



LACHLAN'S LINE LOT 110

RESIDENTIAL APARTMENT BUILDING

5 HALIFAX STREET,  
MACQUARIE PARK

DRAWING LIST

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- DA6101 CROSS VENTILATION DIAGRAMS

DEVELOPMENT SUMMARY

APARTMENTS	1 BED	2 BED	3 BED	TOTAL
BUILDING 1	63	172	26	261
BUILDING 2	12	16	0	28
BUILDING 3	5	9	1	15
			TOTAL	304

CAR SPACES	RESIDENTS	VISITORS	CAR SHARE
	263	30	6

GFA	25,578 m2
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ABBREVIATIONS

A/C	AIR CONDITIONING
B	BOLLARD
C	COMMUNICATIONS
E	ELECTRICAL
FSF	FIRE STAIR
H	HYDRAULIC
HW	HOT WATER
M	MECHANICAL
MRV	MEDIUM RIGID VEHICLE
SP	STAIR PRESSURISATION
SPR	STAIR PRESSURISATION RELIEF

LEGEND

- SILVER LIVABLE APARTMENT
- ADAPTABLE APARTMENT
- TREE TO REMAIN
- PROPOSED LEVEL
- EXISTING LEVEL
- STRUCTURAL FLOOR LEVEL
- NEW LANDSCAPED AREA



Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
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Subject to Conditions of Consent

Revisions				
No.	Date	Description	Checked	Approved
A	28.11.22	ISSUED FOR DA	MR	MG
B	29.11.22	ISSUED FOR DA	MR	MG
C	29.03.23	ISSUED FOR DA	RP	MR
D	05.05.23	REVISED DA	MR	BM
E	08.05.23	REVISED DA	MR	BM

Key

Client

**Landmark**

Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square  
Sydney NSW 2000 AUSTRALIA

Architect

**AJ+C**  
ALLEN JACK+COTTIER

79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project

LACHLAN'S LINE LOT 110  
RESIDENTIAL APARTMENT BUILDING

5 HALIFAX STREET,  
MACQUARIE PARK

Proj. No. 21109

Drawing Title

COVER SHEET

Drawing Status

NOT FOR CONSTRUCTION

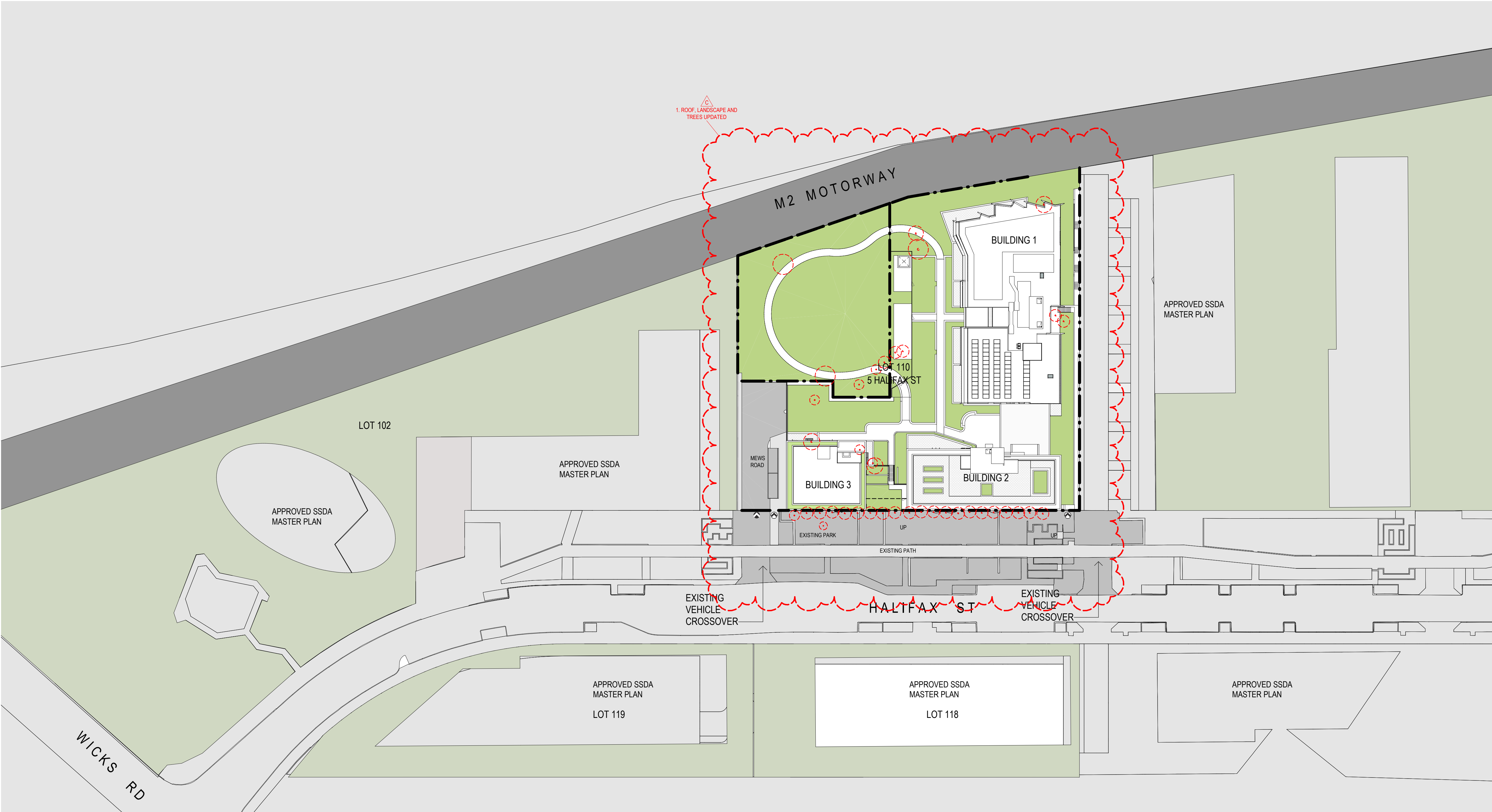
Scale

Drawing No.

Issue

DA0001 E





City of Ryde

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- LEGEND
- BOUNDARY LINE

EXISTING TREE - RETAINED

EXISTING TREE - REMOVED

PEDESTRIAN ENTRY

VEHICULAR ENTRY
- | Revisions |          | Description             | Checked | Approved |
|-----------|----------|-------------------------|---------|----------|
| No.       | Date     |                         |         |          |
| 1         | 09.09.22 | PRE-DA ISSUE            | MR      | MG       |
| 2         | 24.11.22 | ISSUED FOR COORDINATION | DH      | MG       |
| A         | 28.11.22 | ISSUED FOR DA           | MR      | MG       |
| B         | 29.11.22 | ISSUED FOR DA           | MR      | MG       |
| C         | 03.05.23 | REVISED DA              | MR      | BM       |
- Key

N
- Landmark

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5 HALIFAX STREET,  
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Proj. No.

21109
- Drawing Title

PROPOSED SITE PLAN

Drawing Status

NOT FOR CONSTRUCTION
- Scale

As indicated  
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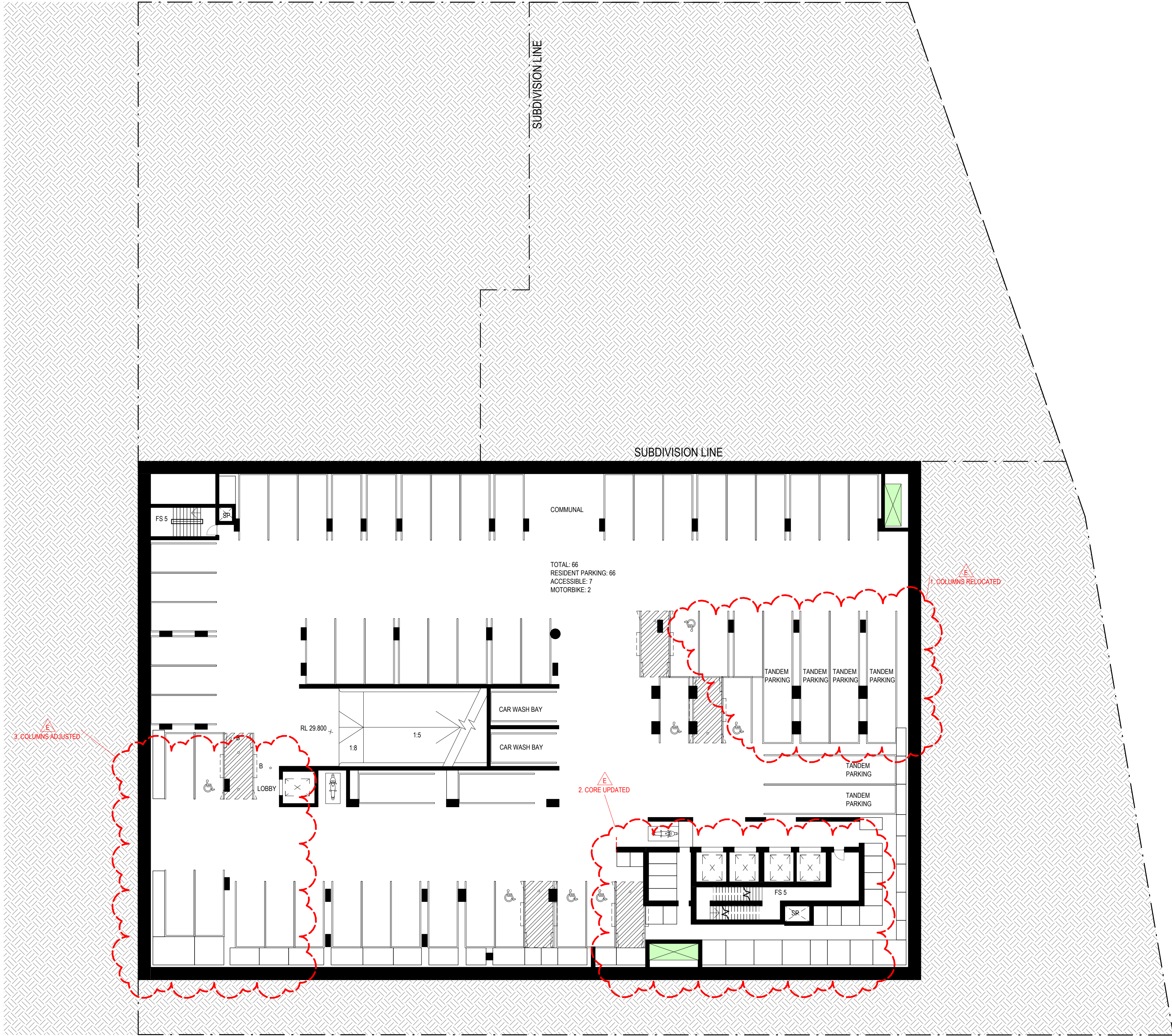
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Issue

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- Do not scale drawings. Use figured dimensions only. Check & verify levels and dimensions on site prior to the commencement of any work, the preparation of shop drawings or the fabrication of components. This drawing is the copyright of Allen Jack + Cottier Architects and is protected under the Copyright Act 1968. Do not alter, reproduce or transmit in any form, or by any means without the express permission of Allen Jack + Cottier Architects. Nominated Architects: Michael Heenan 5284, Brian Marotti 9451, John Whittingham 7030
- REF: C:\Users\shannon\Documents\21109\_Master\_Ryde\Johnston.rvt 3/05/2023 3:11:11 PM PLOT DATE & TIME



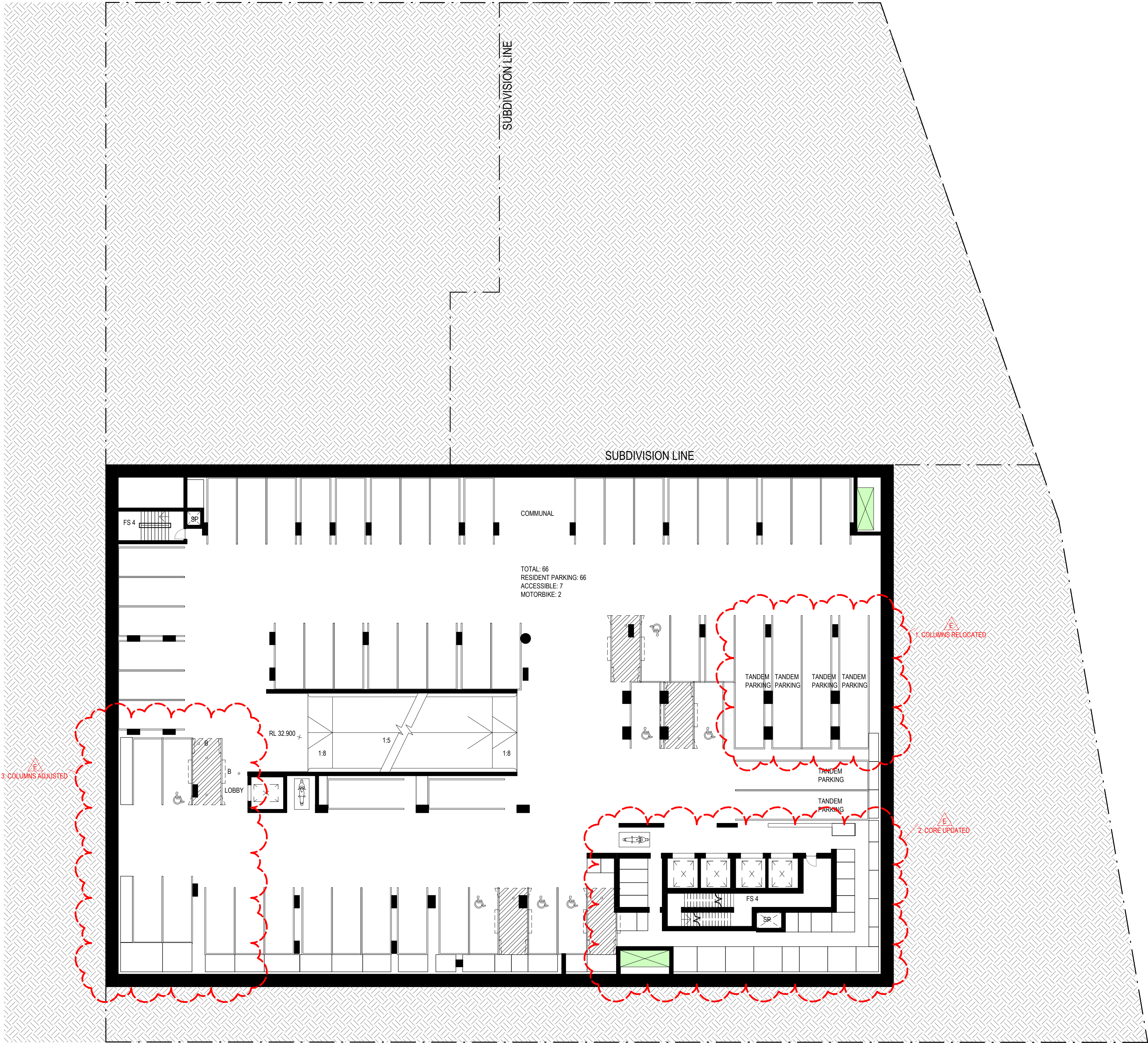


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						Drawing Status NOT FOR CONSTRUCTION	0 2 4 8 16 m		





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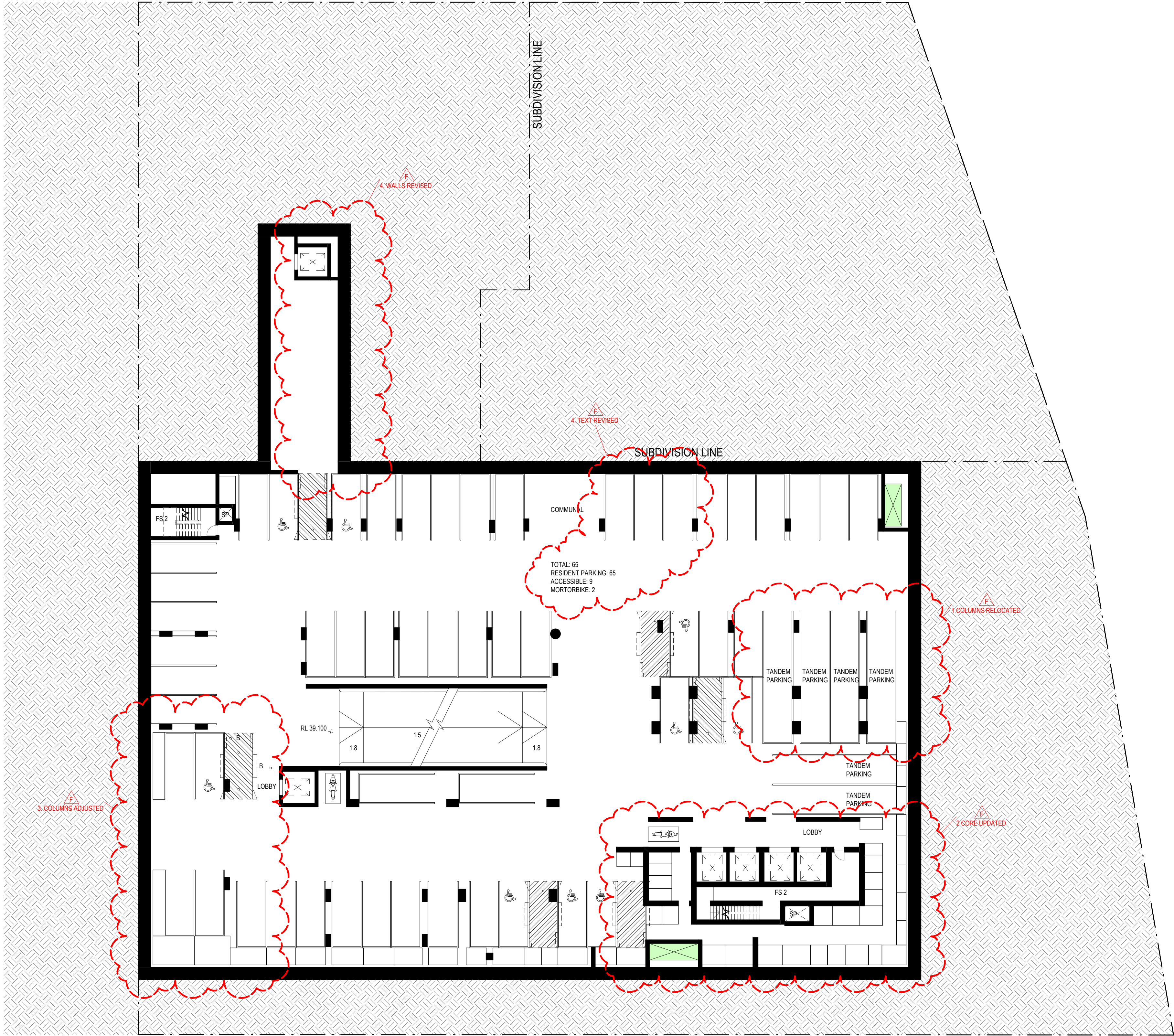


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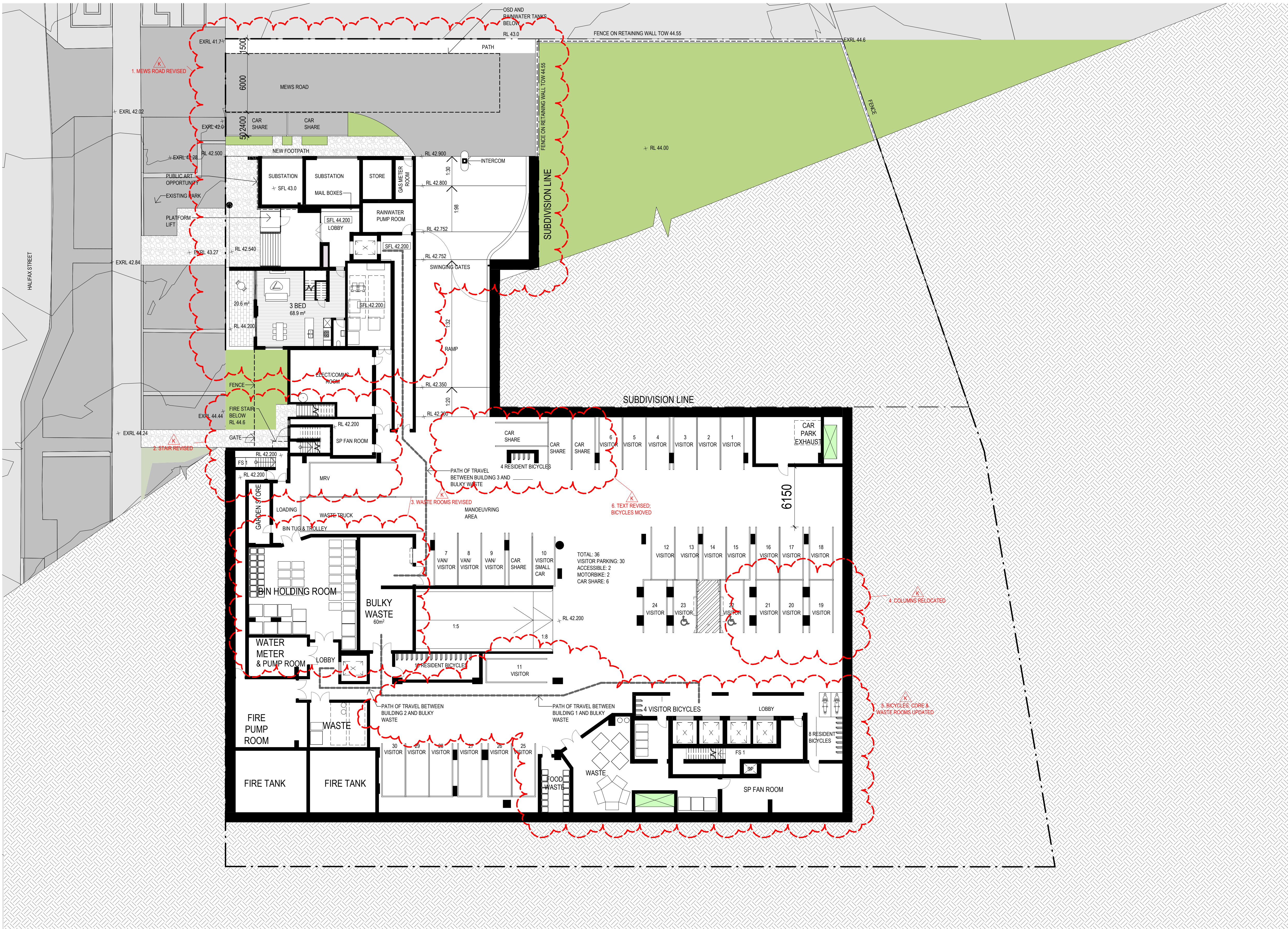




