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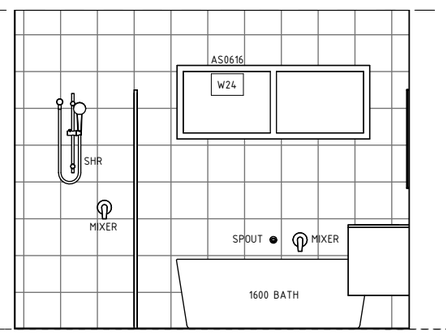

BATH C

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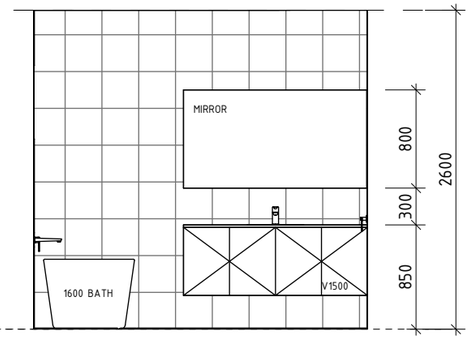

BATH D

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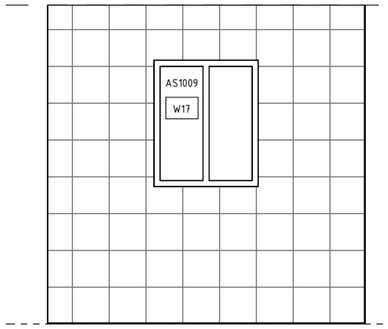
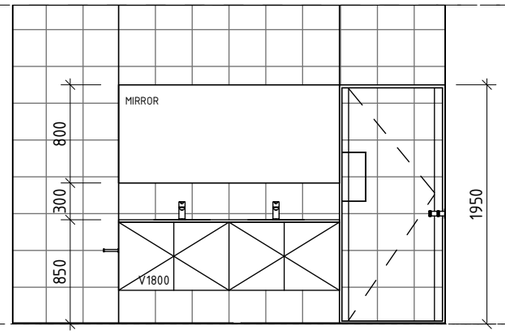


ENS E

1 : 50



ENS F

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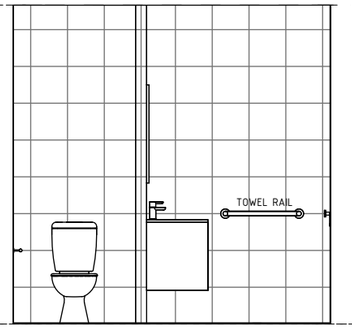

ENS G

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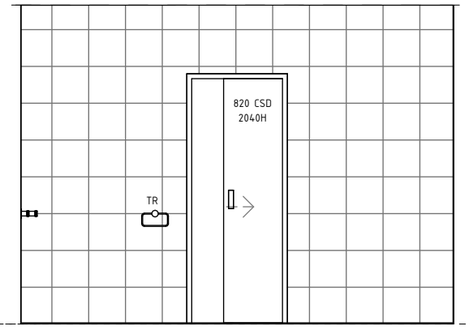

ENS H

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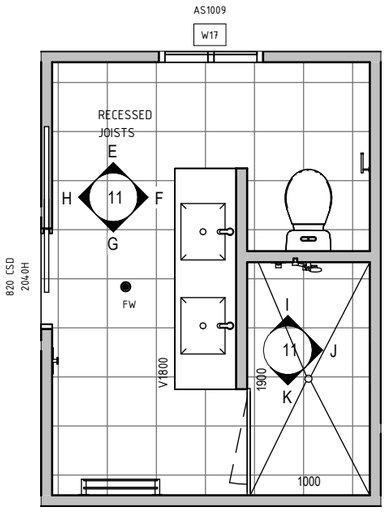
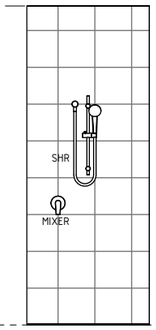


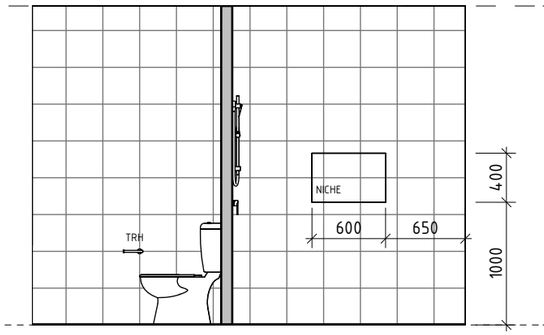
ENS PLAN

1 : 50



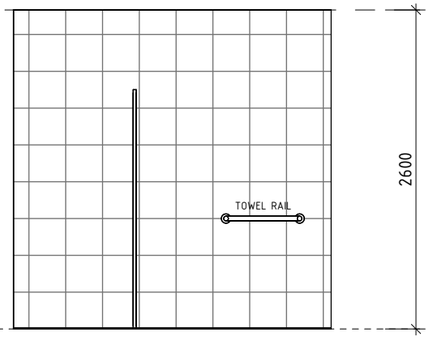
ENS I

1 : 50



ENS J

1 : 50



ENS K

1 : 50

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: WET AREA DETAILS

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

SIGN OFF

CLIENT

I / WE.....

