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Statement of Environmental Effects



Beechwood Homes

To erect a double storey dwelling;

Lot 1 27A Gordan Street, Eastwood NSW 2122

Issue	File Ref	Description	Author	Date
A	23-5049 (P208785)	SoEE Lot 1, 27A Gordan Street Eastwood NSW 2122	SL	12/09/2023



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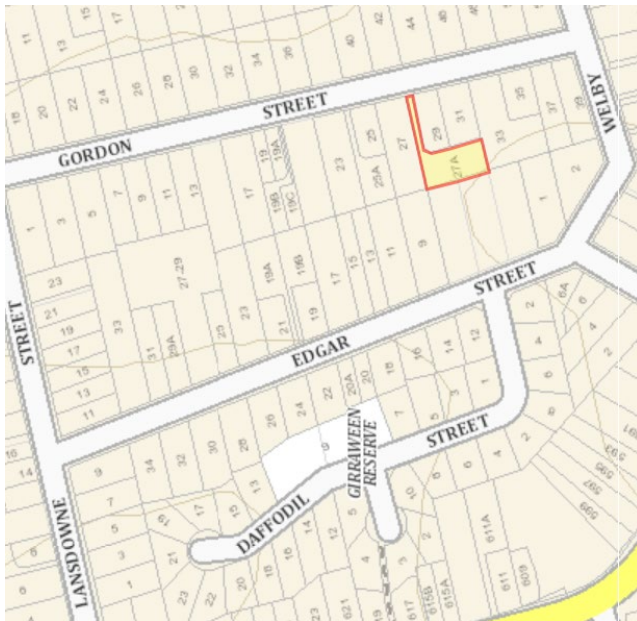
1. Introduction

This Statement of Environmental Effects has been prepared by Efficient Living, Sustainable Building Consultants on behalf of the owners of Lot 1, 27A Gordan Street, Eastwood NSW 2122.

The subject of this statement is the owners' intention to undertake the construction of a double-storey dwelling house. This statement accompanies the development application and is intended to provide further details and takes into consideration matters listed under section 4.15 of the Environmental Planning and Assessment Act 1979.

2. Site Description

The subject site is located on Gordan Street, Eastwood and runs on a south-east at rear to north-west at front axis. The site comprises an area 1018m² and is a battle-axe block. The site has a slight slope from the southwest to the northeast boundary. The site is adjoined by single storey brick dwellings to the northeast and southeast. The surrounding properties in the area consist of a mixture of well-established residential development such as detached dwelling houses of various size and mixed architectural styles. An existing dwelling and services will be demolished and removed by owner. One tree will be removed within the proposed development area. In accordance with the 10.7 certificate the site is not impacted by heritage, flood, or bush fire controls. The site falls within the R2 Low Density Residential Zone.



Six Maps – Subject Site

3. Development Proposal

The proposal is to erect a double storey dwelling house on an allotment in Ryde NSW. Beechwood Homes are the engaged builder and plans are attached to the DA submission.

4. Site Works

- Erosion and Sediment control will be implemented as per Site Management Plan
- Site Waste Minimisation and Management Plan (SWMMMP)
- Cut 480mm and fill 440mm
- Demolish of existing dwelling house and services by owner
- One tree to be removed by owner
- Construction of new double storey dwelling & driveway
- Stormwater drainage to access handle (driveway) to street via rainwater tank
- Sewer connection to mains

5. Relevant Planning Controls

City of Ryde as the “Consent Authority” is required to take into consideration those matters listed under Section 4.15 of the Environmental Planning & Assessment Act 1979 (EP&A Act) which are of relevance to the subject development application.

5.1 Ryde Local Environmental Plan 2014

Zone R2 Low Density Residential

Objectives of zone:

- To provide for the housing needs of the community within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To provide for a variety of housing types.

Zone Compliance

The proposed development satisfies the zone objectives of R2 Low Density Residential. The applicants are seeking to construct a dwelling house on the site which will meet all requirements.

5.2 City of Ryde Development Control Plan 2014 (DCP)

The DCP has been prepared in accordance with the relevant provisions of the Environmental Planning and Assessment Act 1979 (the Act) and the Environmental Planning and Assessment Regulation 2000 (the Regulation). The DCP complements the statutory provisions contained in The Ryde Local Environmental Plan 2014 (LEP 2014).

Below is a table of relevant controls set by council and whether this proposal complies with the requirements.

Control	Council Requirement	Development Proposal	Complies
Side Setback (min)	1.5m	Southwest: 1.5m Northeast: 8.7m Northwest:11m	Yes
Rear Setback (min)	25% of the length of the site or 8 m, whichever is the greater	8.2m	Yes
Garage setback	1 m from front façade.	Garage is set back 1 m front façade	Yes
Building height	9.5m Max two storey Min ceiling height habitable room 2.4m	8.05m Two storey Min ceiling height 2.4	Yes
Floor Space Ratio (max)	0.5:1	0.3:1	Yes
Garage and Parking Spaces	The 'front' setback of a battle-axe allotment is to include a hard paved area for car turning. 2 parking spaces required	The front setback includes a hard paved area for car turning Double garage provided.	Yes
Private Open Space	To be located adjacent to internal living rooms and may take the form of a paved area, deck, terrace courtyard or lawn area.	Covered terrazza adjacent to living and meals areas	Yes
Landscaping & Deep Soil Area	Sites are to have a deep soil area that is at least 35% of the area of the allotment. b. The deep soil area must include: i. an area with minimum dimensions of 8 m x 8 m in the back yard; and ii. a front garden area which is to be completely permeable with the exception of the driveway, pedestrian path and garden walls Provide a landscaped front garden. Hard paved areas are to be minimised, and at a maximum, are to be no more than 40% of the front garden areas	The site is 55% landscaped Deep soil areas provide in front and back yard. Min of 8m X 8m in back yard is provided. Hard paved areas are minimised, and suitable deep soil area is provided in the front yard with the exception of the driveway and car turning area	Yes

Control	Council Requirement	Development Proposal	Complies
Cut and Fill	Max depth of any cut: 1.2m Max height of any fill: 900mm	Cut: 480mm Fill: 440mm	Yes
Solar Access/ Overshadowing	Living areas are to be located predominantly to the north. Private open space of the subject dwelling is to receive at least two hours sunlight between 9 am and 3 pm on June 21. Windows to north facing living areas to receive 3 hours of sunlight and private open space to receive 2 hours of sunlight both between 9am and 3pm on 21 June Sunlight to at least 50% of the principal area of ground level private open space of adjacent properties is not reduced to less than two hours between 9 am and 3 pm on June 21; and ii. windows to north-facing living areas of neighbouring dwellings receive at least 3 hours of sunlight between 9 am and 3 pm on 21 June over a portion of their surface.	The living areas are facing south east and private open space is facing south east and north east. Private open space of the subject dwelling will receive at least two hours of sunlight between 9m and 3pm. The principal area of ground level private open space of adjacent properties will not be reduced to less than two hours. Sunlight to neighbouring dwellings on southern side will not be affected by the proposed development	Yes
Energy & Water Efficiency	BASIX compliance	Refer to Basix report	Yes

6. Conclusion

The proposed development is permissible within the R2 Low Density Residential Zone and incorporates thoughtful design that satisfies Council's DCP requirements, resulting in a high-quality development that will enhance the locality and warrants approval.