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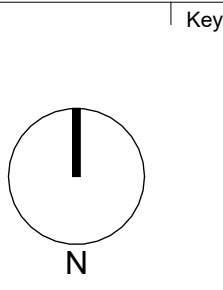


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G	28.04.23	REVISED DA	MR	BM
H	03.05.23	REVISED DA	MR	BM
J	05.05.23	REVISED DA	MR	BM
K	08.05.23	REVISED DA	MR	BM

Checked	Approved
MR	BM
MR	BM
MR	BM
MR	BM



Landmark

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Level 29/2 Chifley Square  
Sydney NSW 2000 AUSTRALIA

AJ+C

ALLEN JACK+COTTIER

79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

LACHLAN'S LINE LOT 110  
RESIDENTIAL APARTMENT BUILDING

5 HALIFAX STREET,  
MACQUARIE PARK

Proj. No. 21109

BASEMENT 1 PLAN

NOT FOR CONSTRUCTION

Scale  
1 : 200 @A1

Drawing No.  
DA2005 K

Issue

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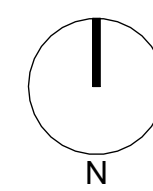


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D	06.04.23	REVISED DA
E	14.04.23	FOR CO-ORDINATION
F	26.04.23	REVISED DA
G	28.04.23	REVISED DA
H	05.05.23	REVISED DA

Checked	Approved
MR	BM
HJ	MR
MR	BM
MR	BM
MR	BM



Key
-----



Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square  
Sydney NSW 2000 AUSTRALIA



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ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project	LACHLAN'S LINE LOT 110 RESIDENTIAL APARTMENT BUILDING 5 HALIFAX STREET, MACQUARIE PARK
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Proj. No. 21109

Drawing Title
LEVEL 1 (GROUND) PLAN

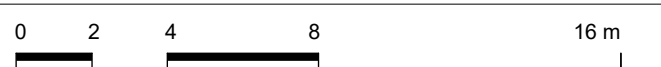
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Scale | Dr

1 : 200 @A1

Drawing No.	Issue
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e

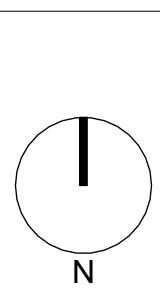






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**LACHLAN'S LINE LOT 110**  
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Drawing Title  
**LEVEL 2 PLAN**

Drawing Status  
**NOT FOR CONSTRUCTION**

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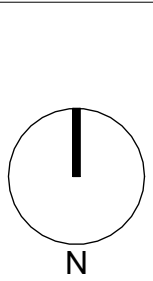






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Drawing Title  
**LEVEL 3-5 PLAN**  
Drawing Status  
**NOT FOR CONSTRUCTION**

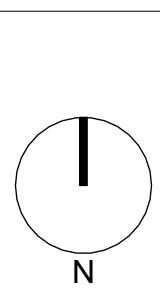
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Issue  
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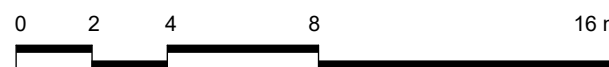
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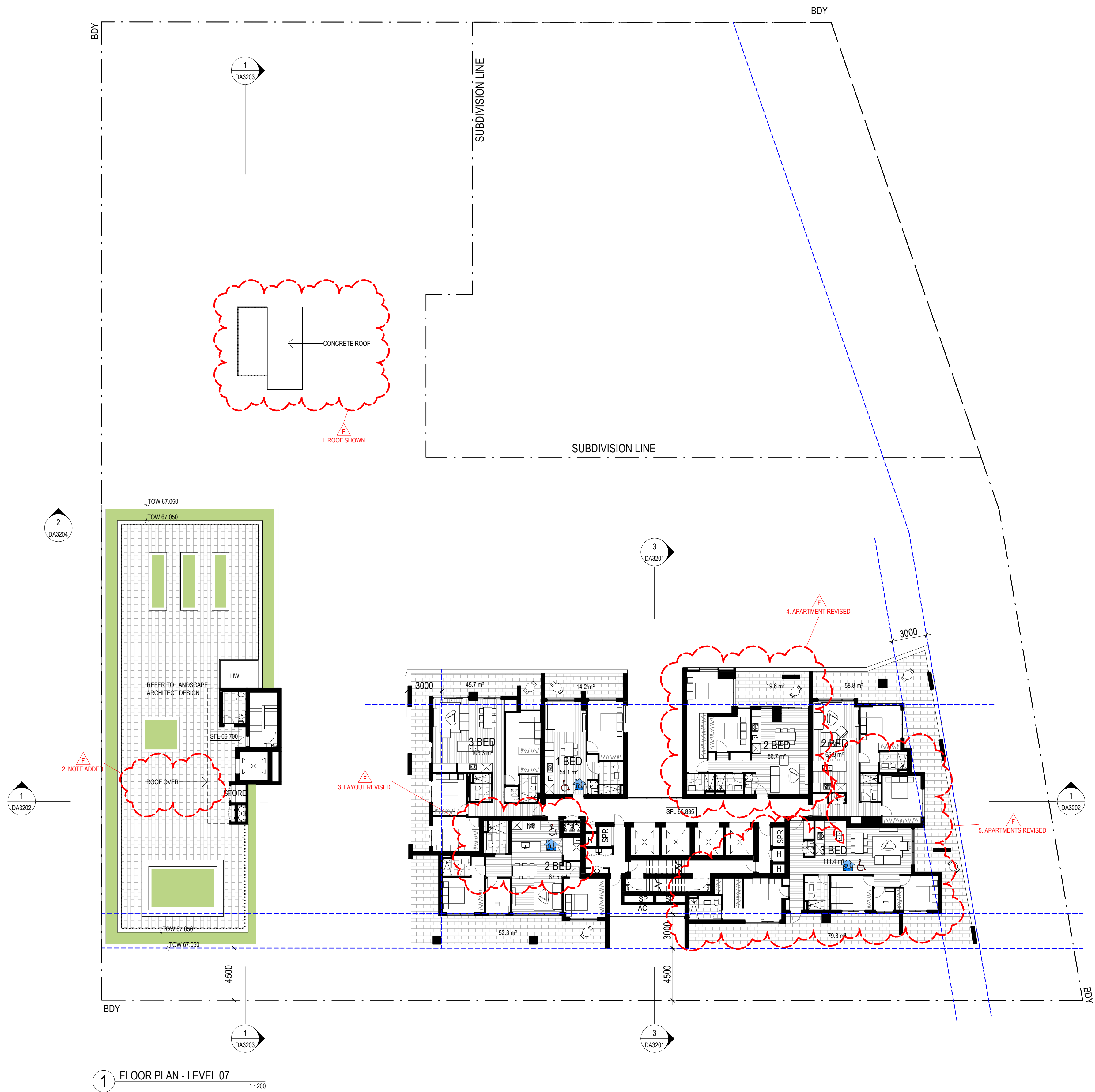
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**LEVEL 6 PLAN**

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**NOT FOR CONSTRUCTION**

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Issue



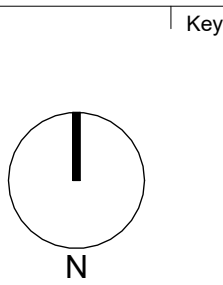




1 FLOOR PLAN - LEVEL 07  
1:200

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Drawing Title  
**LEVEL 7 PLAN**

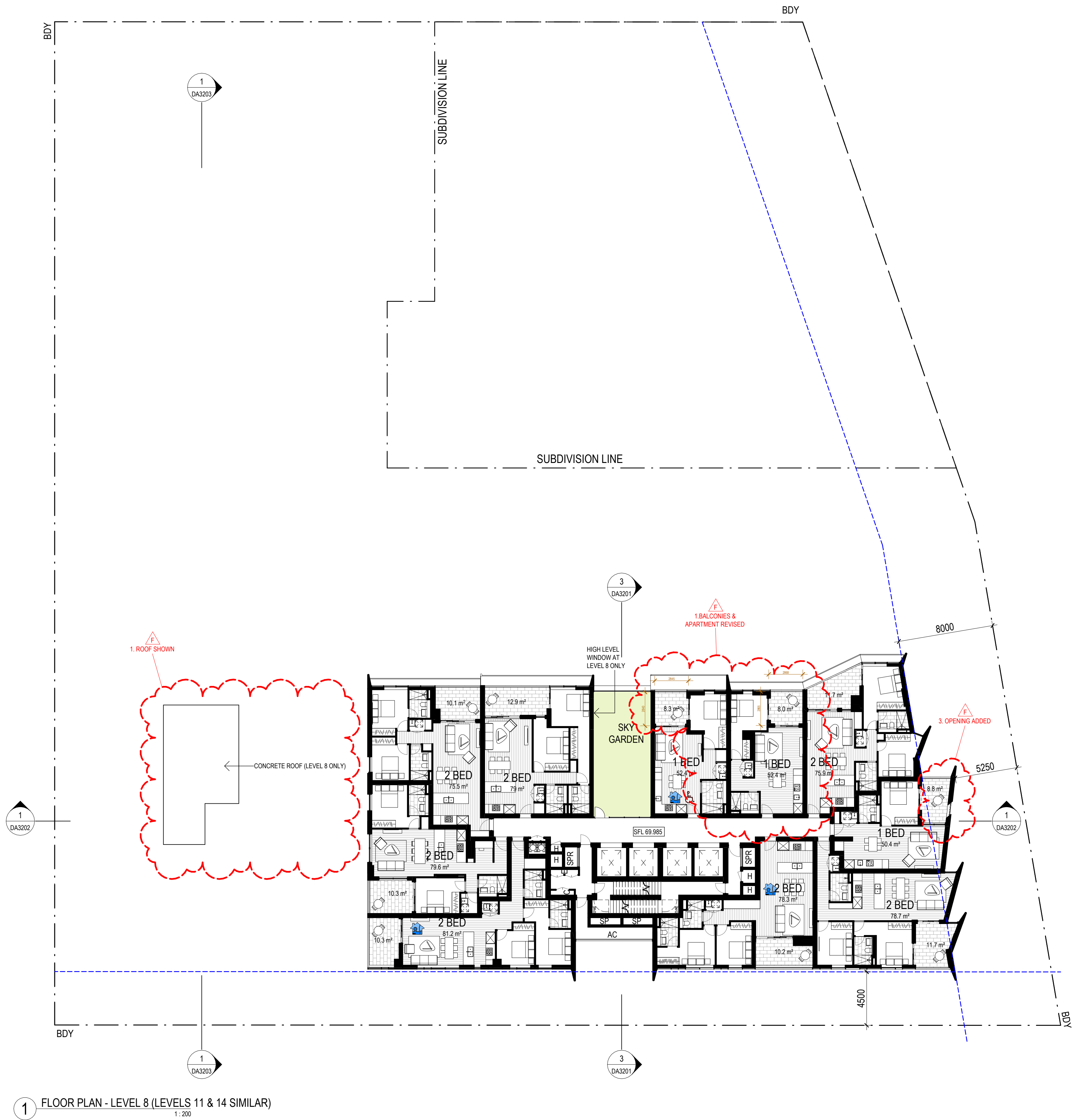
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**DA2107 F**

Issue



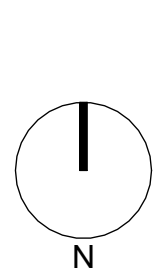


1 FLOOR PLAN - LEVEL 8 (LEVELS 11 & 14 SIMILAR)  
1:200

**City of Ryde**  
Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
Subject to Conditions of Consent

Revisions			Checked	Approved
No.	Date	Description		
B	29.11.22	ISSUED FOR DA	MR	MG
C	29.03.23	ISSUED FOR DA	RP	MR
D	28.04.23	REVISED DA	MR	BM
E	03.05.23	REVISED DA	MR	BM
F	05.05.23	REVISED DA	MR	BM

Checked	Approved
MR	MG
RP	MR
MR	BM
MR	BM
MR	BM



**Landmark**  
Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square  
Sydney NSW 2000 AUSTRALIA

**AJ+C**  
ALLEN JACK+COTTIER  
79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project  
**LACHLAN'S LINE LOT 110**  
RESIDENTIAL APARTMENT BUILDING  
5 HALIFAX STREET,  
MACQUARIE PARK  
Proj. No. 21109

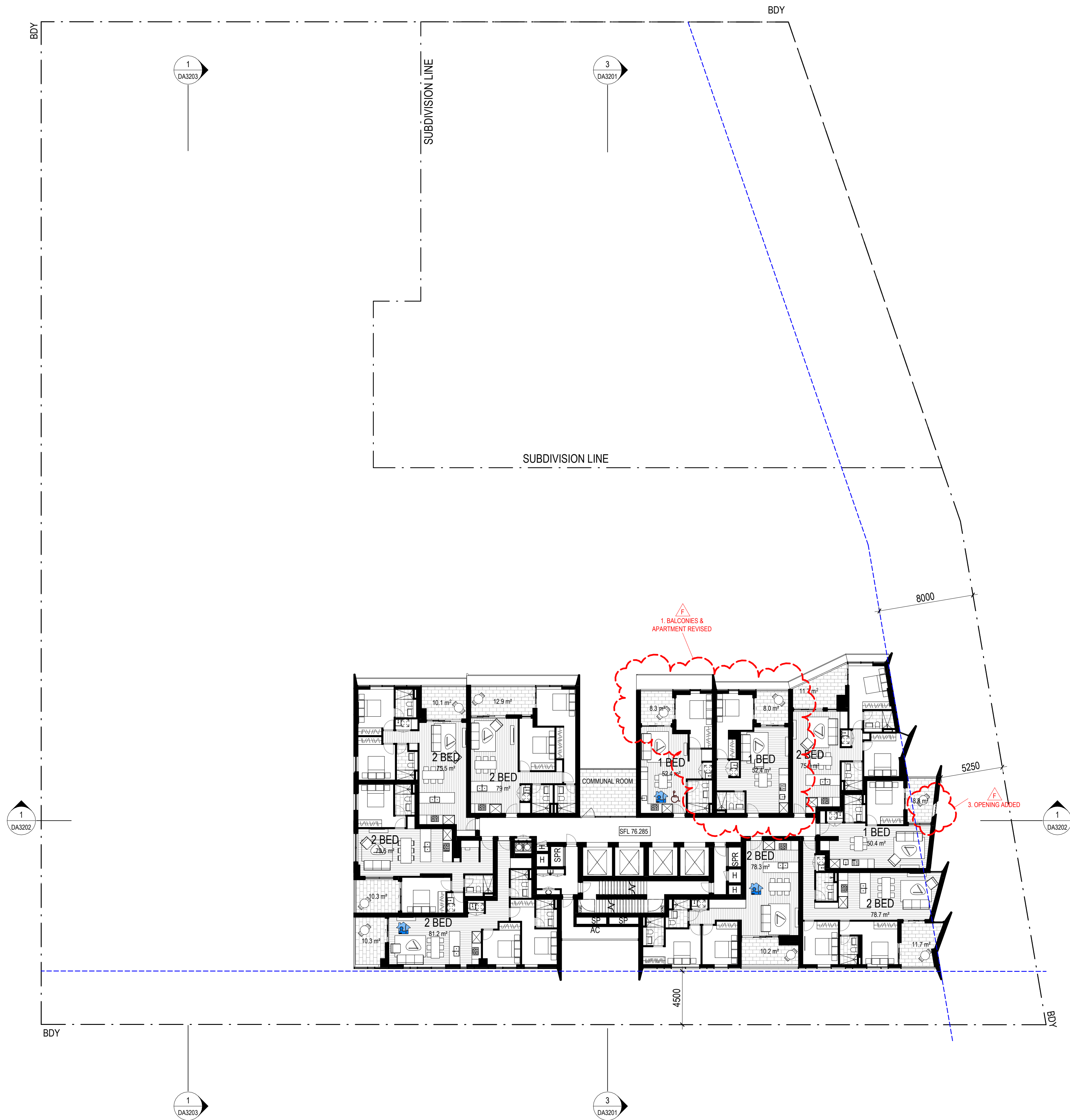
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Drawing Status  
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Drawing No.  
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Issue  
0 2 4 8 16 m





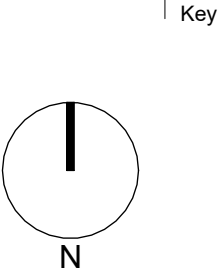




1 FLOOR PLAN - LEVEL 10 (LEVELS 13 & 16 SIMILAR)  
1 : 200

Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
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No.	Date			
B	29.11.22	ISSUED FOR DA	MR	MG
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D	28.04.23	REVISED DA	MR	BM
E	03.05.23	REVISED DA	MR	BM
F	05.05.23	REVISED DA	MR	BM



Lachlan's Line D1 Pty Ltd  
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Sydney NSW 2000 AUSTRALIA

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ABN 53 003 782 250

Project

LACHLAN'S LINE LOT 110  
RESIDENTIAL APARTMENT BUILDING  
5 HALIFAX STREET,  
MACQUARIE PARK  
Proj. No. 21109

Drawing Title

LEVEL 10, 13, 16 PLAN

Drawing Status

NOT FOR CONSTRUCTION

Scale

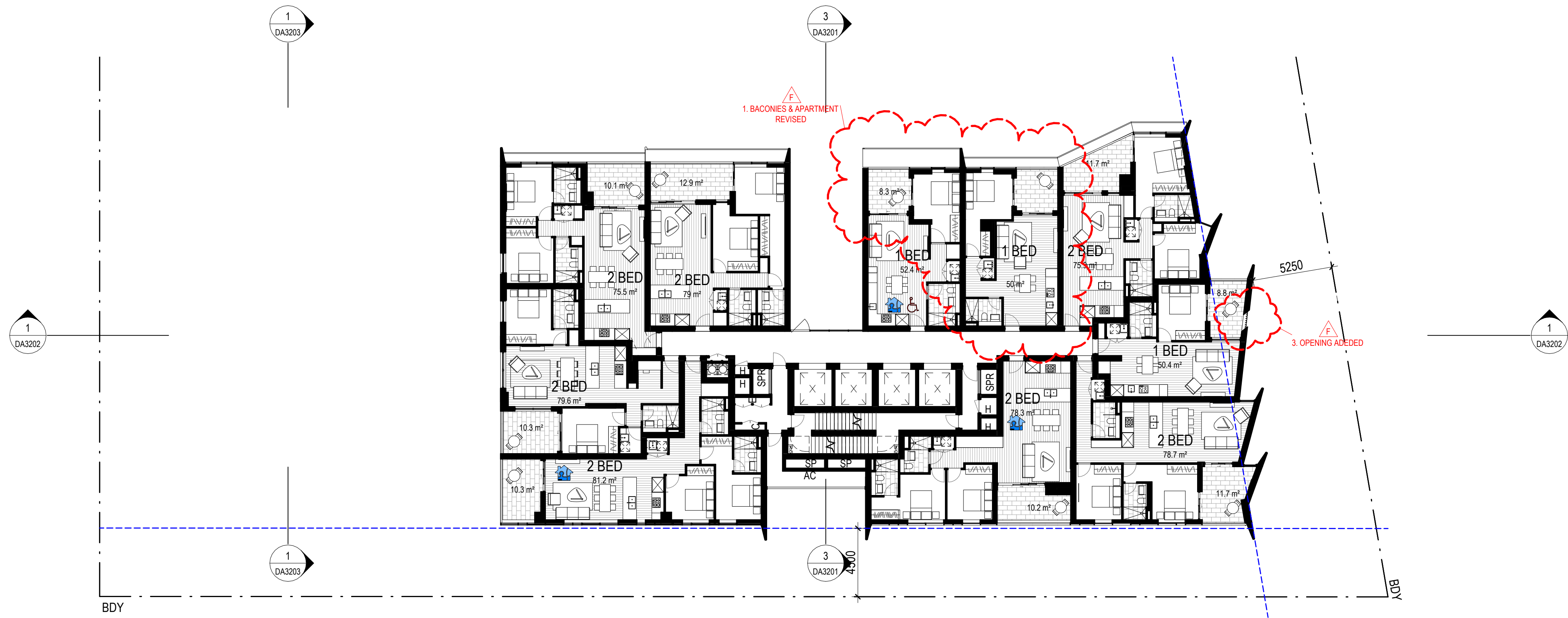
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Drawing No.