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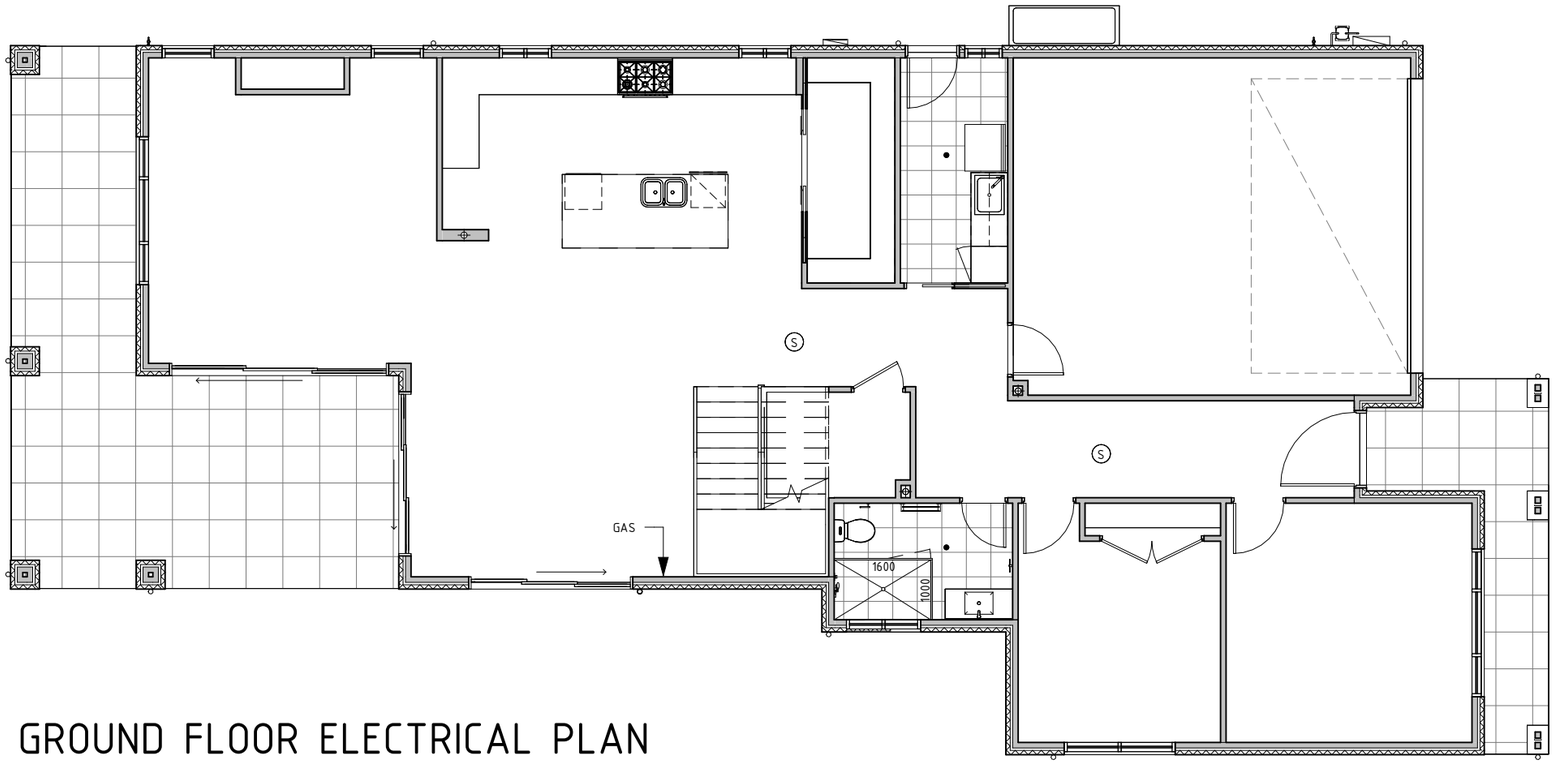
DATE: 14-06-22	11/21	J1770
DRAWN: JC		ANSA JOB NUMBER:
PAGE SIZE: A3		2133

REVISIONS

REV	DATE	REVISION DESCRIPTION	DRAWN BY
D	15-09-22	AMEND PRELIM PERMIT	KC
E	30-09-22	PERMIT PLAN	KC
F	14-11-22	AMEND PERMIT PLAN	KC

ELECTRICAL LEGEND

- SINGLE GPO - 300mm FFL
- DOUBLE GPO - 300mm FFL
- SINGLE GPO - 1050mm FFL
- DOUBLE GPO - 1050mm FFL
- SINGLE GPO - 1400mm FFL
- DOUBLE GPO - 1400mm FFL
- SINGLE GPO - 1800mm FFL
- SINGLE GPO - 2000mm FFL
- SINGLE GPO - ON CEILING
- WATERPROOF GPO
- CEILING LIGHT OUTLET
- CEILING DOWN LIGHT OUTLET
- RECESS STAIR LIGHT
- WALL MOUNTED LIGHT
- DOUBLE PARA-FLOOD LIGHT
- EXHAUST FAN/LIGHT/HEATER
- EXHAUST FAN/LIGHT
- SMOKE DETECTOR
- EXHAUST FAN
- TV ANTENNA POINT
- TELEPHONE POINT
- SWEEP FAN
- SWEEP FAN/LIGHT
- 1200 FLURO TUB LIGHT



GROUND FLOOR ELECTRICAL PLAN

1 : 100

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: G.F. ELECTRICAL PLAN

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

SIGN OFF

CLIENT

I / WE.....