DA2110 F

Issue





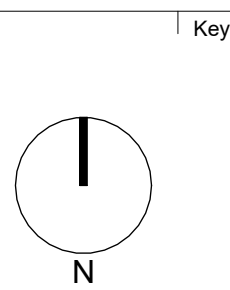
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1:200



2 FLOOR PLAN - LEVEL 25-28  
1:200

**City of Ryde**  
Approved Plans  
LDA No. LDA2022/0390  
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C	29.03.23	ISSUED FOR DA	RP	MR
D	28.04.23	REVISED DA	MR	BM
E	03.05.23	REVISED DA	MR	BM
F	05.05.23	REVISED DA	MR	BM



**Landmark**  
Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square  
Sydney NSW 2000 AUSTRALIA

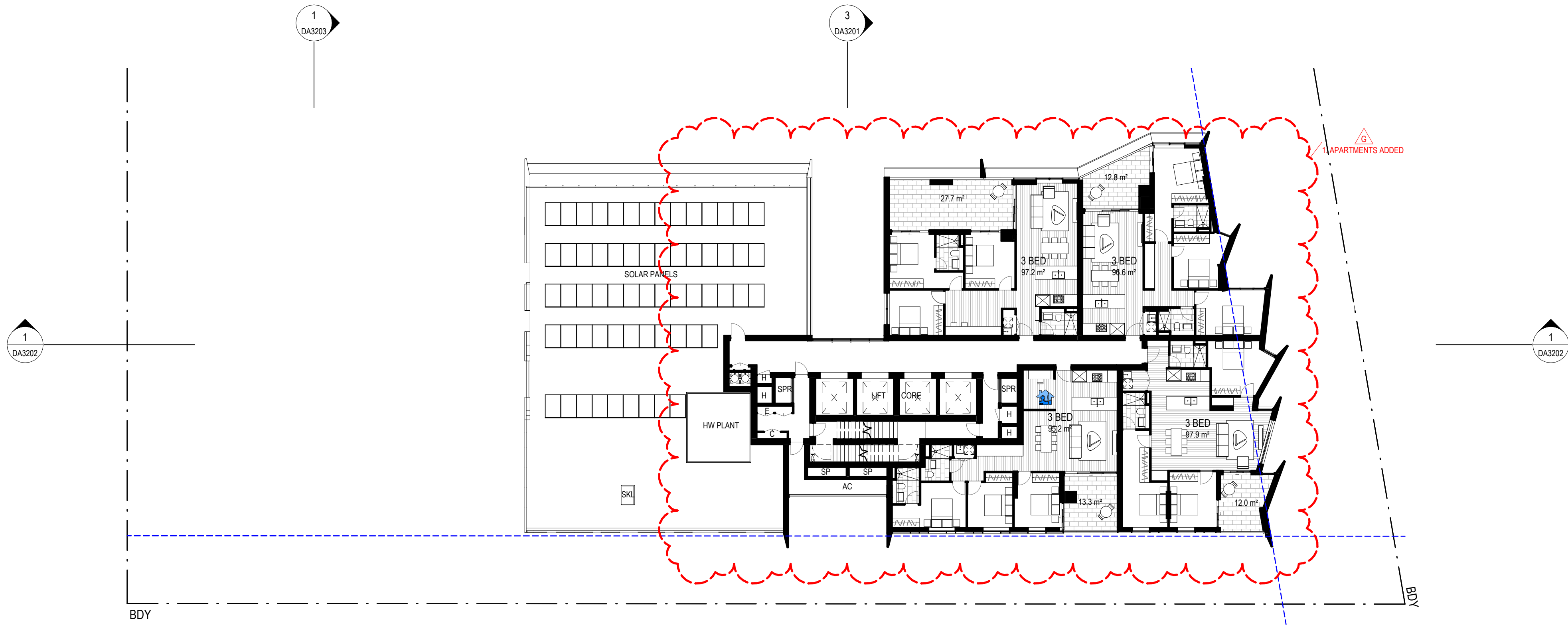
**AJ+C**  
ALLEN JACK+COTTIER  
79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project  
**LACHLAN'S LINE LOT 110**  
RESIDENTIAL APARTMENT BUILDING  
5 HALIFAX STREET,  
MACQUARIE PARK  
Proj. No. 21109

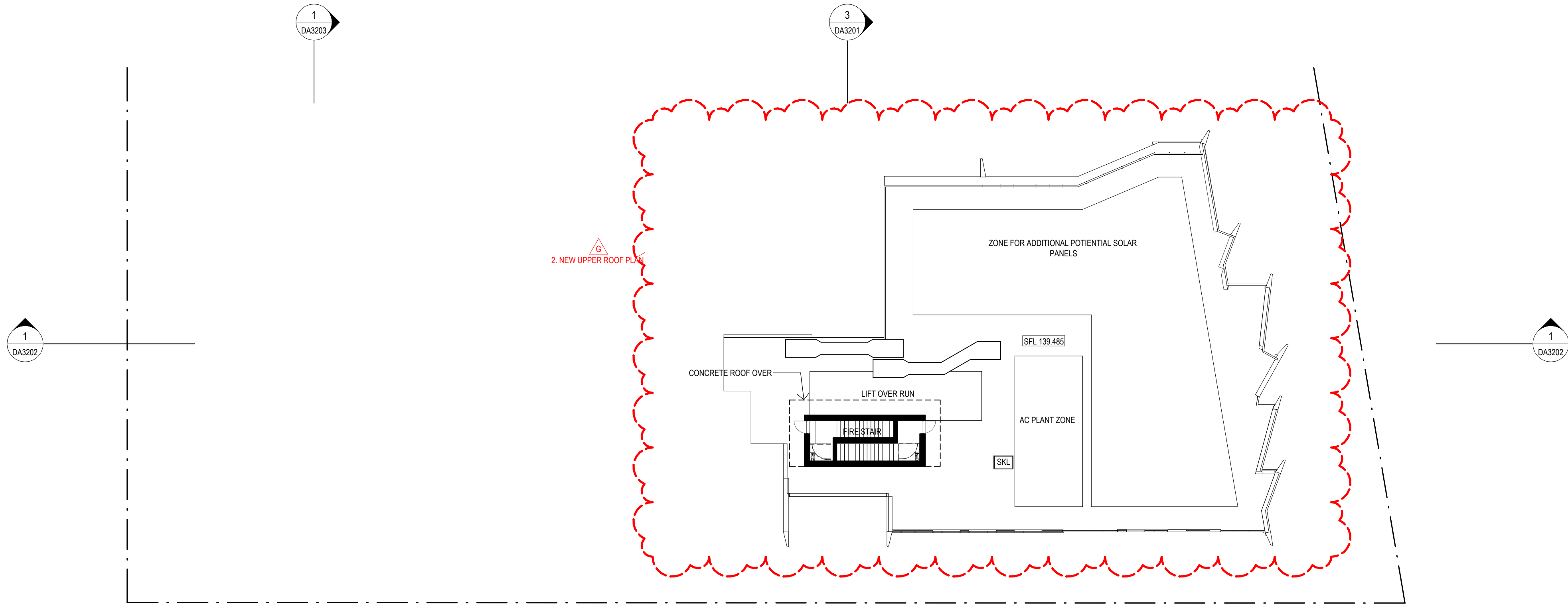
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**NOT FOR CONSTRUCTION**

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Drawing No.  
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Issue





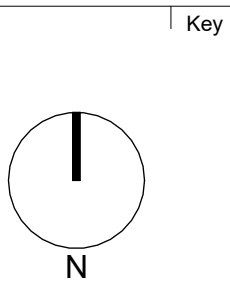
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1:200



2 LEVEL ROOF  
1:200

**City of Ryde**  
Approved Plans  
LDA No: LDA2022/0390  
Date: 28 July 2023  
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No.	Date			
C	29.03.23	ISSUED FOR DA	MR	BM
D	06.04.23	REVISED DA	MR	BM
E	28.04.23	REVISED DA	MR	BM
F	03.05.23	REVISED DA	MR	BM
G	05.05.23	REVISED DA	MR	BM



**Landmark**  
Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square  
Sydney NSW 2000 AUSTRALIA

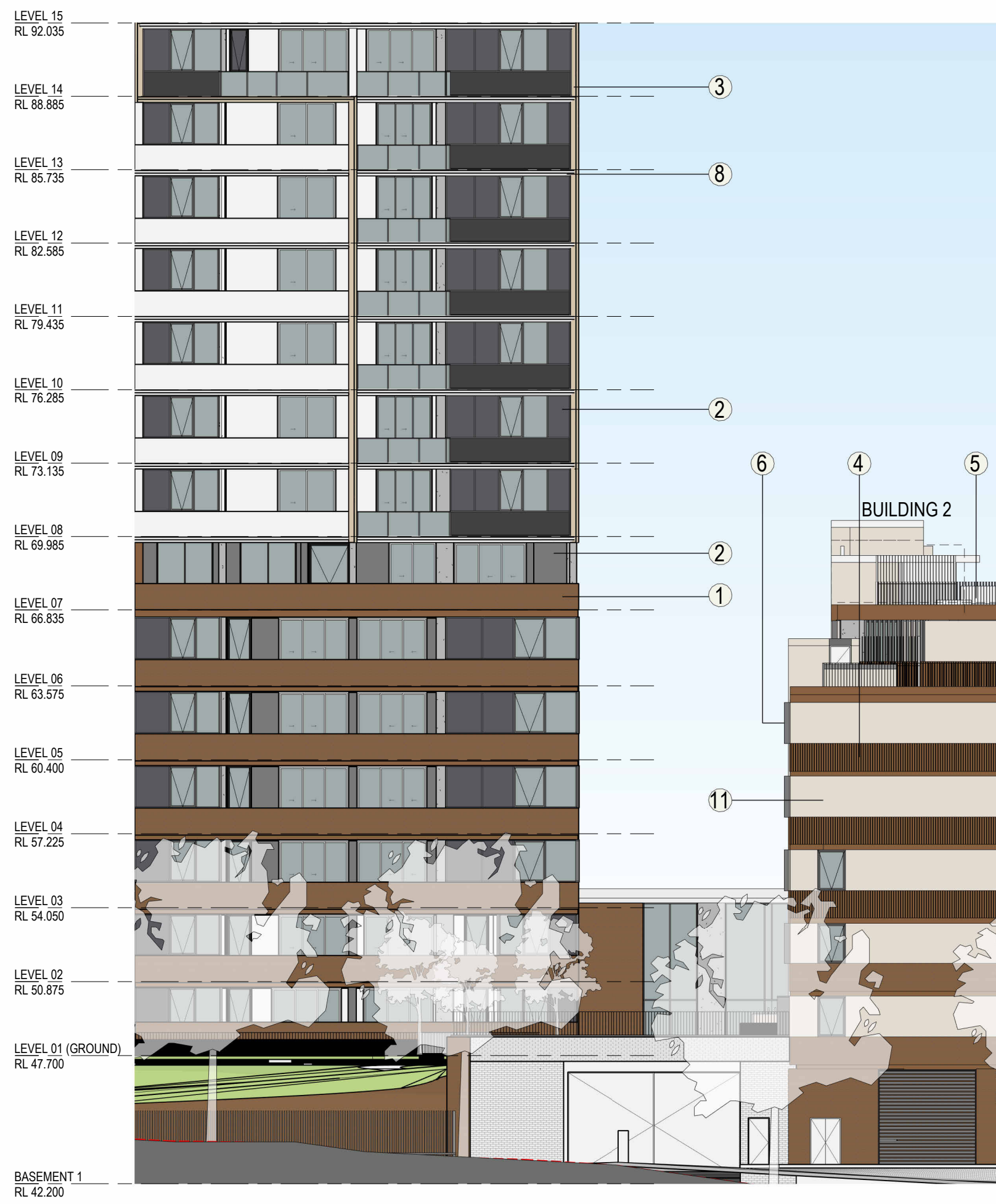
**AJ+C**  
ALLEN JACK+COTTIER  
79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project  
**LACHLAN'S LINE LOT 110**  
RESIDENTIAL APARTMENT BUILDING  
5 HALIFAX STREET,  
MACQUARIE PARK  
Proj. No. 21109

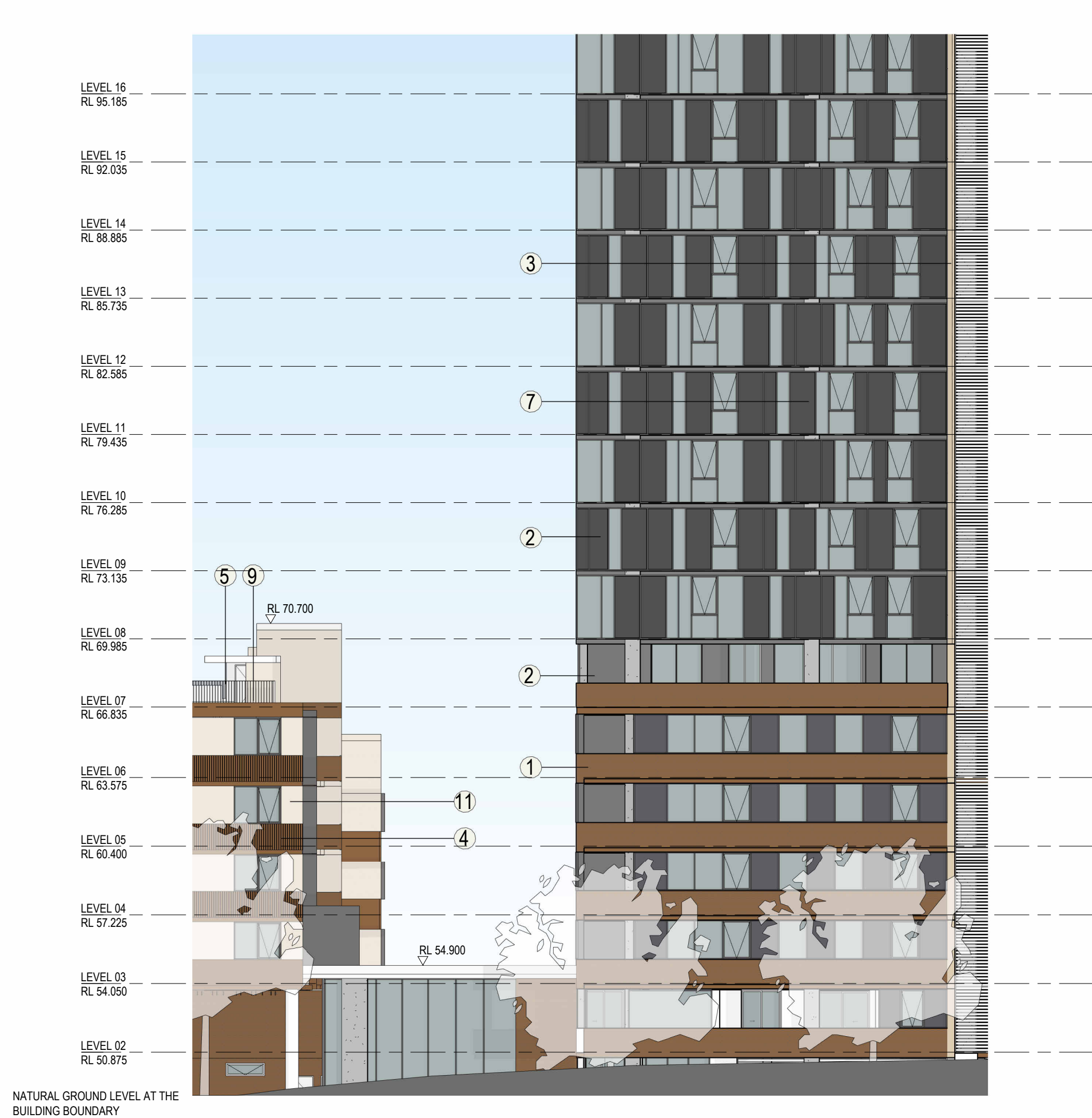
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Drawing Status  
**NOT FOR CONSTRUCTION**

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Issue

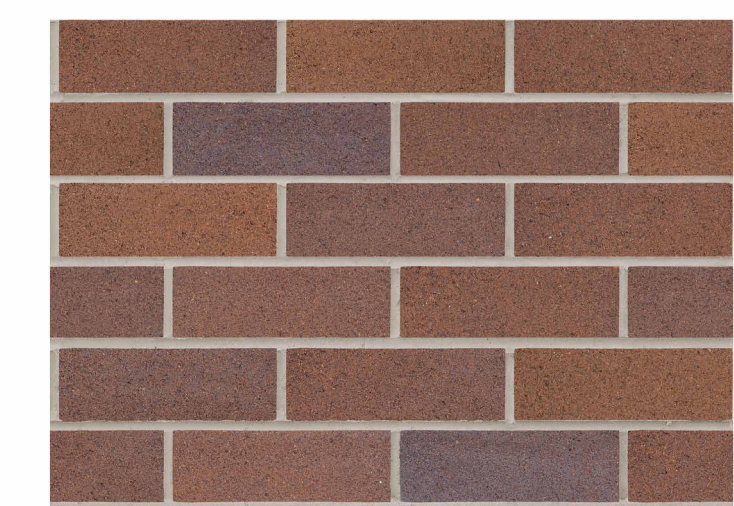




1 NORTH ELEVATION  
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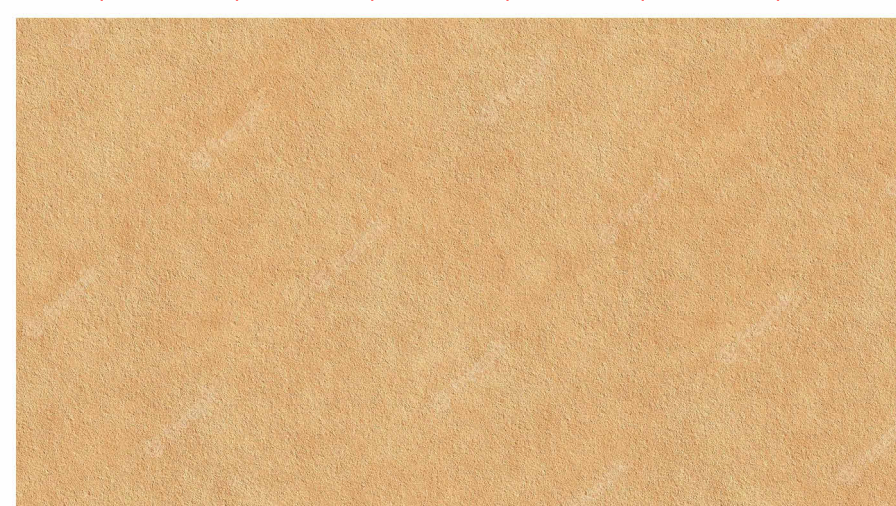
2 SOUTH ELEVATION  
1 : 200



1



2



3



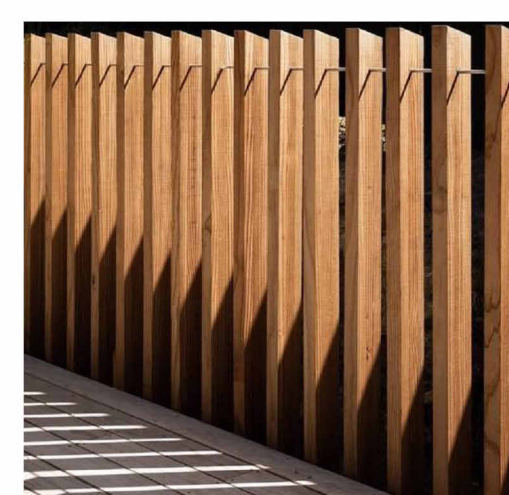
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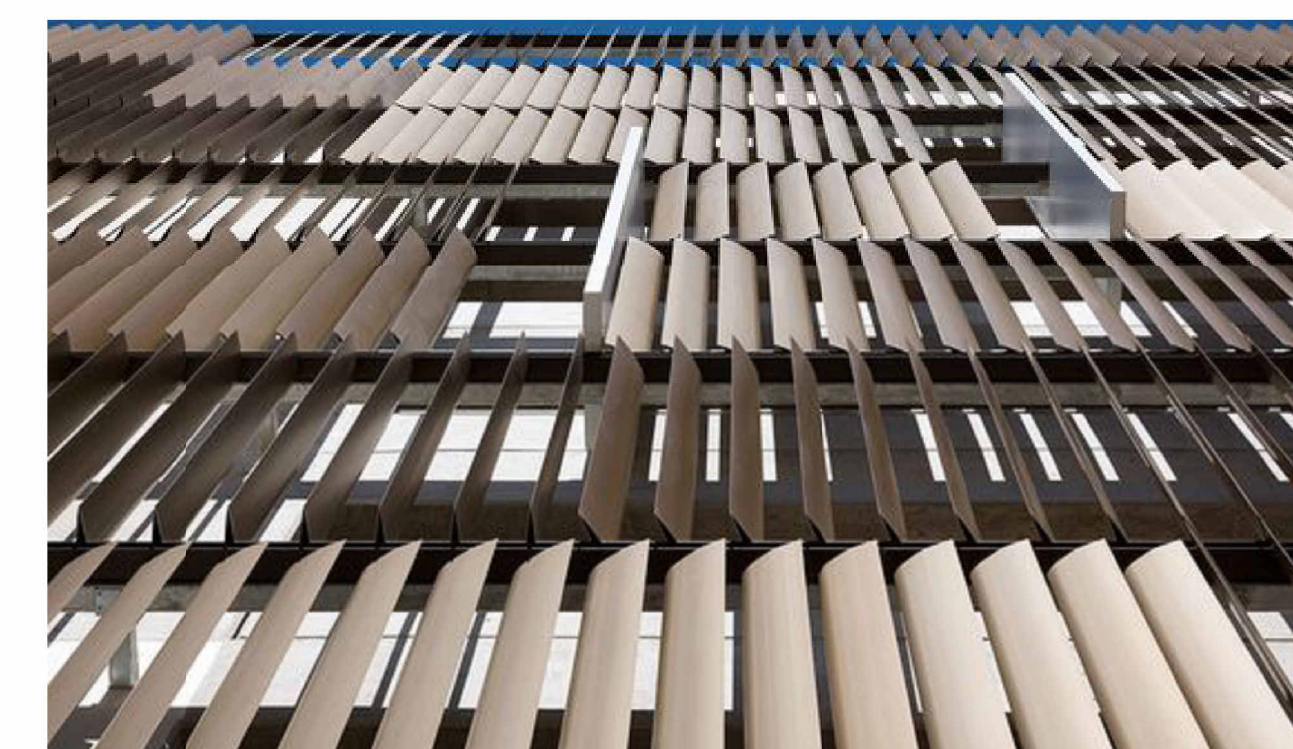
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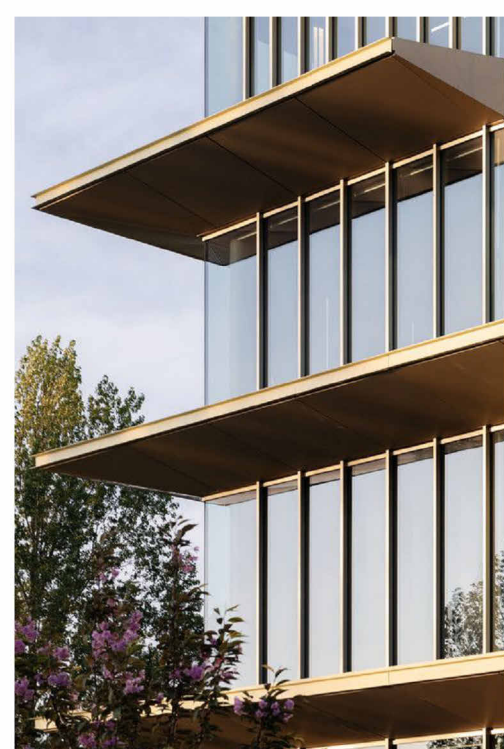
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6



7



8



9

## MATERIAL LEGEND

- 1 FACE BRICKWORK - GERTRUDIS BROWN OR SIMILAR
- 2 WINDOW FRAME OR PAINT FINISH - MONUMENT OR SIMILAR COLOUR
- 3 PAINT FINISH - LIGHT BRONZE OR SIMILAR
- 4 HEBEL POWER PATTERN - PAINT FINISH CEDAR BROWN OR SIMILAR
- 5 METAL BALUSTRADE - DULUX ELECTRO BRONZE COLOUR OR SIMILAR
- 6 PRIVACY SCREEN COLOUR TO MATCH BALUSTRADE
- 7 GLASS FACADE
- 8 SUN SHADES LIGHT GREY
- 9 ROOF TOP LANDSCAPE
- 10 HORIZONTAL LOUVRE COLOUR TO MATCH BALUSTRADE
- 11 HEBEL WALL - PAINT FINISH WARM GREY OR SIMILAR
- 12 TIMBER LOOK BALUSTRADES



Approved Plans  
LDA No. LDA2022/0390  
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Revisions				
No.	Date	Description	Checked	Approved
A	28.11.22	ISSUED FOR DA	MR	MG
B	29.11.22	ISSUED FOR DA	MR	MG
C	29.03.23	ISSUED FOR DA	RP	MR
D	03.05.23	REVISED DA	MR	BM
E	05.05.23	REVISED DA	MR	BM

Key

Client



Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square  
Sydney NSW 2000 AUSTRALIA

Architect



79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project

LACHLAN'S LINE LOT 110  
RESIDENTIAL APARTMENT BUILDING  
5 HALIFAX STREET,  
MACQUARIE PARK

Proj. No. 21109

Drawing Title

MATERIAL BOARD

Drawing Status

NOT FOR CONSTRUCTION

Scale

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Drawing No.

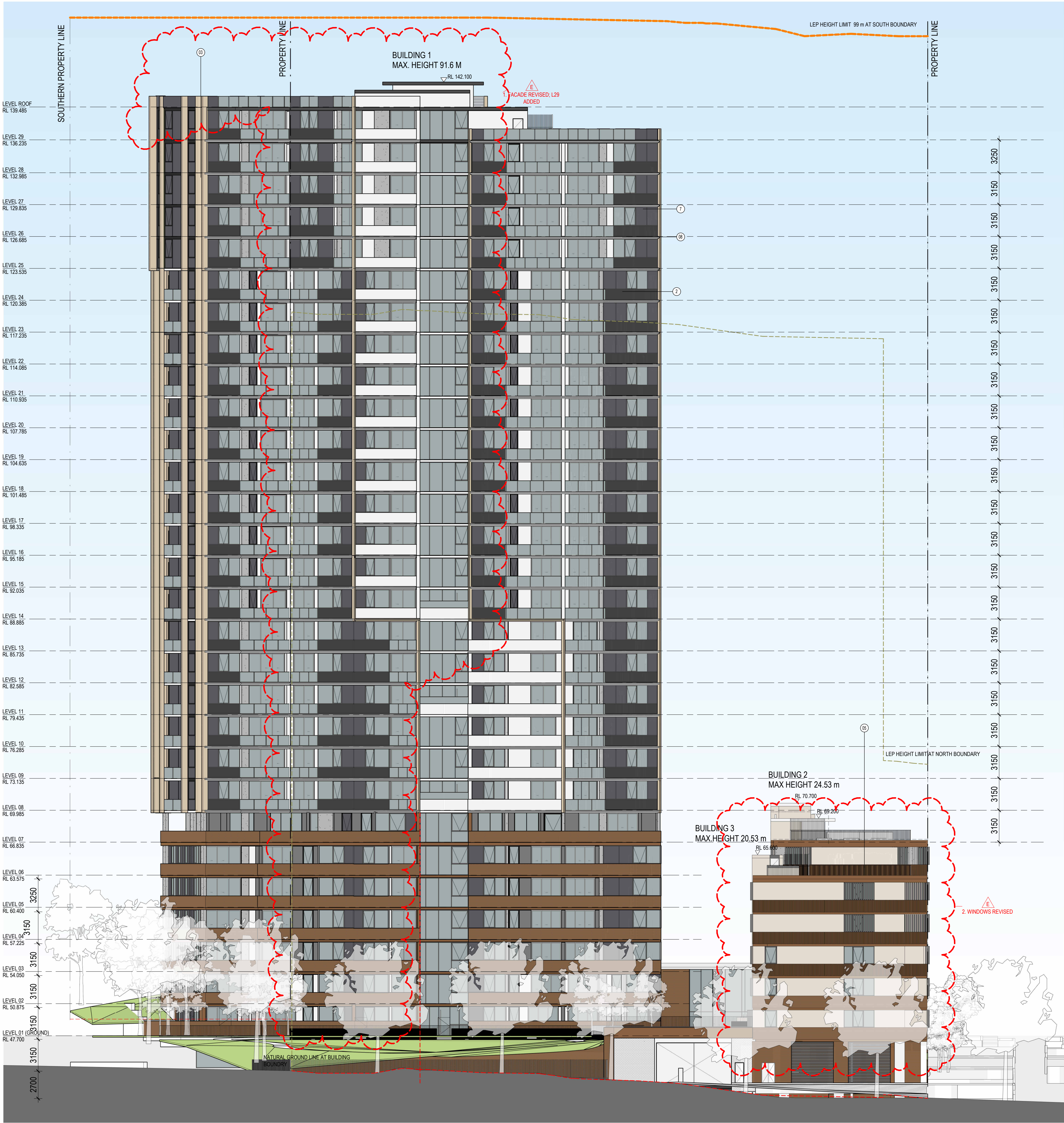
DA2704 E

Issue



1 NORTH ELEVATION

1:200



Drawing Status

NOT FOR CONSTRUCTION

MATERIAL LEGEND

- 1 FACE BRICKWORK - GERTRUDIS BROWN OR SIMILAR
- 2 WINDOW FRAME OR PAINT FINISH - MONUMENT OR SIMILAR COLOUR
- 3 PAINT FINISH - LIGHT BRONZE OR SIMILAR
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1	09.09.22	PRE-DA ISSUE	MR	MG
2	13.09.22	PRE-DA ISSUE	MR	MG
3	31.10.22	ISSUED FOR REVIEW	DH	MR
4	07.11.22	ISSUED FOR COORDINATION	DH	MR
5	22.11.22	ISSUED FOR COORDINATION	DH	MR
A	28.11.22	ISSUED FOR DA	MR	MG
B	29.11.22	ISSUED FOR DA	MR	MG
C	29.03.23	ISSUED FOR DA	RP	MR
D	03.05.23	REVISED DA	MR	BM
E	05.05.23	REVISED DA	MR	BM
No	Date	Description	Chk'd	App'd

Revisions

Key

Client



Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square Sydney NSW 2000 AUSTRALIA

Architect



79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 6222 fx +61 2 9311 6200  
ABN 53 003 782 250

Project

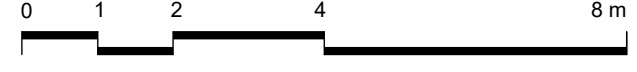
LACHLAN'S LINE LOT 110  
RESIDENTIAL APARTMENT BUILDING  
5 HALIFAX STREET,  
MACQUARIE PARK

Drawing Title

NORTH ELEVATION

Scale

1 : 200 @A1 DA3101 E



Author

PLOTTED & CHECKED BY:

5/05/2023 6:16:14 PM

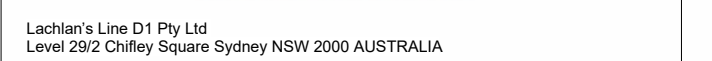
PLOT DATE & TIME:



- ① FACE BRICKWORK - GERTRUDIS BROWN OR SIMILAR
- ② WINDOW FRAME OR PAINT FINISH - MONUMENT OR SIMILAR COLOUR
- ③ PAINT FINISH - LIGHT BRONZE OR SIMILAR
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- ⑨ ROOF TOP LANDSCAPE
- ⑩ HORIZONTAL LOUVRE COLOUR TO MATCH BALUSTRADE
- ⑪ HEBEL WALL - PAINT FINISH WARM GREY OR SIMILAR
- ⑫ TIMBER LOOK BALUSTRADES

Revisions

Client \_\_\_\_\_



Project	
---------	--

5 HALIFAX STREET,  
MAGUARIÉ-BARK

[illegible]

1000

PLOT DATE & TIME: 5/05/2023 6:17:50 PM PLOTTED & CHECKED BY: Author



1 : 200

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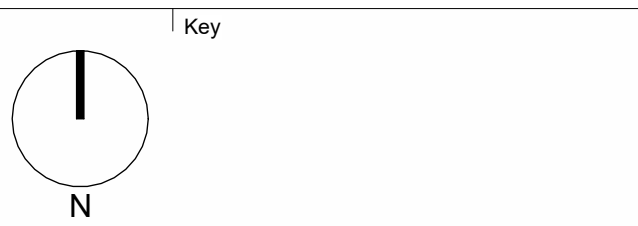


MATERIAL LEGEND

- 1 FACE BRICKWORK - GERTRUDIS BROWN OR SIMILAR
- 2 WINDOW FRAME OR PAINT FINISH - MONUMENT OR SIMILAR COLOUR
- 3 PAINT FINISH - LIGHT BRONZE OR SIMILAR
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A	28.11.22	ISSUED FOR DA	MR	MG
B	29.11.22	ISSUED FOR DA	MR	MG
C	29.02.23	ISSUED FOR DA	RP	MR
D	03.05.23	REVISED DA	MR	BM
E	05.05.23	REVISED DA	MR	BM
No	Date	Description	Chk'd	App'd

Revisions



Client



Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square Sydney NSW 2000 AUSTRALIA

Architect



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ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project

LACHLAN'S LINE LOT 110  
RESIDENTIAL APARTMENT BUILDING

5 HALIFAX STREET,  
MACQUARIE PARK

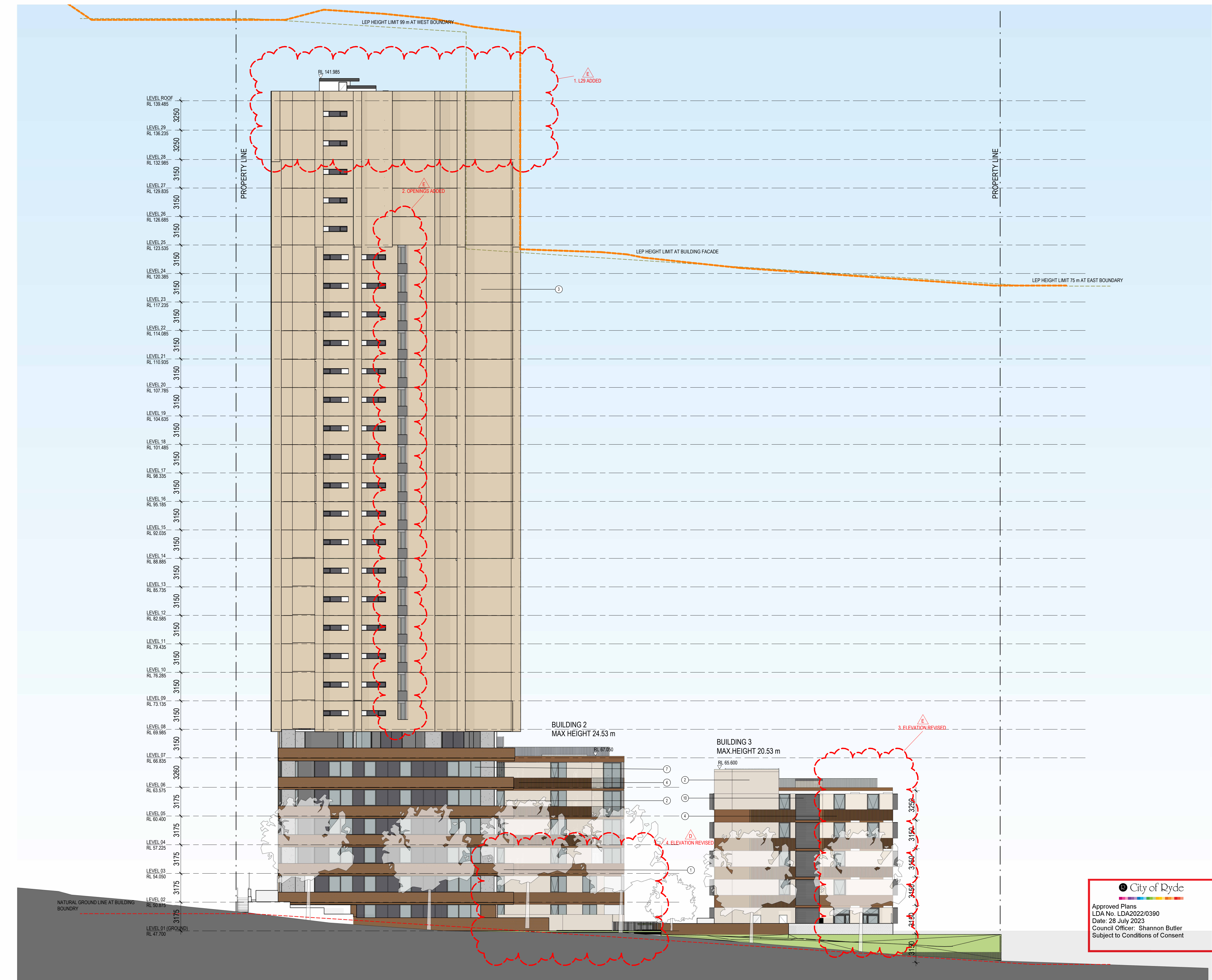
Drawing Title

EAST ELEVATION

Scale	Drawing No.	Issue
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Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
Subject to Conditions of Consent



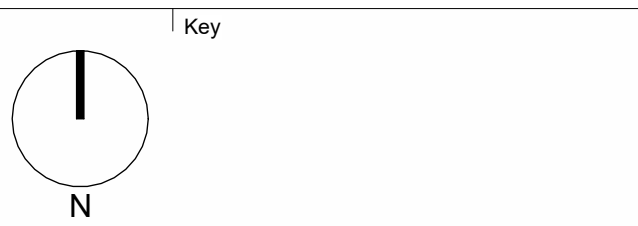


MATERIAL LEGEND

- ① FACE BRICKWORK - GERTRUDIS BROWN OR SIMILAR
- ② WINDOW FRAME OR PAINT FINISH - MONUMENT OR SIMILAR COLOUR
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C	29.03.23	ISSUED FOR DA	RP	MR
D	03.05.23	REVISED DA	MR	BM
E	05.05.23	REVISED DA	MR	BM
No	Date	Description	Chk'd	App'd

Revisions



Client



Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square Sydney NSW 2000 AUSTRALIA

Architect



Project

LACHLAN'S LINE LOT 110  
RESIDENTIAL APARTMENT BUILDING

5 HALIFAX STREET,  
MACQUARIE PARK

Drawing Title

WEST ELEVATION

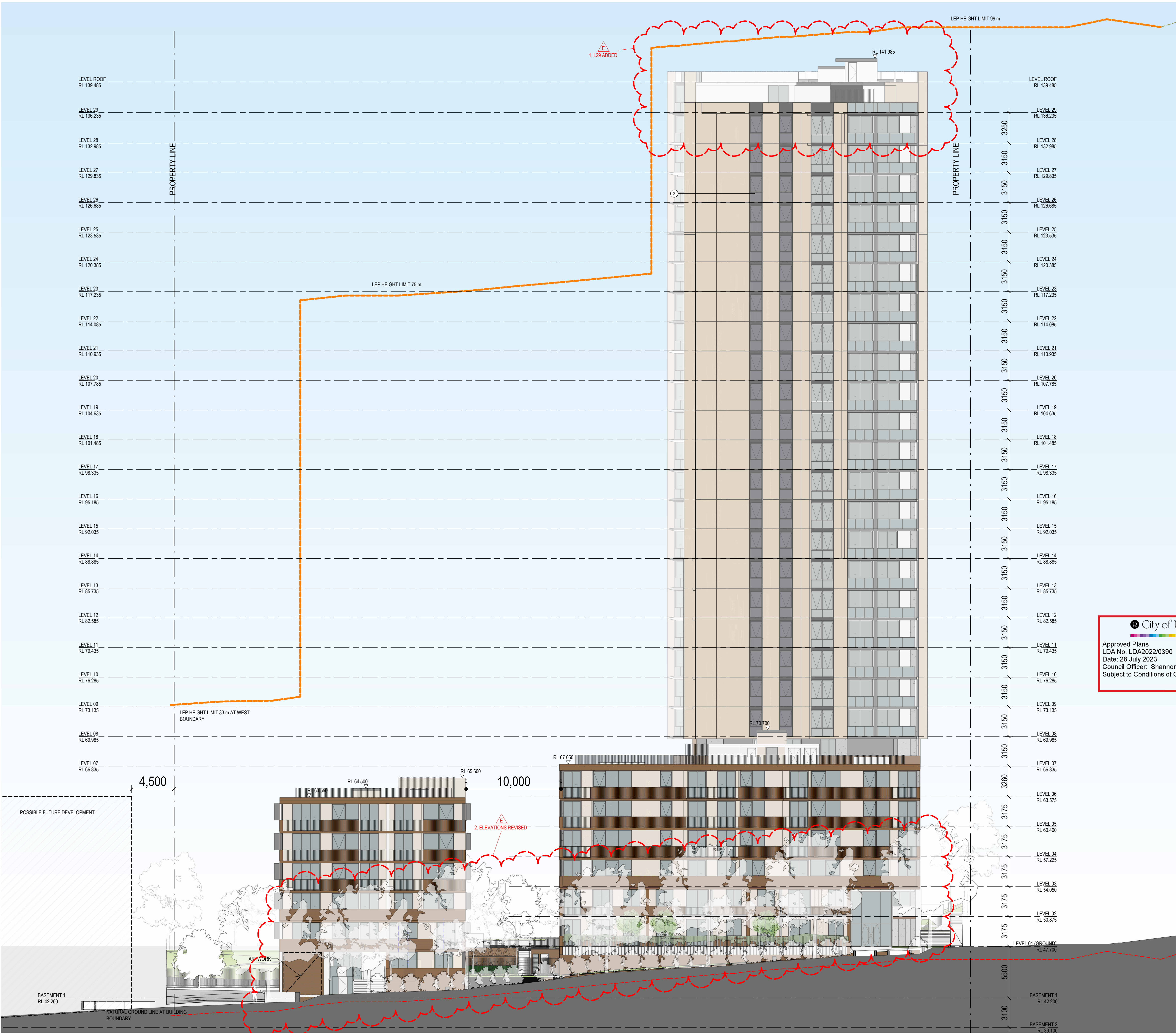
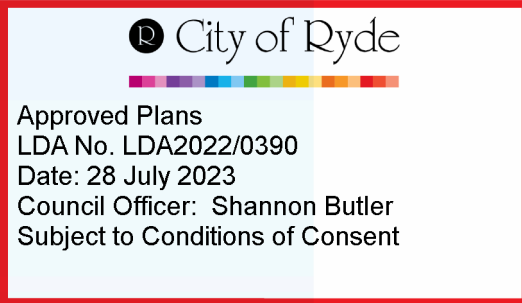
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Author