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- DOUBLE GPO - 300mm FFL
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- DOUBLE GPO - 1050mm FFL
- SINGLE GPO - 1400mm FFL
- DOUBLE GPO - 1400mm FFL
- SINGLE GPO - 1800mm FFL
- SINGLE GPO - 2000mm FFL
- SINGLE GPO - ON CEILING
- WATERPROOF GPO
- CEILING LIGHT OUTLET
- CEILING DOWN LIGHT OUTLET
- RECESS STAIR LIGHT
- WALL MOUNTED LIGHT
- DOUBLE PARA-FLOOD LIGHT
- EXHAUST FAN/LIGHT/HEATER
- EXHAUST FAN/LIGHT
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- EXHAUST FAN
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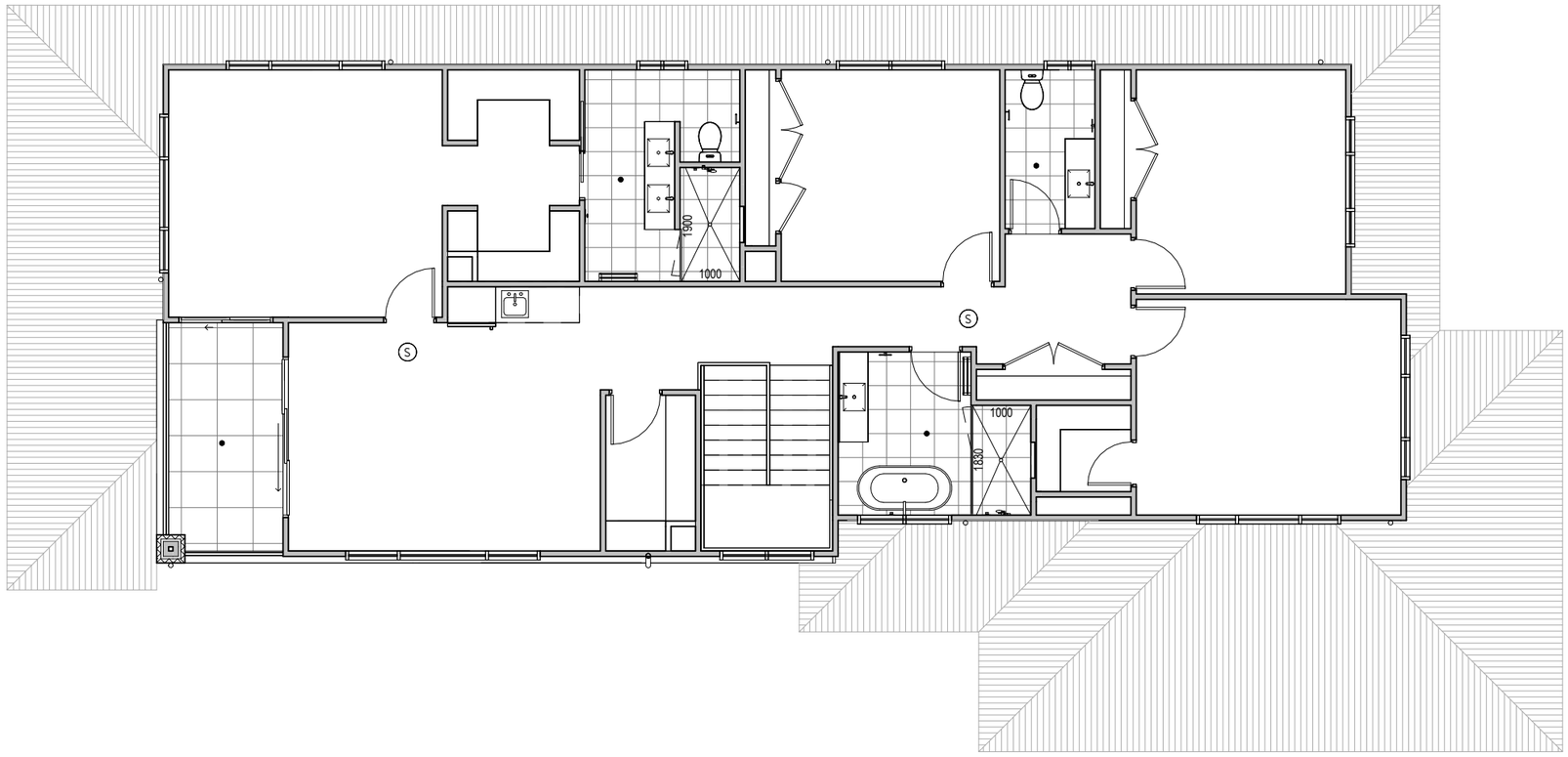
- TELEPHONE POINT
- SWEEP FAN
- SWEEP FAN/LIGHT
- 1200 FLURO TUB LIGHT



FIRST FLOOR PLAN

1 : 100

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: F.F. ELECTRICAL PLAN

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

SIGN OFF

CLIENT

I / WE.....

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F	14-11-22	AMEND PERMIT PLAN	KC

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1342699S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 23 September 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW GOVERNMENT | Planning, Industry & Environment

Project summary	
Project name	Lot 6 17 Falconer St West Ryde
Street address	17 Falconer Street West Ryde 2114
Local Government Area	Ryde City Council
Plan type and plan number	deposited 13078
Lot no.	6
Section no.	-
Project type	separate dwelling house
No. of bedrooms	5

Project score		
Water	✔ 47	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 52	Target 50

Certificate Prepared by
Name / Company Name: Frys Energywise
ABN (if applicable): 631418543

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 1342699S Friday, 23 September 2022 page 1/7

Nationwide House Energy Rating Scheme
NatHERS Certificate No. 0008083156-01

Generated on 23 Sep 2022 using BERS Pro v4.4.1.5 (3.21)

5.1
The more stars the more energy efficient
NATIONWIDE HOUSE ENERGY RATING SCHEME ®
64.1 MJ/m²
Predicted annual energy load for heating and cooling based on standard occupancy assumptions.
For more information on your dwelling's rating see:
www.nathers.gov.au

Property

Address	17 Falconer Street , West Ryde , NSW , 2114
Lot/DP	6/13078
NCC Class*	1A
Type	New Dwelling

Plans

Main Plan	2133
Prepared by	JC

Construction and environment

Assessed floor area (m²)*		**Exposure Type**
Conditioned*	254.0	Suburban
Unconditioned*	60.0	**NatHERS climate zone**
Total	314.0	56
Garage	35.0	

Thermal performance

Heating	Cooling
39.4 MJ/m²	24.7 MJ/m²

Accredited assessor

Name	Ian Fry
Business name	Frys Energywise
Email	comply@frysenergywise.com.au
Phone	02 9899 2825
Accreditation No.	DMN/12/1441
Assessor Accrediting Organisation	Design Matters National
Declaration of interest	Declaration completed: no conflicts

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

To verify this certificate, scan the QR code or visit hstar.com.au/QR/Generate?p=bIWXRcFpc.
When using either link, ensure you are visiting hstar.com.au

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.

State and territory variations and additions to the NCC may also apply.

* Refer to glossary.
Generated on 23 Sep 2022 using BERS Pro v4.4.1.5 (3.21) for 17 Falconer Street , West Ryde , NSW , 2114

Page 1 of 9

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: BASIX

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

SIGN OFF

CLIENT

I / WE.....

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CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES

SIGNED..... DATE.....

SIGNED..... DATE.....

GENERAL NOTES:

* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS

*FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE

*UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 250mm THICK

*DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.

*REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

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DATE: 14-06-22		ANSA JOB NUMBER: 2133
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PAGE SIZE: A3		

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D	15-09-22	AMEND PRELIM PERMIT	KC
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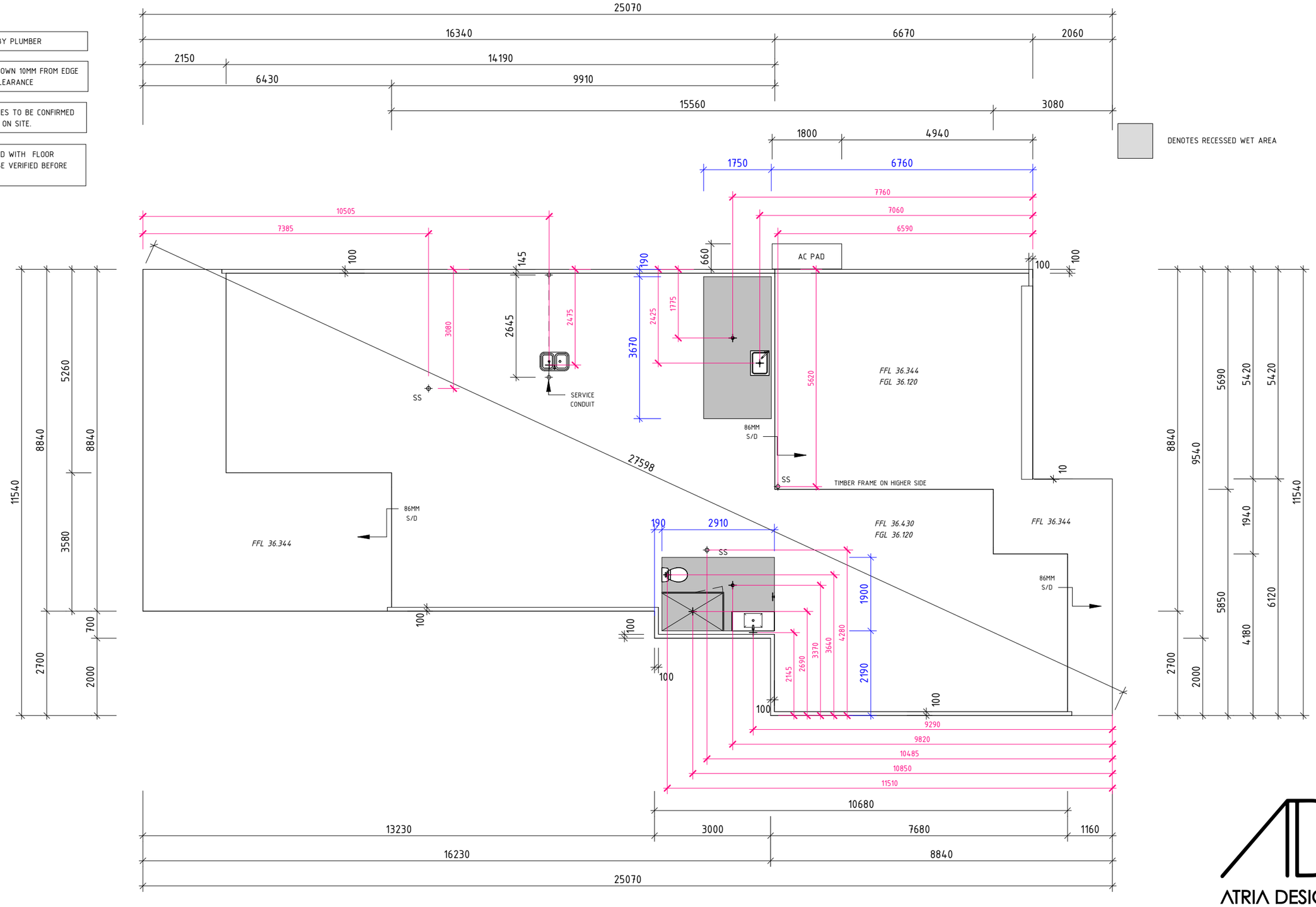
ALL DRAINAGE POINTS TBC ONSITE BY PLUMBER

ALL EXTERNAL SLAB EDGES ARE SHOWN 10MM FROM EDGE OF HEBEL TO ALLOW FOR RENDER CLEARANCE

ALL SLAB PENETRATION AND FIXTURES TO BE CONFIRMED BY CLIENT PRIOR TO COMMENCEMENT ON SITE.

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS. ANY DISREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING.



ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: SLAB PLAN

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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ANSA JOB NUMBER:	2133

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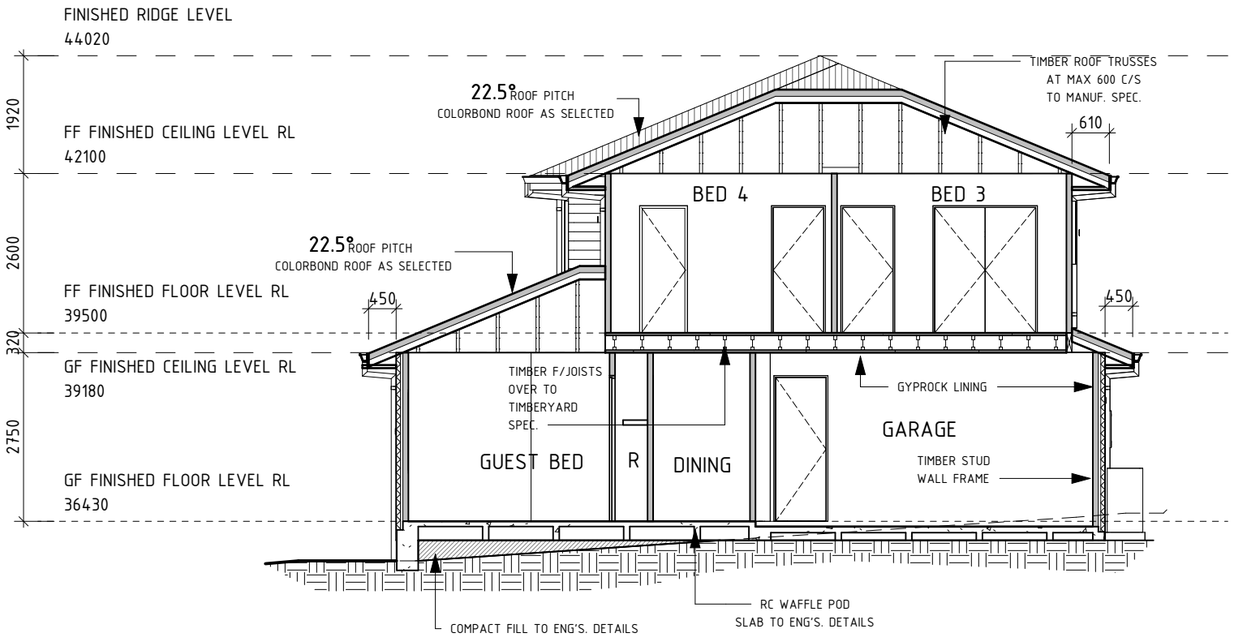

WINDOW SCHEDULE - BUILDER

MARK	WINDOW CODE	OPENING TYPE	HEIGHT	WIDTH
W01	AAT2024	AWNING WINDOW	2050	2410
W02	AS0906	SLIDING WINDOW	860	610
W03	AS1409	SLIDING WINDOW	1370	850
W04	AS1409	SLIDING WINDOW	1370	850
W05	AAT2009	AWNING WINDOW	2050	850
W06	AAT2009	AWNING WINDOW	2050	850
W07	F2024	FIXED WINDOW	2000	2410
W08	ASSD2436	STACKER DOOR	2410	3576
W09	ASSD2428	STACKER DOOR	2410	2676
W10	ASSD2428	STACKER DOOR	2410	2676
W11	AS0612	SLIDING WINDOW	600	1210
W12	AS1418	SLIDING WINDOW	1370	1810
W13	AA1224	AWNING WINDOW	1200	2410
W14	AA1222	AWNING WINDOW	1200	2170
W15	AS1009	SLIDING WINDOW	1030	850
W16	AS1018	SLIDING WINDOW	1030	1810
W17	AS1009	SLIDING WINDOW	1030	850
W18	AS0627	SLIDING WINDOW	600	2650
W19	AS1227	SLIDING WINDOW	1200	2650
W20	ASDI2116	SLIDING DOOR	2100	1570
W21	ASSD2127	STACKER DOOR	2110	2676
W22	AS0633	SLIDING WINDOW	600	3250
W23	FF1816	FIXED WINDOW	1800	1570
W24	AS0616	SLIDING WINDOW	600	1570
W25	AS0624	SLIDING WINDOW	600	2410

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: SECTION + WINDOW SCHEDULE

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

SIGN OFF

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SHEET NUMBER: 16/21

ATRIA JOB NUMBER: J1770

ANSA JOB NUMBER: 2133

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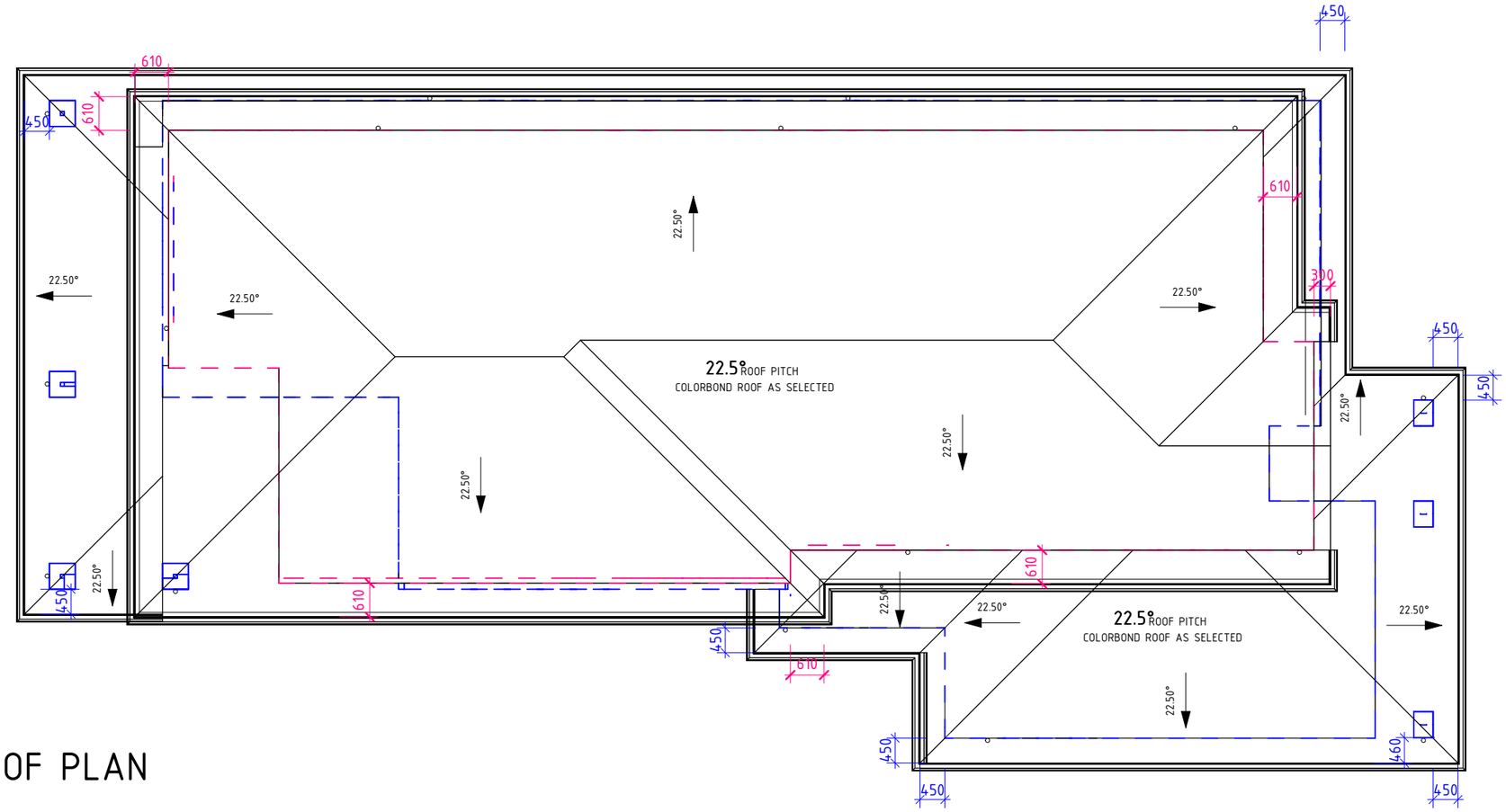