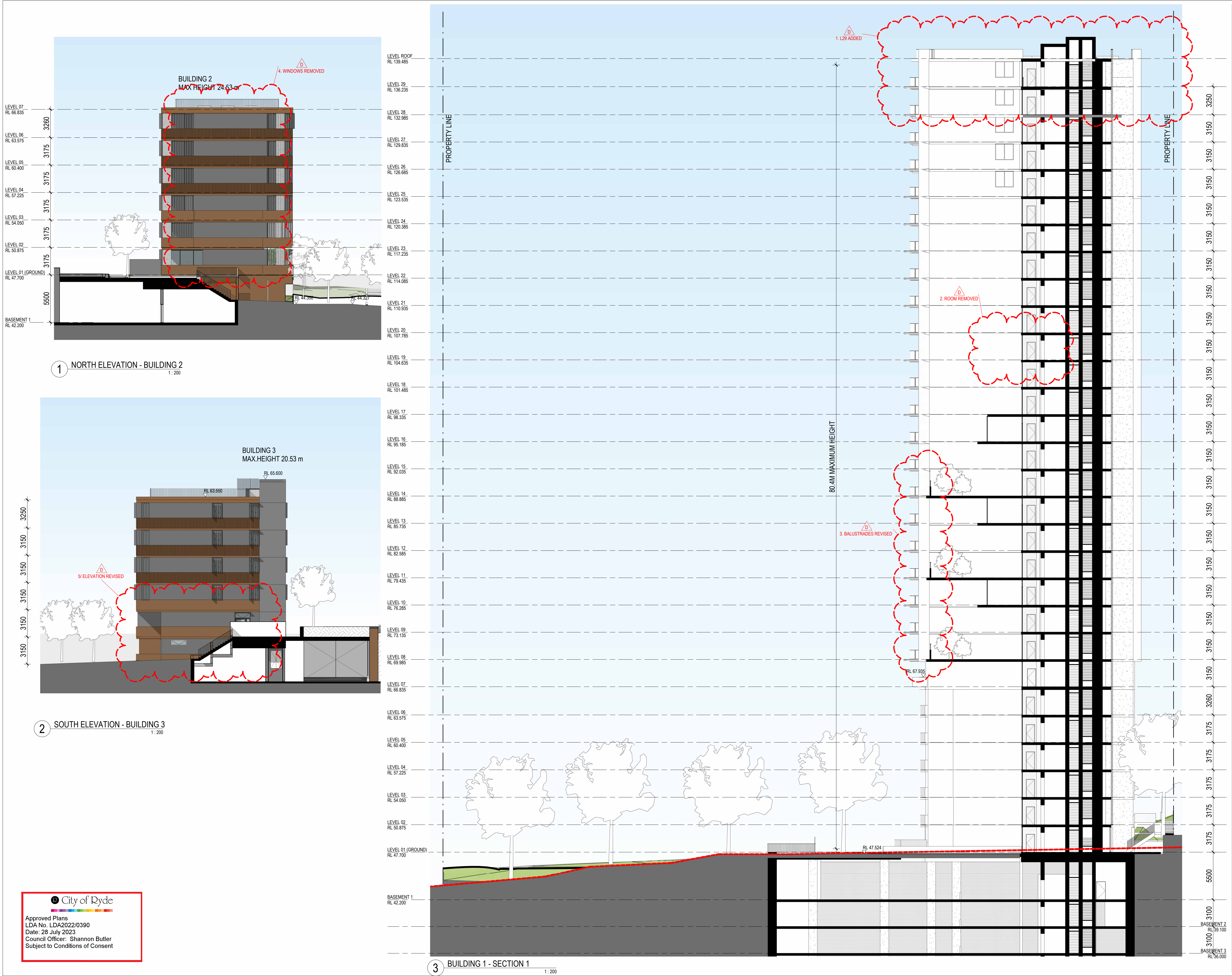
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PLOT DATE & TIME:







Drawing Status

NOT FOR CONSTRUCTION

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C	29.03.23	ISSUED FOR DA	RP	MR
D	03.05.23	REVISED DA	MR	BM
No	Date	Description	Chk'd	App'd

Revisions

Key

Client

Landmark

Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square Sydney NSW 2000 AUSTRALIA

Architect

AJ+C

ALLEN JACK+COTTER

79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
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ABN 53 003 782 250

Project

LACHLAN'S LINE LOT 110

RESIDENTIAL APARTMENT BUILDING

5 HALIFAX STREET,  
MACQUARIE PARK

Drawing Title

SECTION 1 & ELEVATIONS

Scale	Drawing No.	Issue
1 : 200 @A1	DA3201	D

Scale

Drawing No.

Issue

City of Ryde

Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
Subject to Conditions of Consent

3

BUILDING 1 - SECTION 1

1 : 200

1

NORTH ELEVATION - BUILDING 2

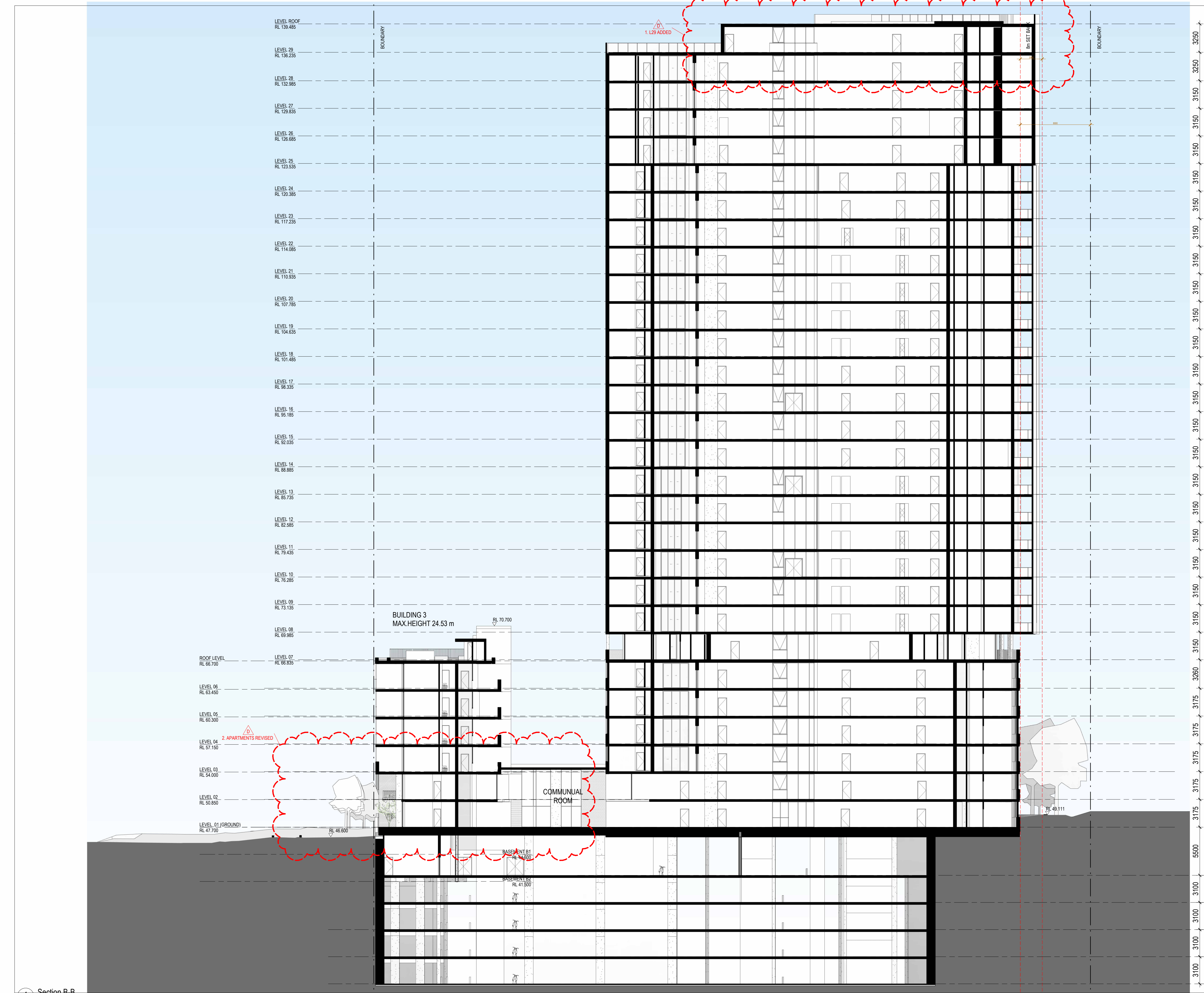
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SOUTH ELEVATION - BUILDING 3

1 : 200





Drawing Status  
**NOT FOR CONSTRUCTION**



Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
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3	22.11.22	ISSUED FOR COORDINATION	DH	MR
A	28.11.22	ISSUED FOR DA	MR	MG
B	29.11.22	ISSUED FOR DA	MR	MG
C	29.03.23	ISSUED FOR DA	RP	MR
D	03.05.23	REVISED DA	MR	BM
No	Date	Description	Chk'd	App'd

Revisions



Client



Lachlan's Line D1 Pty Ltd  
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ABN 53 003 782 250

Project

**LACHLAN'S LINE LOT 110**

**RESIDENTIAL APARTMENT BUILDING**

**5 HALIFAX STREET, MACQUARIE PARK**

Drawing Title

**SECTION 2**

Scale

**1 : 200 @A1**

Drawing No.

**DA3202**

Issue

**D**



LEVEL ROOF  
RL 139.485

LEVEL 29  
RL 136.235

LEVEL 28  
RL 132.985

LEVEL 27  
RL 129.835

LEVEL 26  
RL 126.685

LEVEL 25  
RL 123.535

LEVEL 24  
RL 120.385

LEVEL 23  
RL 117.235

LEVEL 22  
RL 114.085

LEVEL 21  
RL 110.935

LEVEL 20  
RL 107.785

LEVEL 19  
RL 104.635

LEVEL 18  
RL 101.485

LEVEL 17  
RL 98.335

LEVEL 16  
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LEVEL 15  
RL 92.035

LEVEL 14  
RL 88.885

LEVEL 13  
RL 85.735

LEVEL 12  
RL 82.585

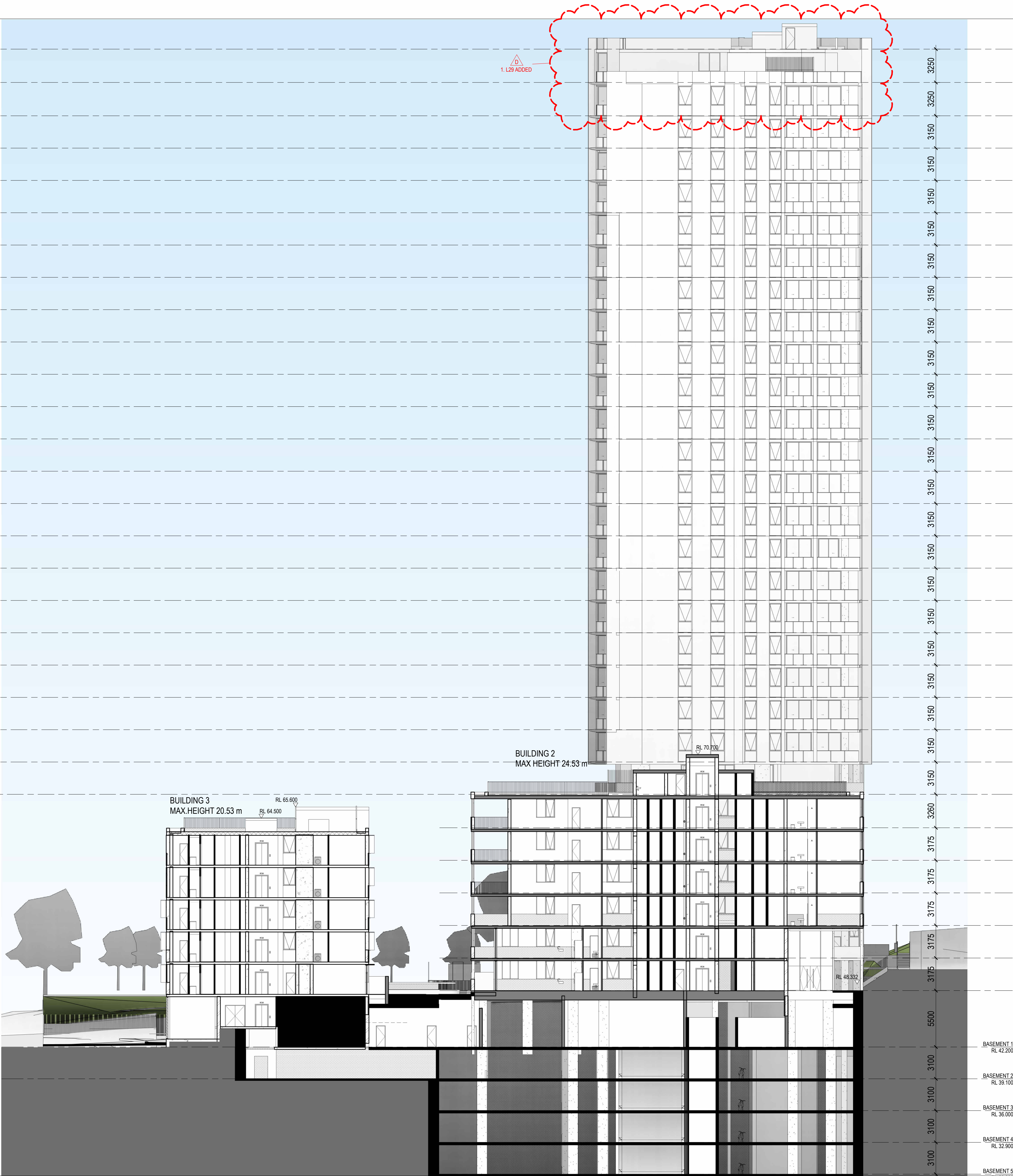
LEVEL 11  
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LEVEL 10  
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LEVEL 09  
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LEVEL 08  
RL 69.985

LEVEL 07  
RL 66.835



1 SECTION THROUGH BASEMENT  
1 : 200

Drawing Status  
**NOT FOR CONSTRUCTION**

No	Date	Description	Chk'd	App'd
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2	31.10.22	ISSUED FOR REVIEW	DH	MR
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A	28.11.22	ISSUED FOR DA	MR	MG
B	29.11.22	ISSUED FOR DA	MR	MG
C	29.03.23	ISSUED FOR DA	RP	MR
D	03.05.23	REVISED DA	MR	BM

Revisions

Key

Client



Lachlan's Line D1 Pty Ltd  
Level 29/2 Chifley Square Sydney NSW 2000 AUSTRALIA

Architect



79 Myrtle Street Chippendale NSW 2008 AUSTRALIA  
ph +61 2 9311 8222 fx +61 2 9311 8200  
ABN 53 003 782 250

Project

**LACHLAN'S LINE LOT 110**  
**RESIDENTIAL APARTMENT BUILDING**  
**5 HALIFAX STREET,**  
**MACQUARIE PARK**

Drawing Title

**SECTION 3 - BASEMENT**

Scale	Drawing No.	Issue
1 : 200 @A1	DA3203	D



Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
Subject to Conditions of Consent



# LACHLAN'S LINE LOT 110

MACQUARIE PARK, NSW 2113

## LANDSCAPE DOCUMENTATION - DEVELOPMENT APPLICATION

### DOCUMENT REGISTER

DRAWING NUMBER	DRAWING NAME	SCALE / DRAWING SIZE
LDA-001	LANDSCAPE COVER SHEET	-
LDA-101	EXISTING TREE PLAN	1:200 / A1
LDA-102	PUBLIC DOMAIN DEMOLITION PLAN	1:100 / A1
LDA-201	LANDSCAPE MASTERPLAN	1:200 / A1
LDA-202	PROPOSED TREE PLAN	1:200 / A1
LDA-203	PROPOSED PLANTING PLAN	1:200 / A1
LDA-204	LEVEL 6 & 7 COURTYARD PLAN & SECTION	1:50 / A1
LDA-205	LEVEL 8,11 & 14 COURTYARD PLAN & SECTION	1:50 / A1
LDA-301	LANDSCAPE SECTIONS 1	1:20 / A1
LDA-302	LANDSCAPE SECTIONS 2	1:20 / A1
LDA-303	LANDSCAPE SECTIONS 3	1:50 / A1
LDA-304	LANDSCAPE SECTIONS 4	1:50 / A1
LDA-401	PLANT MATRIX DETAILS	-
LDA-402	LANDSCAPE DETAILS	-

PREPARED FOR



PREPARED BY

**GROUND INK**  
LANDSCAPE ARCHITECTS

GROUND INK Pty Ltd

SUITE 201, 75 ARCHER STREET CHATSWOOD NSW 2067  
(02) 9411 3279  
WWW.GROUNDINK.COM.AU

SUBMISSION FOR

DEVELOPMENT APPLICATION

VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS. ALL WORK IS TO CONFORM TO RELEVANT AUSTRALIAN STANDARDS AND OTHER CODES AS APPLICABLE. DIAL BEFORE YOU DIG. LOCATION OF UNDERGROUND SERVICES TO BE PROVEN ON SITE AND PROTECTED IF NECESSARY PRIOR TO CONSTRUCTION. PLANT SPECIES AND QUANTITIES SHOWN ARE INDICATIVE ONLY AND ARE SUBJECT TO CHANGE BASED ON FUTURE PROJECT REQUIREMENTS.  
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### EXISTING SITE PLAN



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DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

LANDSCAPE ARCHITECT

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ARCHITECT

AJ+C

ALLEN JACK+COTTIER

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NOTE

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B	06.04.23	ISSUE FOR COORDINATION	MK	RL
C	19.04.23	ISSUE FOR COORDINATION	MK	RL
D	08.05.23	ISSUE FOR DA	MK	RL

DRAWING TITLE

LANDSCAPE COVER SHEET

DATE	JOB NUMBER	DRAWN	CHECKED	DRAWING NUMBER
08-MAY-23	20220218	MK	RL	LDA-001

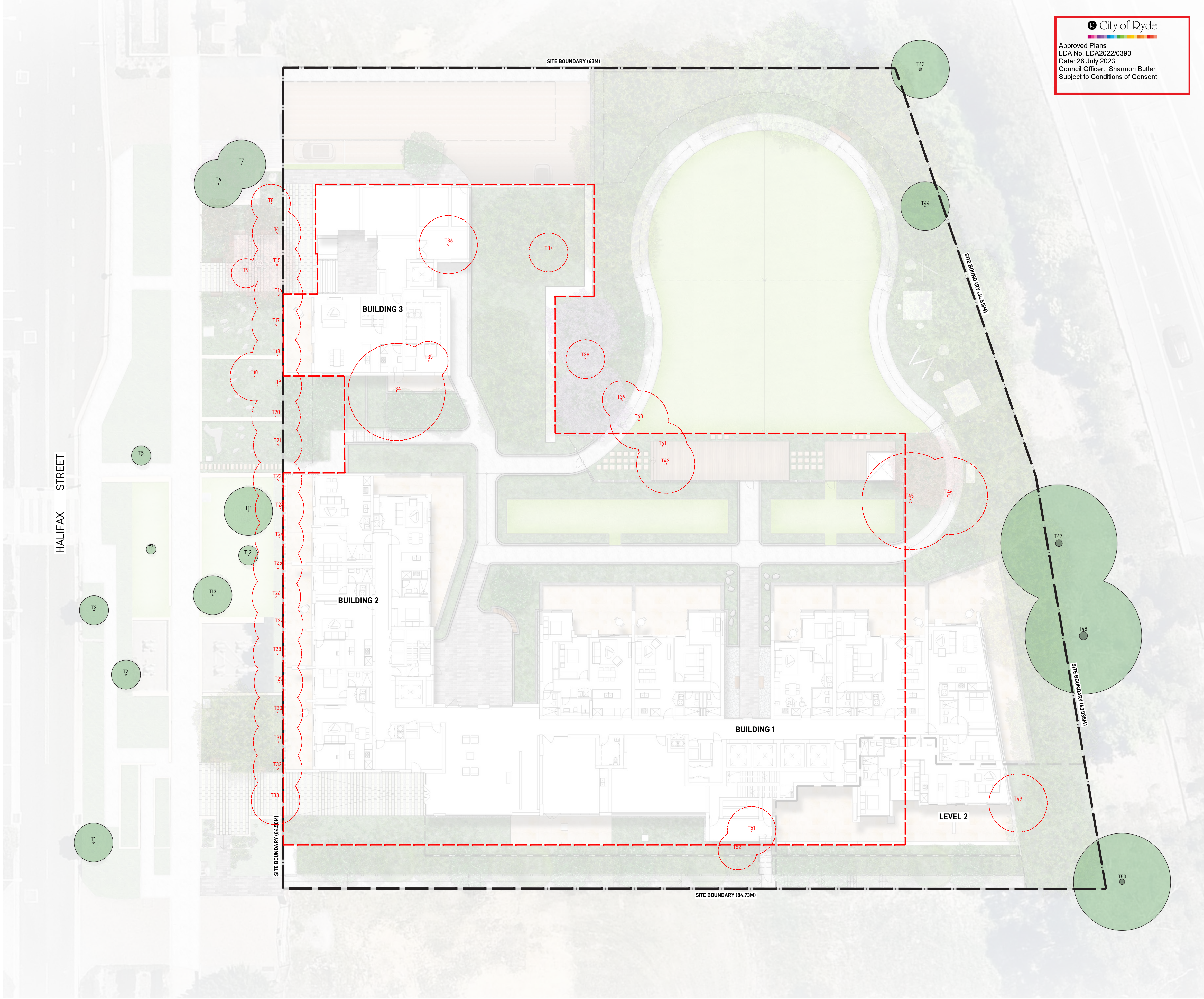
PROJECT

LACHLAN'S LINE LOT 110  
MACQUARIE PARK, NSW 2113

SCALE  
N/A

REV  
D





City of Ryde  
Approved Plans  
LDA No. LDA2022/0390  
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LEGEND

SITE BOUNDARY

LINE OF BASEMENT BELOW

T1

EXISTING TREES TO BE RETAINED  
REFER TO ARBORICULTURAL IMPACT  
ASSESSMENT REPORT PREPARED BY  
URBAN ARBOR DATED APRIL 2023

T9

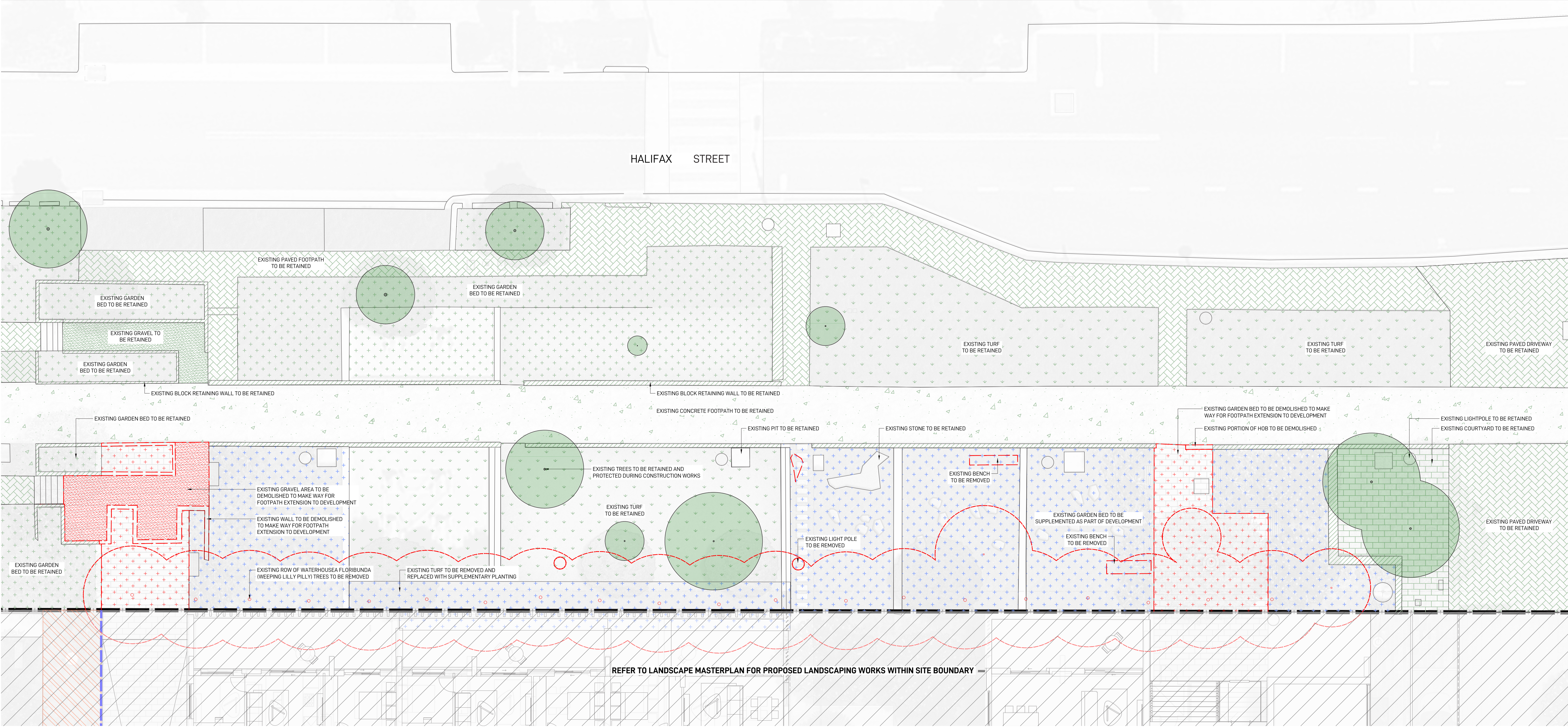
EXISTING TREES TO BE REMOVED  
REFER TO ARBORICULTURAL IMPACT  
ASSESSMENT REPORT PREPARED BY  
URBAN ARBOR DATED APRIL 2023

EXISTING TREE SCHEDULE

ID	DESCRIPTION	HEIGHT	CANOPY SPREAD	TPZ	ACTION
1	TRISTANIOPSIS LAURINA	5.0M	2.0M	2.0M	RETAIN
2	ANGOPHORA COSTATA	6.0M	1.5M	2.0M	RETAIN
3	TRISTANIOPSIS LAURINA	4.0M	1.5M	2.0M	RETAIN
4	ANGOPHORA COSTATA	2.0M	0.5M	2.0M	RETAIN
5	ANGOPHORA COSTATA	2.0M	1.0M	2.0M	RETAIN
6	LAGERSTROEMIA INDICA	5.0M	2.5M	2.0M	RETAIN
7	LAGERSTROEMIA INDICA	5.0M	2.5M	2.0M	RETAIN
8	ACMENA SMITHII	4.0M	2.0M	2.0M	REMOVE
9	ACER BUERGERIANUM	3.0M	1.5M	2.0M	REMOVE
10	ACER BUERGERIANUM	5.0M	2.5M	2.0M	REMOVE
11	ACER BUERGERIANUM	5.0M	2.5M	2.0M	RETAIN
12	TOONA CILIATA	4.0M	1.0M	2.0M	RETAIN
13	TOONA CILIATA	5.0M	2.0M	2.0M	RETAIN
14	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
15	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
16	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
17	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
18	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
19	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
20	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
21	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
22	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
23	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
24	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
25	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
26	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
27	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
28	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
29	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
30	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
31	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
32	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
33	WATERHOUSEA FLORIBUNDA	6.0M	2.5M	2.0M	REMOVE
34	ACACIA DECURRENS	5.0M	2.5M	2.0M	REMOVE
35	CASUARINA GLAUCA	6.0M	2.0M	2.0M	REMOVE
36	CASUARINA GLAUCA	7.0M	3.0M	2.0M	REMOVE
37	CASUARINA GLAUCA	6.0M	2.0M	2.0M	REMOVE
38	CASUARINA GLAUCA	6.0M	2.0M	2.0M	REMOVE
39	CASUARINA GLAUCA	6.0M	2.0M	2.0M	REMOVE
40	ACACIA DECURRENS	6.0M	3.0M	2.0M	REMOVE
41	ACACIA LONGIFOLIA	6.0M	2.5M	2.0M	REMOVE
42	ACACIA DECURRENS	6.0M	3.0M	2.6M	REMOVE
43	MELALEUCA LINARIIFOLIA	11.0M	3.0M	3.8M	RETAIN
44	GREVILLEA ROBUSTA	6.0M	2.5M	2.0M	RETAIN
45	ACACIA LONGIFOLIA	7.0M	5.0M	4.3M	REMOVE
46	ACACIA LONGIFOLIA	5.0M	4.0M	3.3M	REMOVE
47	EUCALYPTUS SALIGNA	23.0M	6.0M	8.4M	RETAIN
48	EUCALYPTUS SALIGNA	20.0M	6.0M	10.2M	RETAIN
49	ACACIA LONGIFOLIA	7.0M	3.0M	2.6M	REMOVE
50	EUCALYPTUS SALIGNA	19.0M	5.0M	6.6M	RETAIN
51	ACACIA DECURRENS	6.0M	2.5M	2.0M	REMOVE
52	ACACIA DECURRENS	5.0M	2.0M	2.0M	REMOVE

NOTE: REFER TO ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY URBAN ARBOR DATED 3 APRIL 2023 FOR FURTHER DETAILS





City of Ryde

Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
Subject to Conditions of Consent

LANDSCAPE ARCHITECT

**GROUND INK**

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D	08.05.23	ISSUE FOR DA	MK	RL

DRAWING TITLE

**PUBLIC DOMAIN  
DEMOLITION PLAN**

DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

DATE	JOB NUMBER	DRAWN	CHECKED	DRAWING NUMBER
08-MAY-23	20220218	MK	RL	LDA-102
PROJECT				
<b>LACHLAN'S LINE LOT 110</b>				
MACQUARIE PARK, NSW 2113				
SCALE				
1:100 / A1				
0	1	2	3M	
1	1	1	1	
				NORTH
				REV D



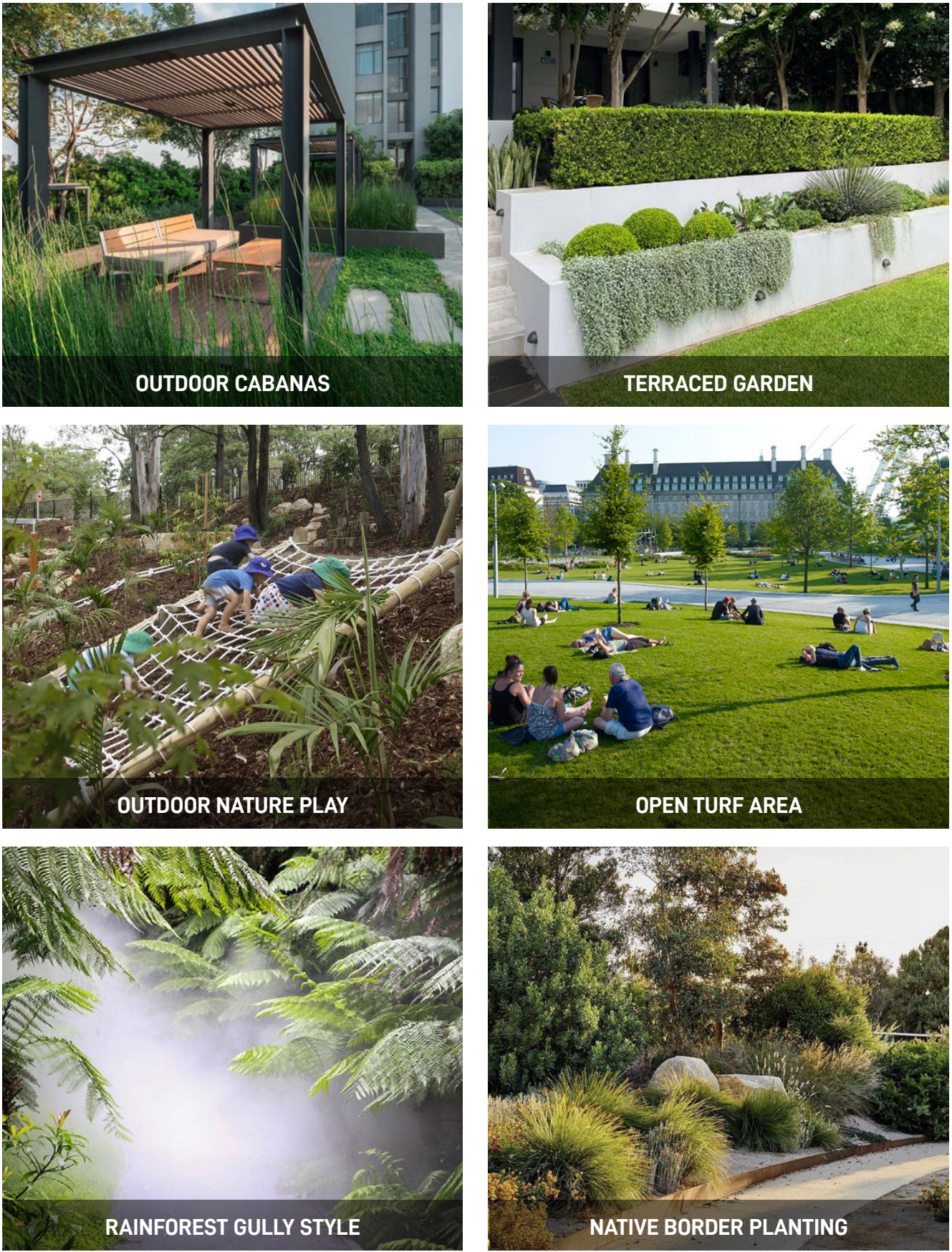



LEGEND

- FFL 45.00 FINISHED FLOOR LEVEL
- + EX 45.00 EXISTING SPOT LEVEL
- + RL 45.00 PROPOSED SPOT LEVEL
- + TOW 45.00 PROPOSED TOP OF WALL LEVEL
- SITE BOUNDARY
- LINE OF BASEMENT BELOW
- 1800MM HIGH SECURITY FENCE
- 1100MM HIGH SAFETY BALUSTRADE FENCE
- EXISTING TREES TO BE RETAINED  
REFER TO ARBORICULTURAL IMPACT ASSESSMENT  
REPORT PREPARED BY URBAN ARBOR DATED APRIL 2023
- PROPOSED TREES  
REFER TO PROPOSED TREE PLAN FOR SPECIES
- PROPOSED OUTDOOR CABANAS WITH BBQ FACILITY  
AND FURNITURE PROVIDING PASSIVE OPPORTUNITIES
- PROPOSED RETAINING WALLS PROVIDING A VISUAL  
TERRACED GARDEN EFFECT TO EGRESS PATH
- PROPOSED OUTDOOR NATURE PLAY AREA WITH TIMBER LOGS,  
ROPES AND BOULDERS SUPPLEMENTED WITH NATIVE BORDER  
PLANTING TO VISUALLY BUFFER THE ADJACENT M2 MOTORWAY
- PROPOSED LARGE TURFED AREA FOR  
FLEXIBLE OUTDOOR ACTIVITIES
- PROPOSED PATHWAY BETWEEN BUILDING 1 LOBBY AND  
OUTDOOR CABANAS WITH RAINFOREST GULLY STYLE PLANTING
- PROPOSED PLANTING AREA ON STRUCTURE WITH MOUNDED  
SOIL TO ALLOW FOR LARGE SPECIMEN TREE PLANTING
- PROPOSED NEW FOOTPATH CONNECTION  
TO THE EXISTING LINEAR PARK

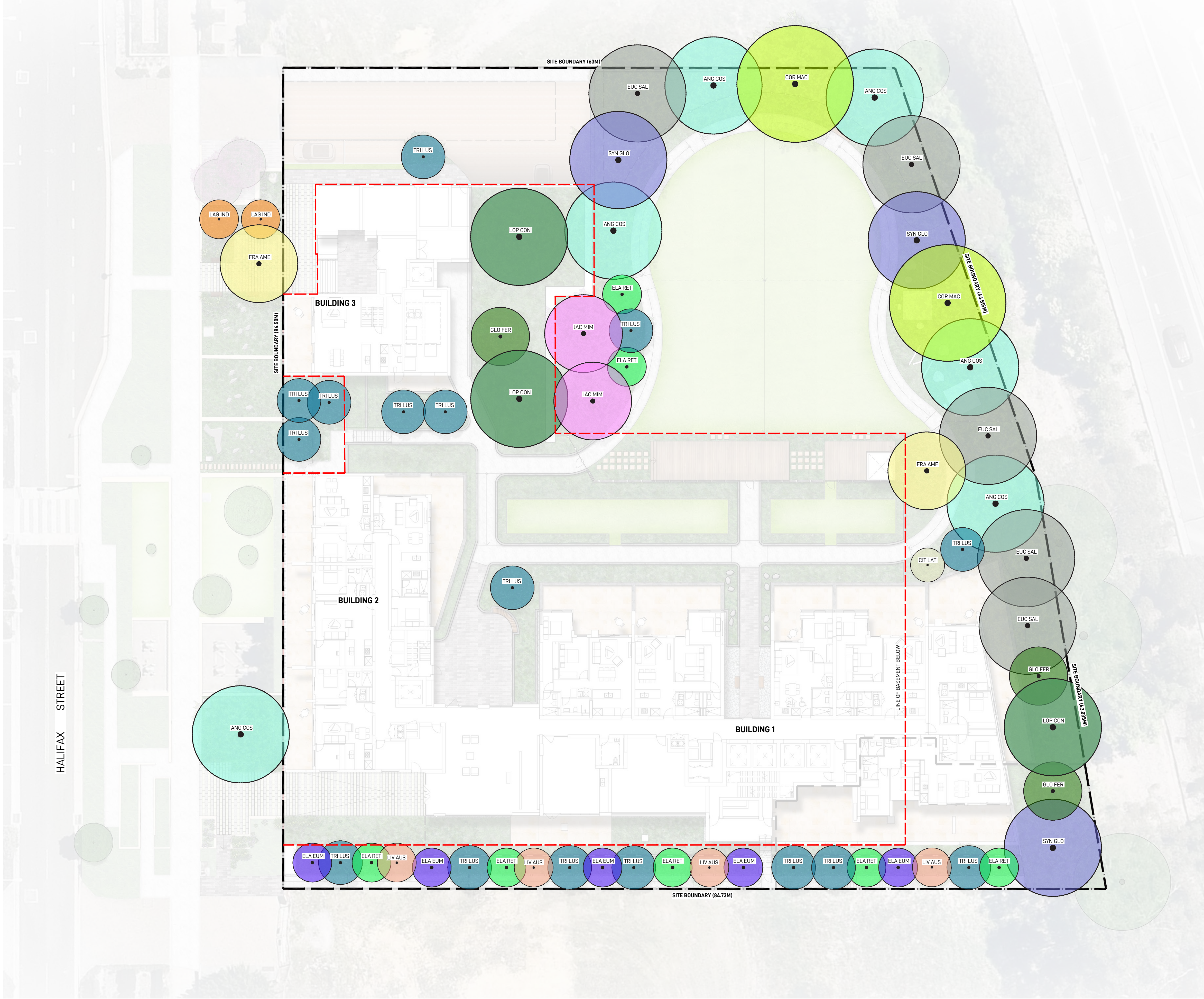
City of Ryde  
Approved Plans  
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DESIGN IMAGES



LANDSCAPE ARCHITECT				CLIENT		ARCHITECT		NOTE				ISSUE				DATE				DESCRIPTION				DRAWN		CHECKED		DRAWING TITLE				DATE		JOB NUMBER		DRAWN		CHECKED		DRAWING NUMBER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
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## Tree Schedule

Code	Botanical Name (Common Name)	Native	Height	Pot Size
ANG COS	ANGOPHORA COSTATA (SYDNEY RED GUM)	✓	15M	100L
CIT LIM	CITRUS LIMON (LEMON TREE)		3M	75L
COR MAC	CORYMBIA MACULATA (SPOTTED GUM)	✓	25M	100L
ELA EUM	ELAEOCARPUS EUMUNDI (QUANDONG)	✓	6-8M	100L
ELA RET	ELAEOCARPUS RETICULATUS (BLUEBERRY ASH)	✓	6-8M	100L
EUC SAL	EUCALYPTUS SALIGNA (BLUE GUM)	✓	25M	100L
FRA AME	FRAXINUS AMERICANA (WHITE ASH)		12M	100L
GLO FER	GLOCHIDION FERDINANDI (CHEESE TREE)	✓	10M	100L
JAC MIM	JACARANDA MIMOSIFOLIA (BLUE JACARANDA)		10-15M	200L
LAG IND	LAGERSTROEMIA INDICA (CREPE MYRTLE)		6-8M	100L
LIV AUS	LIVISTONA AUSTRALIS (CABBAGE TREE PALM)	✓	15-20M	100L
LOP CON	LOPHOSTEMON CONFERTUS (BRUSH BOX)	✓	15M	100L
SYN GLO	SYNCARPIA GLOMULIFERA (TURPENTINE TREE)	✓	20M	100L
TRI LUS	TRISTANIOPSIS 'LUSCIOUS'	✓	10M	100L