ROOF PLAN

1 : 100

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: ROOF PLAN

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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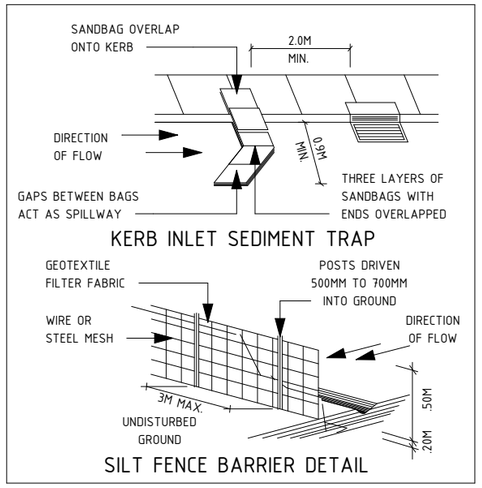
F	14-11-22	AMEND PERMIT PLAN	KC

SITE MANAGEMENT LEGEND

SB	DENOTES SKIP BIN LOCATION DURING CONSTRUCTION
	DENOTES ALL WEATHER ACCESS DURING CONSTRUCTION
	DENOTES SILT FENCE BARRIER
MS	DENOTES MATERIAL STORAGE
RB	DENOTES RECYCLE BIN
SS	DENOTES SOIL STOCKPILE
DT	DENOTES DEMOUNTABLE TOILETS



SEDIMENT CONTROL NOTES:

-ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF N.S.W.

-ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT

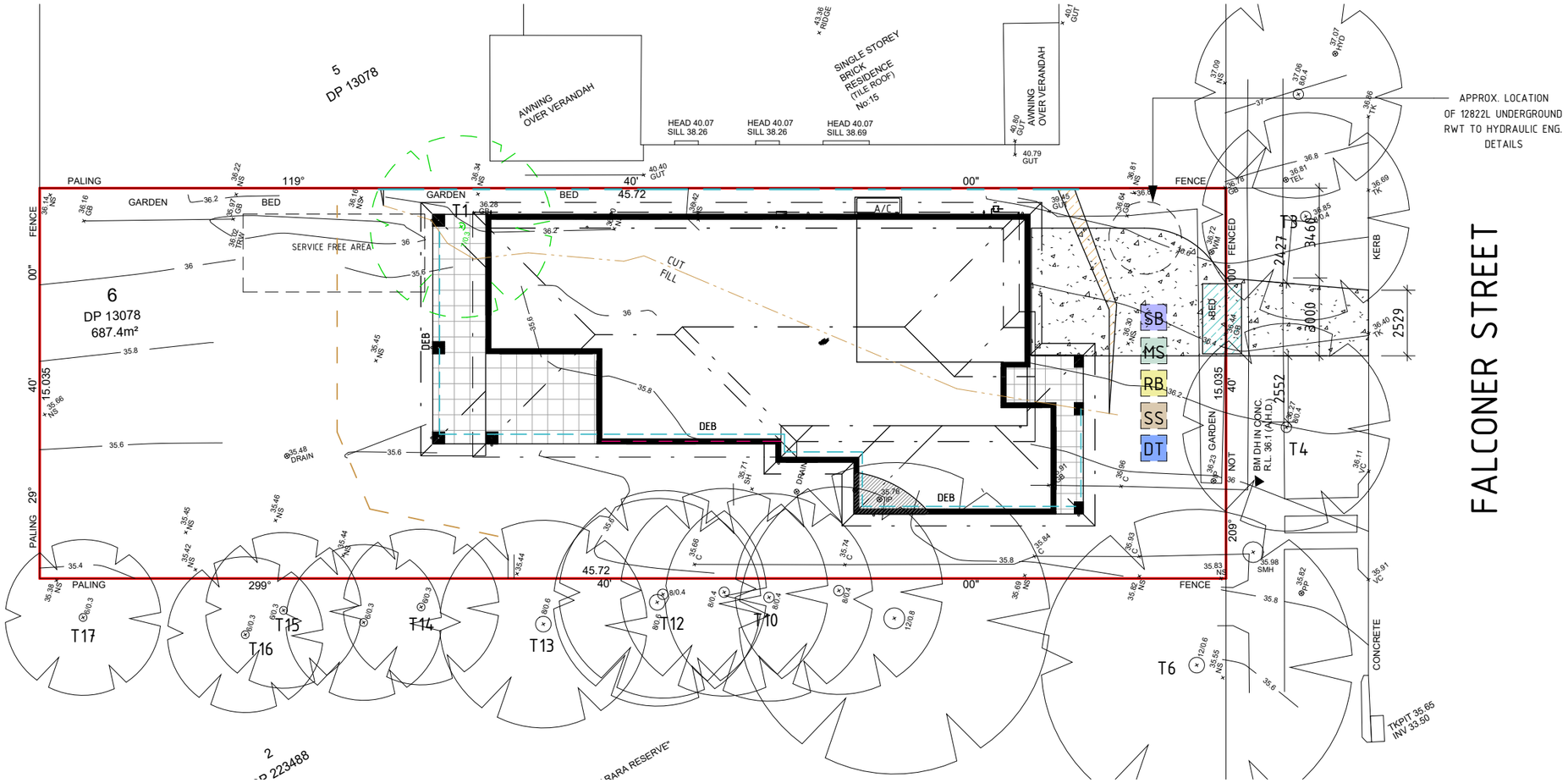
-SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

-ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

-ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

-SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

-FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2.M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.



ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: SITE MANAGEMENT

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

SIGN OFF

CLIENT

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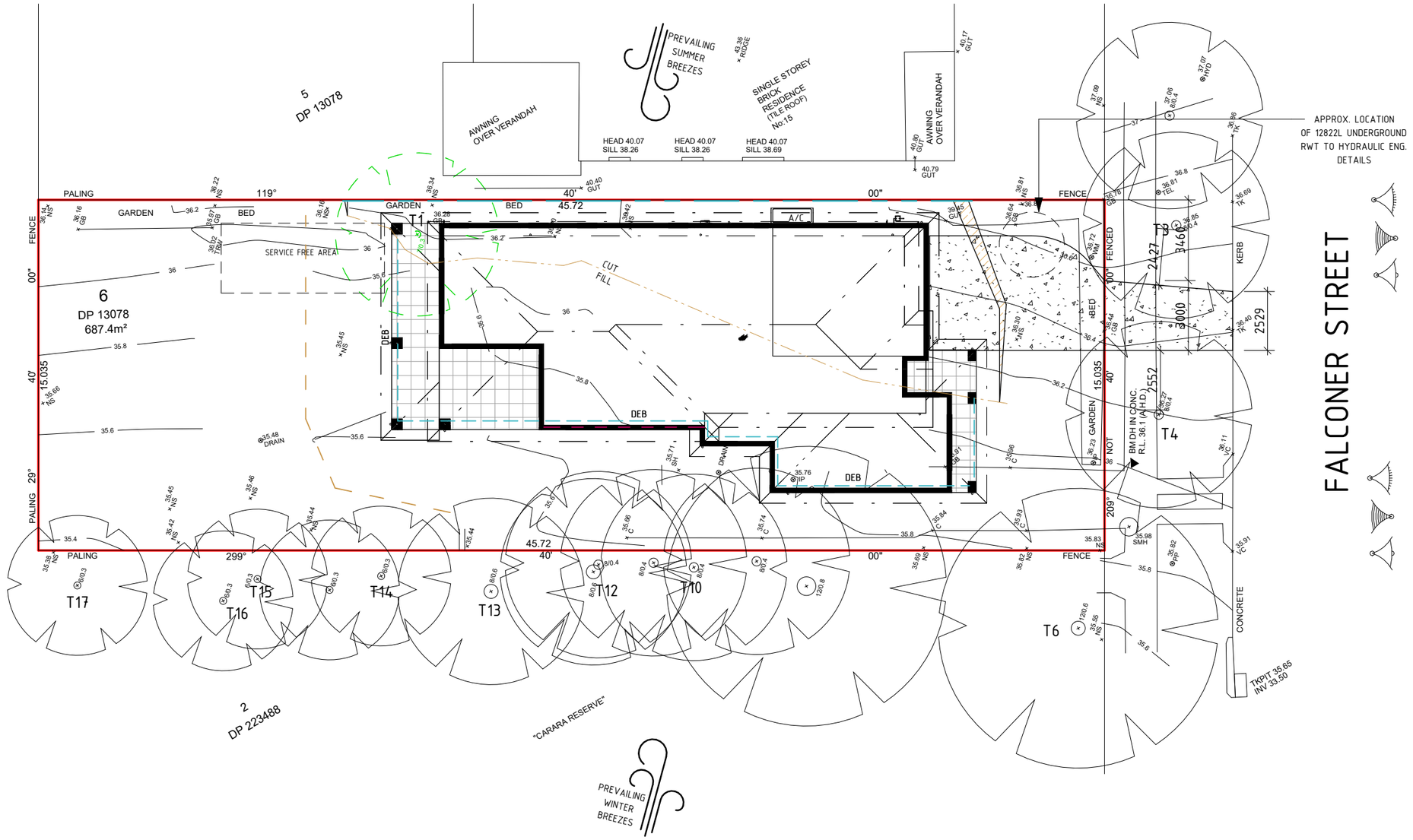
SITE ANALYSIS LEGEND	
	NOISE SOURCE
	OVERLOOKING
	VIEWS



ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: SITE ANALYSIS

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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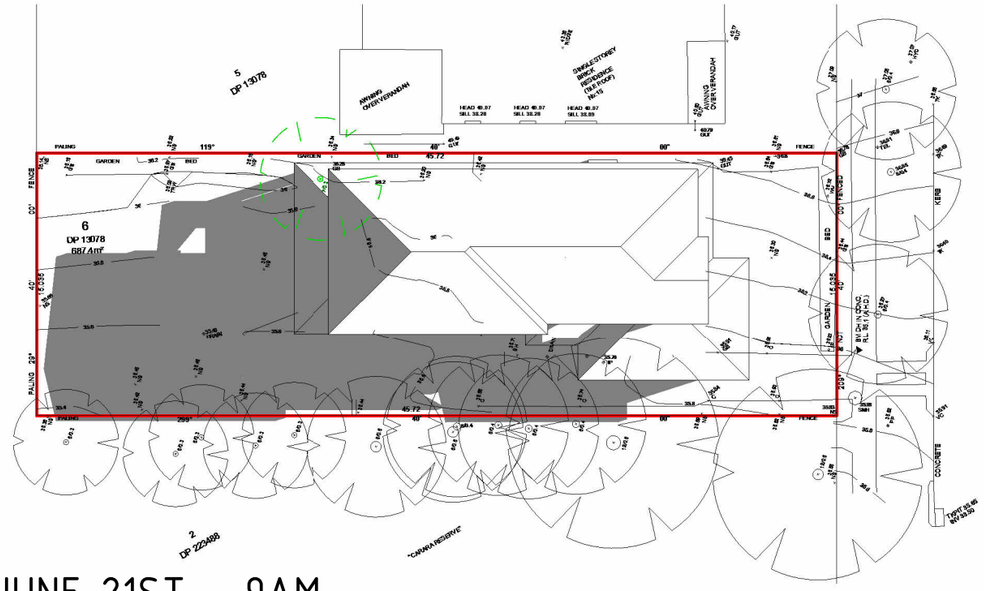

JUNE 21ST - 9AM

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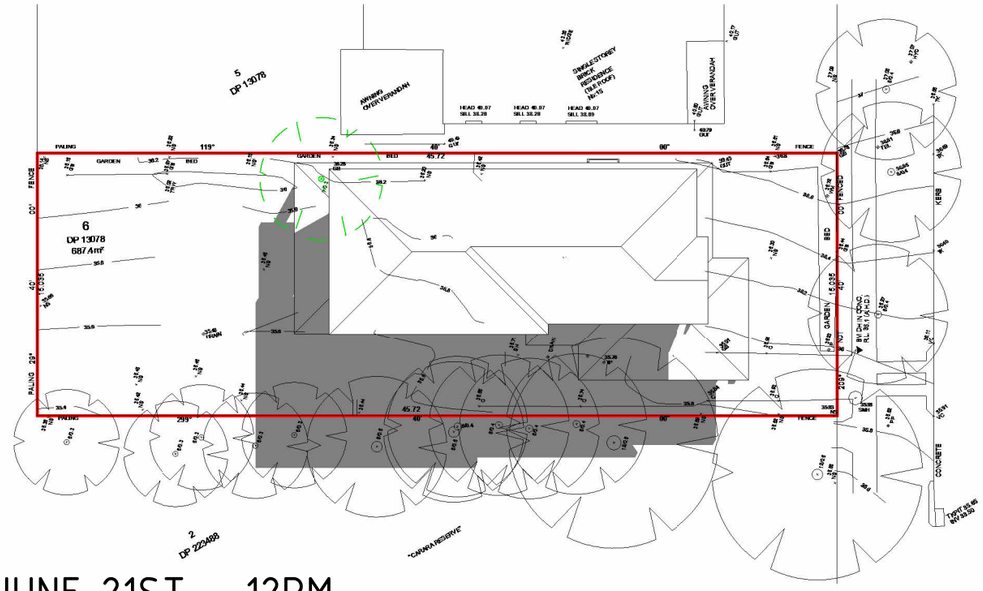

JUNE 21ST - 12PM

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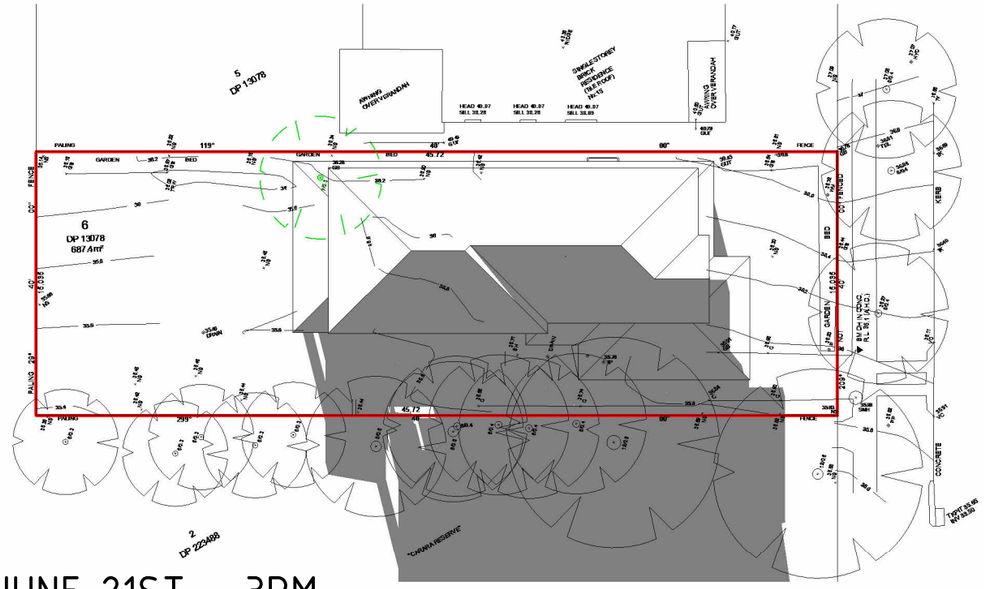

JUNE 21ST - 3PM

1 : 350

ATRIA DESIGNS

PERMIT PLAN

PROJECT

SHEET CONTENT: SHADOWS

HOUSE TYPE: CUSTOM

PROPERTY ADDRESS: LOT 6, N°17 FALCONER STREET, WEST RYDE

CLIENT: MR & MRS NEAL

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