Approved Plans

LDA No. LDA2022/0390

Date: 28 July 2023

Council Officer: Shannon Butler

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## Indicative Tree Images



LANDSCAPE ARCHITECT

GROUND INK

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D	08.05.23	ISSUE FOR DA	MK	RL

DRAWING TITLE

PROPOSED TREE PLAN

DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

DATE	JOB NUMBER	DRAWN	CHECKED	DRAWING NUMBER
08-MAY-23	20220218	MK	RL	LDA-202

PROJECT

LACHLAN'S LINE LOT 110  
MACQUARIE PARK, NSW 2113


SCALE

1:200 / A1  
0 2 4 6M  
1 1 1 1

NORTH

REV D



LANDSCAPE ARCHITECT		CLIENT	ARCHITECT	NOTE	ISSUE		DATE	DESCRIPTION	DRAWN	CHECKED	DRAWING TITLE	DATE	JOB NUMBER	DRAWN	CHECKED	DRAWING NUMBER
<div>GROUND iNK</div> <div>SUITE 201, 75 ARCHER ST, CHATSWOOD NSW 2067 PH. (02) 9411 3279 WWW.GROUNDINK.COM.AU ABN 55 163 025 456 ACN 163 025 456 © GROUND INK PTY LTD THIS DESIGN AND DRAWING IS PROTECTED BY COPYRIGHT.</div>		<div></div> <div>LEVEL 29/2 CHIFLEY SQUARE CHIFFENDALE NSW 2008 PH. (02) 9231 8679   WWW.LANDMARKGR.COM</div>	<div>AJ+C</div> <div>ALLEN JACK+COTTIER</div> <div>79 MYRTLE STREET, SYDNEY NSW 2008 PH. (02) 9311 8260   WWW.ARCHITECTSAJC.COM</div>	VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS. ALL WORK IS TO CONFORM TO RELEVANT AUSTRALIAN STANDARDS AND OTHER CODES AS APPLICABLE. LOCATION OF UNDERGROUND SERVICES TO BE PROVEN ON SITE AND PROTECTED IF NECESSARY PRIOR TO CONSTRUCTION DIAL BEFORE YOU DIG. PLANT SPECIES AND QUANTITIES SHOWN ARE INDICATIVE ONLY AND ARE SUBJECT TO CHANGE BASED ON FUTURE PROJECT REQUIREMENTS.	DRAFT	22.03.23	DRAFT ISSUE FOR COORDINATION	MK	RL	PROPOSED PLANTING PLAN	08-MAY-23	20220218	MK	RL	LDA-203	
					A	24.03.23	ISSUE FOR DA	MK	RL							
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					C	19.04.23	ISSUE FOR COORDINATION	MK	RL							
					D	08.05.23	ISSUE FOR DA	MK	RL							

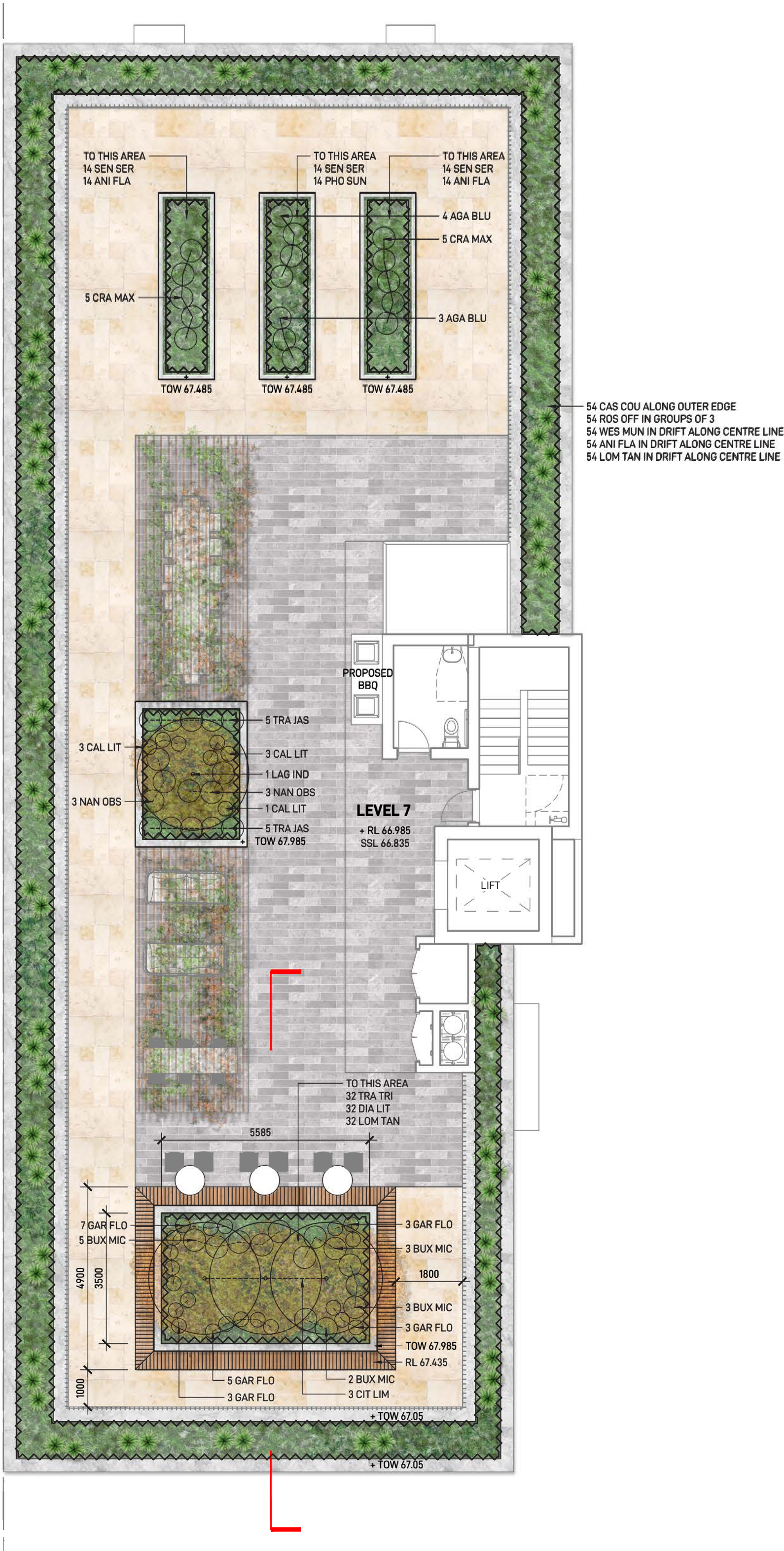


LEGEND

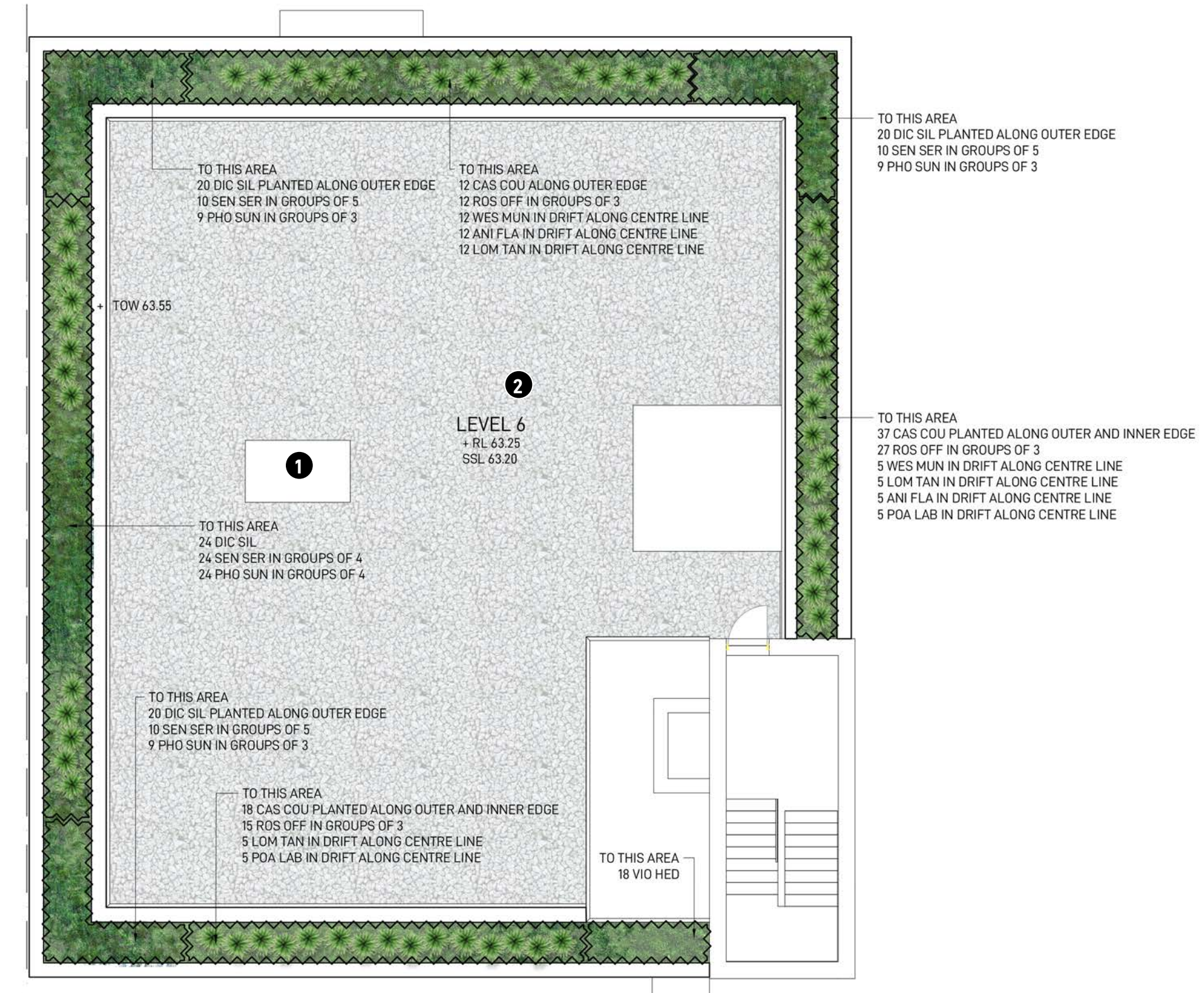
- 1 PROPOSED SKYLIGHT TO ARCHITECT'S DETAILS
- 2 GRAVEL BALLAST

PLANTING SCHEDULE

CODE	BOTANICAL NAME (COMMON NAME)	NATIVE	HEIGHT	POT SIZE	QUANTITY
TREE					
CIT LIM	CITRUS LIMON (LEMON)		5-7M	100L	3
LAG IND	LAGERSTROEMIA INDICA (CREPE MYRTLE)		6-8M	100L	1
SHRUBS					
AGA BLU	AGAVE 'BLUE GLOW'		0.5M	300MM	7
BUX MIC	BUXUS MICROPHYLLA (JAPANESE BOX)		1M	300M	13
CAL LIT	CALLISTEMON 'LITTLE JOHN'	✓	1.7M	300MM	7
CRA MAX	CRASSULA 'MAX COOK'		1M	300MM	10
GAR FLO	GARDENIA FLORIDA (CAPE JASMINE)		1M	300MM	21
NAN OBS	NANDINA 'OBSESSION'		1M	300MM	6
GRASSES & GROUNDCOVERS					
ANI FLA	ANIGOZANTHOS FLAVIDUS (KANGAROO PAW)	✓	0.4M	140MM	125
CAS COU	CASUARINA 'COUSIN IT'	✓	0.3M	140MM	121
DIA LIT	DIANELLA 'LITTLE JESS'	✓	0.4	140MM	32
DIC SIL	DICHONDRA 'SILVER FALLS'		0.4M	140MM	64
LOM TAN	LOMANDRA 'TANIKA'	✓	0.6M	140MM	96
POA LAB	POA LABILLARDIERI (SPEAR GRASS)	✓	0.6M	140MM	10
PHO SUN	PHORMIUM 'SUNDOWNER'		0.6M	140MM	65
ROS OFF	ROSMARINUS OFFICINALIS PROSTRATUS (CREEPING ROSEMARY)		0.6M	140MM	108
SEN SER	SENECIO SERPENS (BLUE CHALKSTICKS)		0.3M	140MM	96
TRA IAS	TRACHELOSPERMUM JASMINOIDES (STAR JASMINE)		0.5M	140MM	10
TRA TRI	TRACHELOSPERMUM 'TRICOLOR'		0.5M	140MM	32
WES MUN	WESTRINGIA 'MUNDI'	✓	0.5M	140MM	71
VIO HED	VIOLA HEDERACEA (NATIVE VIOLET)	✓	0.2M	140MM	18



LEVEL 7 PLAN  
SCALE 1:50



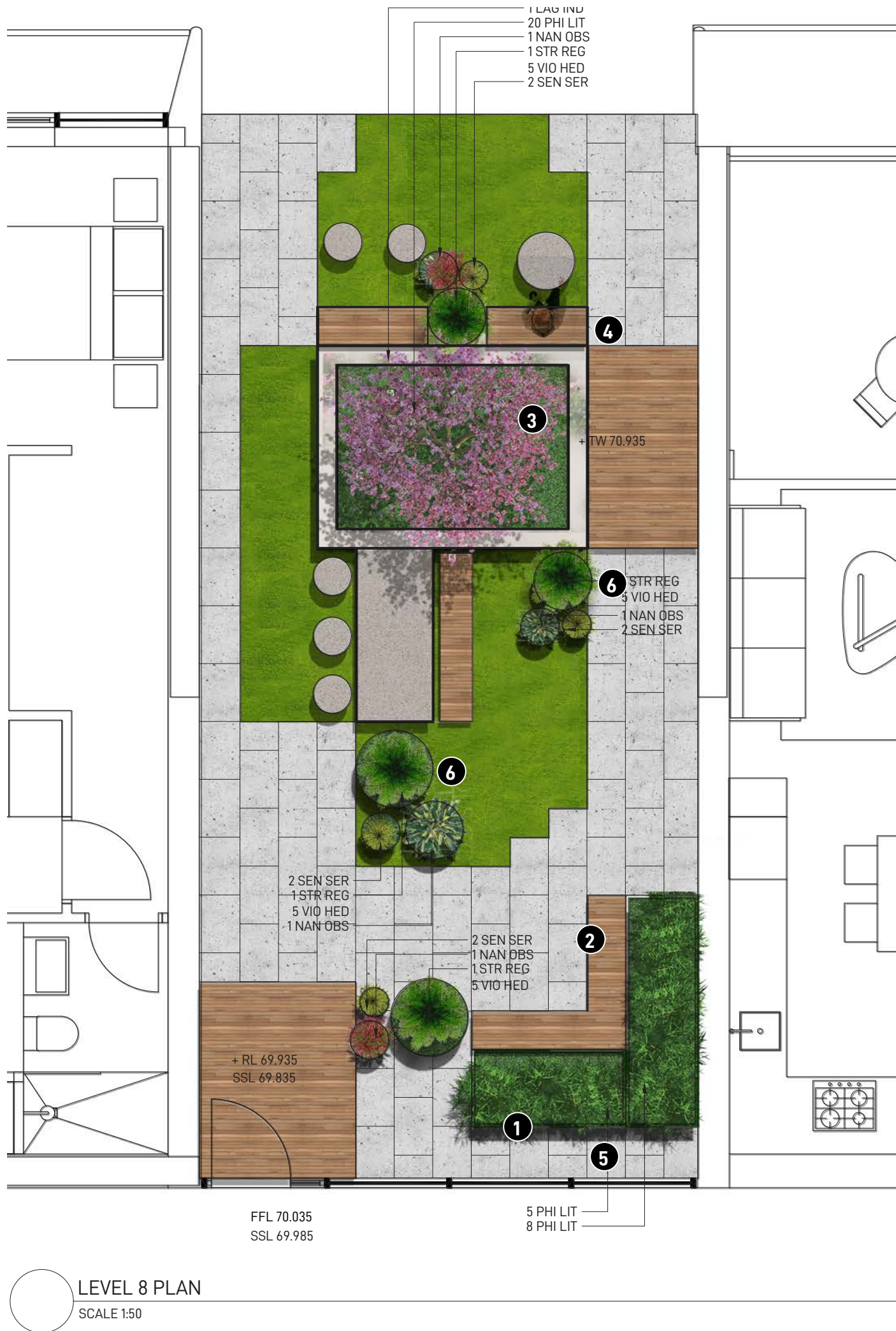
LEVEL 6 PLAN  
SCALE 1:50



LEVEL 7 SECTION  
SCALE 1:20

City of Ryde  
Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
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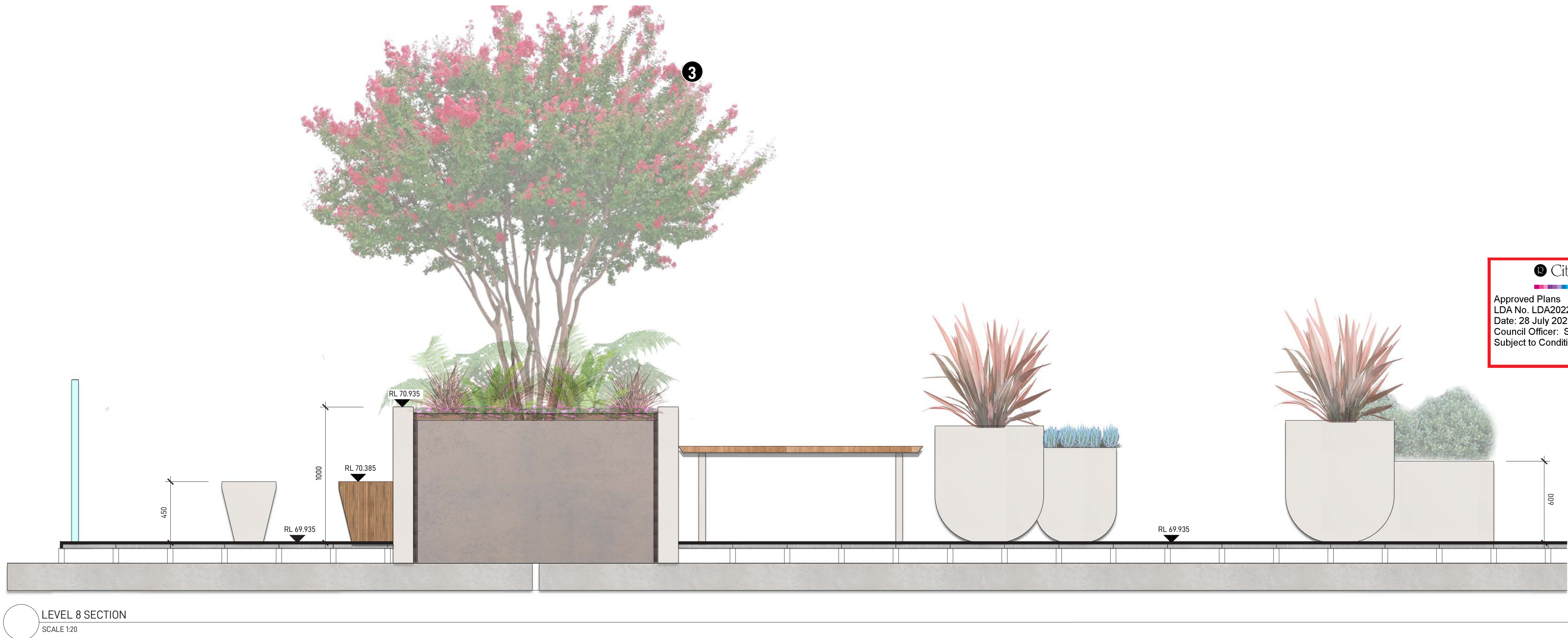


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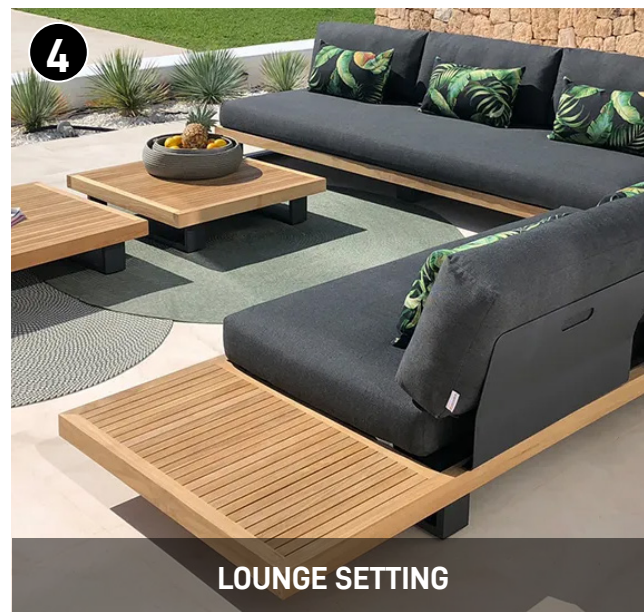
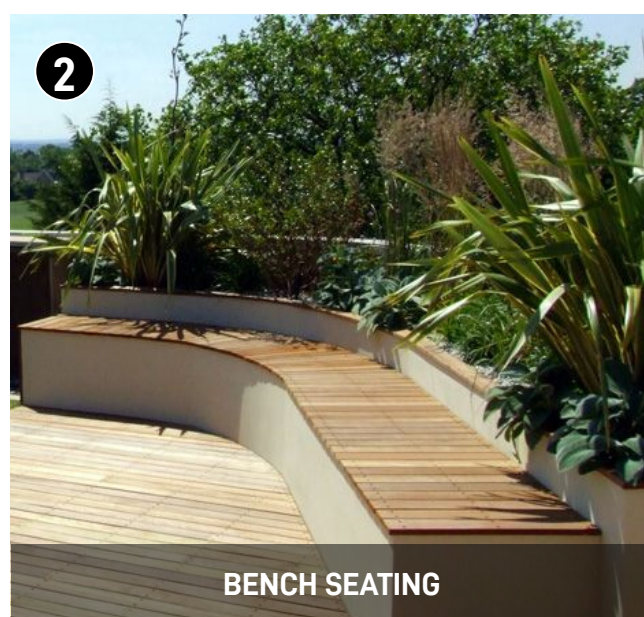
- 1 PROPOSED RAISED PLANTER WITH FEATURE PLANTING PROVIDING PRIVACY TO ADJACENT UNITS
- 2 PROPOSED IN-BUILT BENCH SEATING PROVIDING GROUP GATHERING
- 3 FEATURE DECIDUOUS TREE PROVIDING SEASONAL COLOUR AND SOLAR ACCESS IN WINTER MONTHS
- 4 PROPOSED LOUNGE SEATING PROVIDING ADDITIONAL GATHERING SPACE
- 5 PROPOSED OFFSET TO AVOID WET WALLS
- 6 PROPOSED POTS WITH FEATURE PLANTING FOR ADDITIONAL GREENING AMENITY
- 7 PROPOSED LONG DINING TABLE TO CATER FOR OUTDOOR DINING IN GROUPS

## PLANTING SCHEDULE

CODE	BOTANICAL NAME (COMMON NAME)	NATIVE	HEIGHT	POT SIZE	QUANTITY
TREE					
LAG IND	LAGERSTROEMIA INDICA (CREPE MYRTLE)		6-8M	100L	1
SHRUBS					
AGA BLU	AGAVE 'BLUE GLOW'		0.5M	300MM	5
CRA MAX	CRASSULA 'MAX COOK'		1M	300MM	4
NAN OBS	NANDINA 'OBSESSION'		1M	300MM	4
PHI LIT	PHILODENDRON 'LITTLE PHIL'		0.5M	300MM	33
RHA IND	RHAPHIOLEPS INDICA (ORIENTAL PEARL)		1M	300MM	38
STR REG	STRELITZIA REGINAE (BIRDS OF PARADISE)		1.5M	300MM	4
GRASSES & GROUNDCOVERS					
ANI FLA	ANIGOZANTHOS FLAVIDUS (KANGAROO PAW)	✓	0.4M	140MM	12
PHO SUN	PHORMIUM 'SUNDOWNER'		0.6M	140MM	4
SEN SER	SENECIO SERPENS (BLUE CHALKSTICKS)		0.3M	140MM	20
VIO HED	VIOLA HEDERACEA (NATIVE VIOLET)	✓	0.2M	140MM	44



## DESIGN IMAGES



LANDSCAPE ARCHITECT

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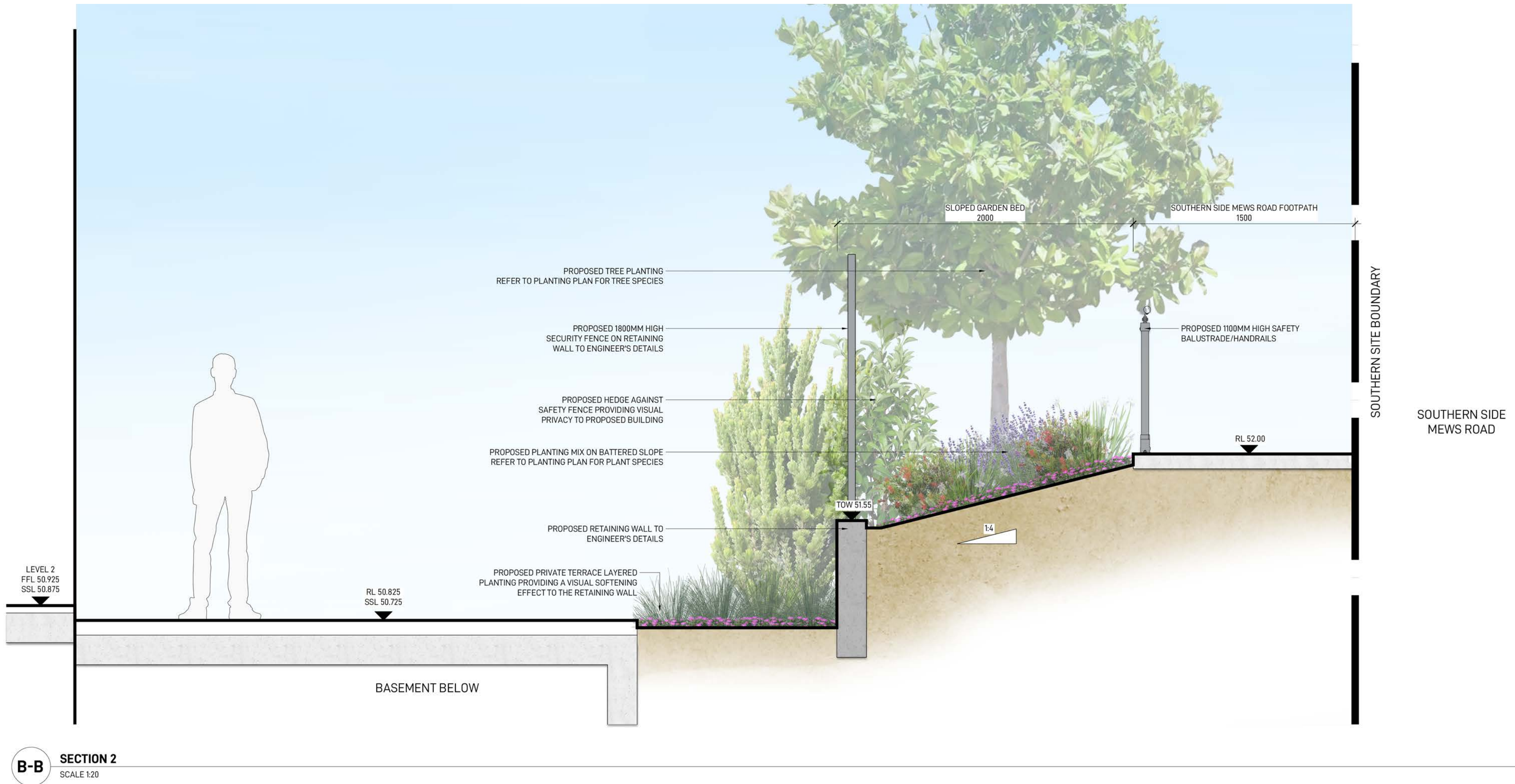
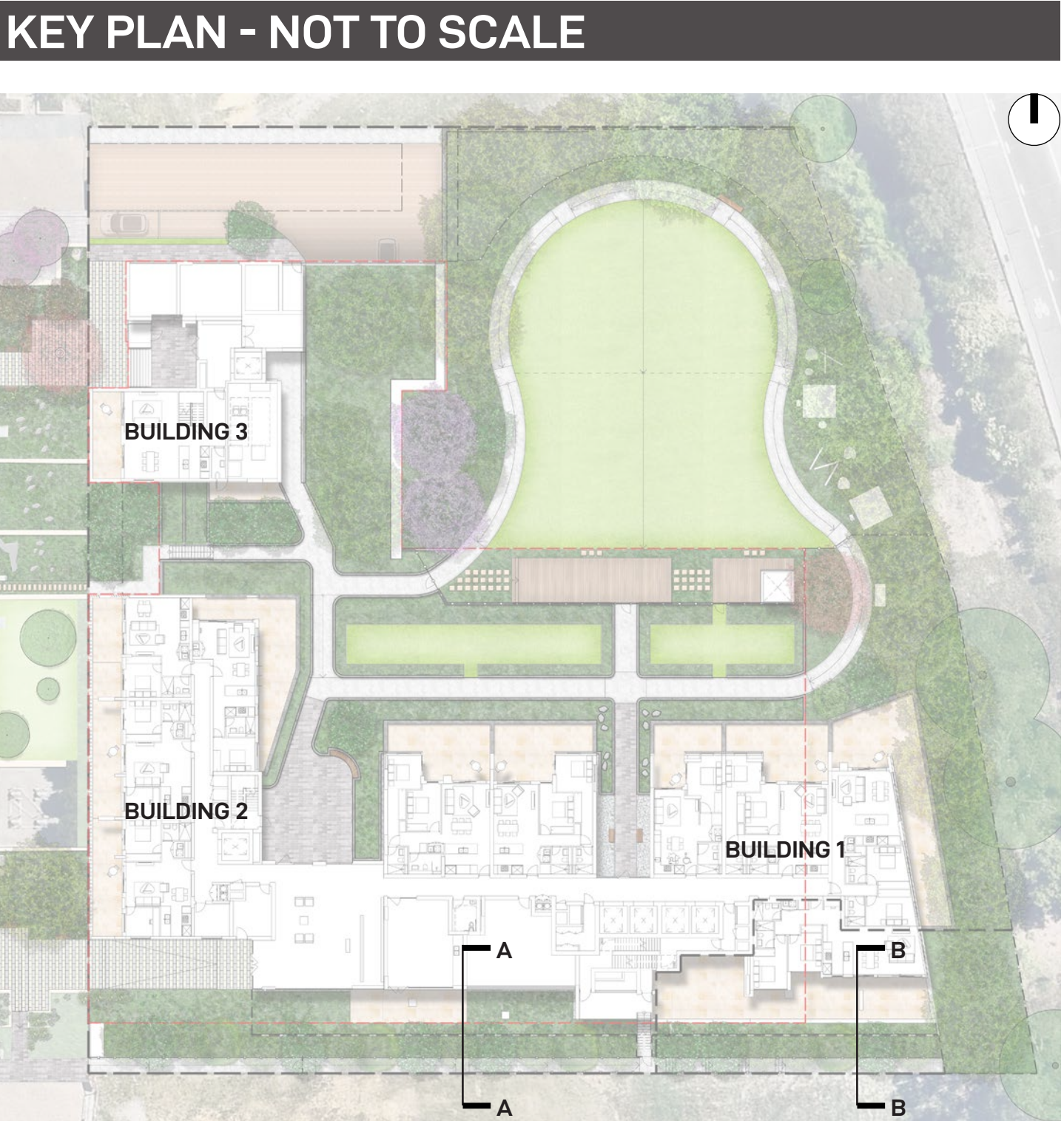
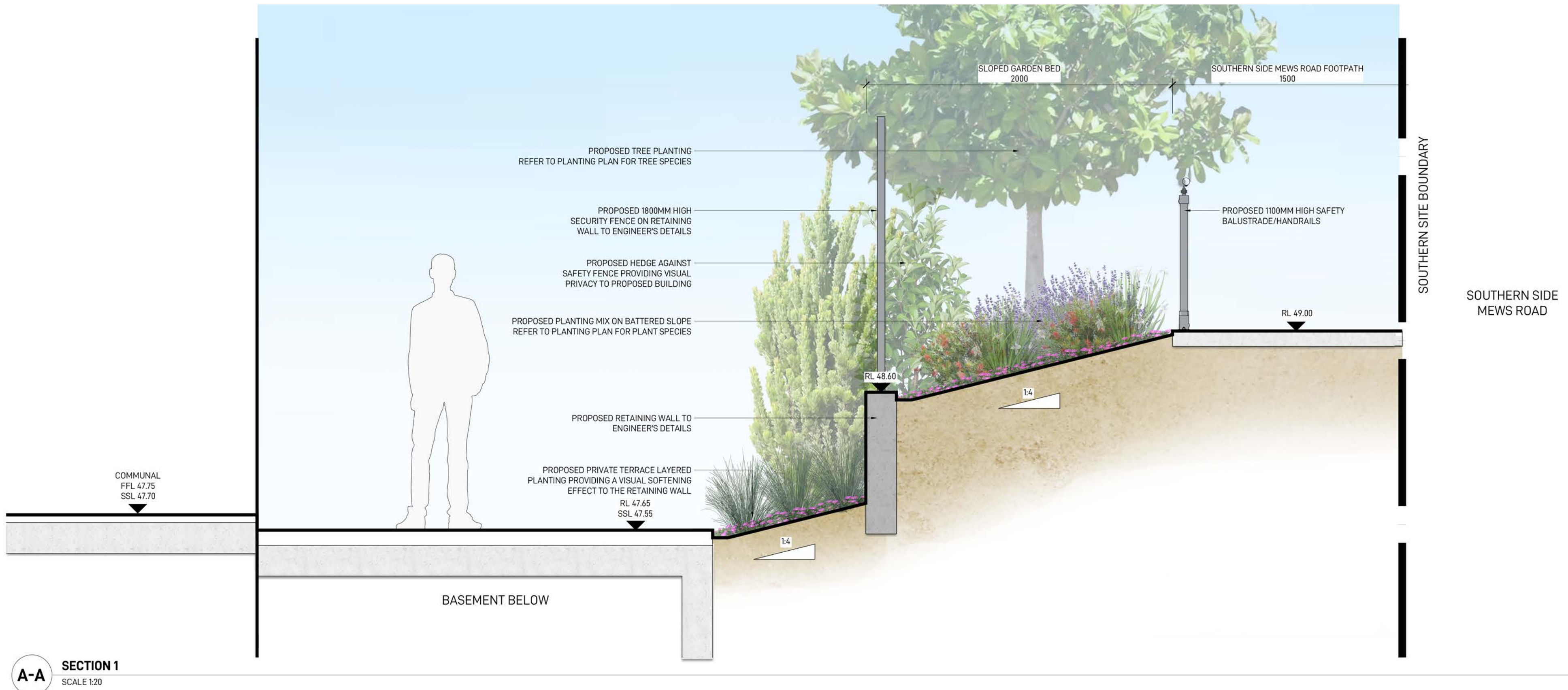
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B	06.04.23	ISSUE FOR COORDINATION	MK	RL
C	19.04.23	ISSUE FOR COORDINATION	MK	RL
D	08.05.23	ISSUE FOR DA	MK	RL



DRAWING TITLE

LEVEL 8,11 & 14  
COURTYARD PLAN & SECTION

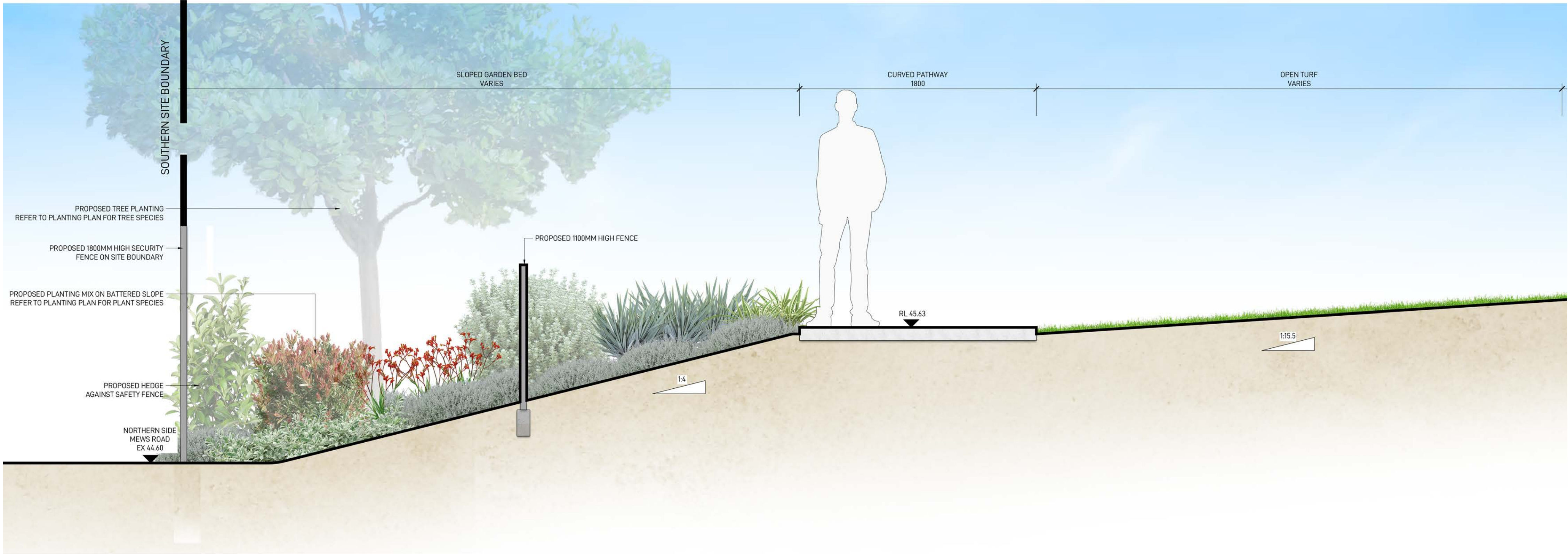
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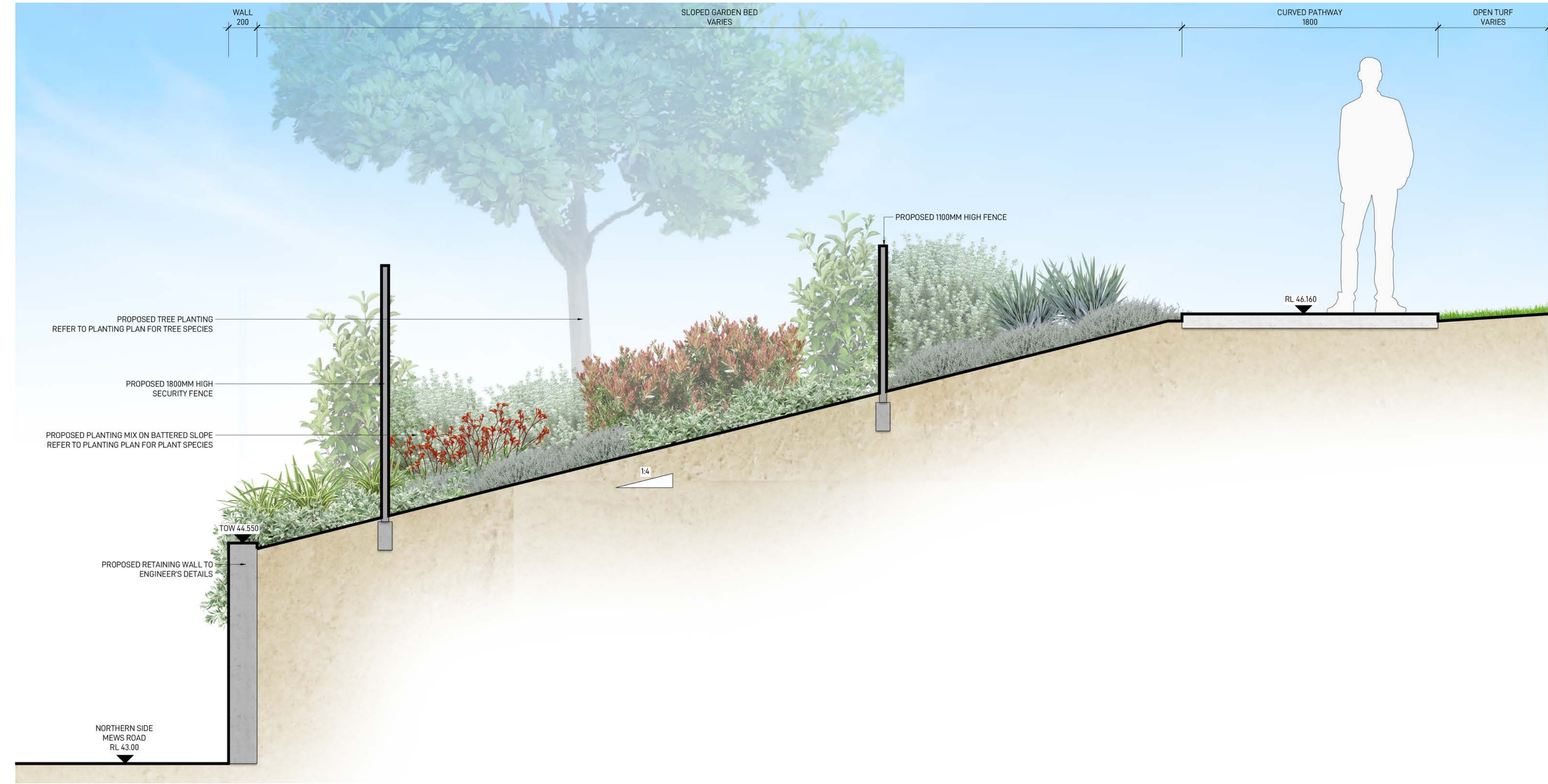


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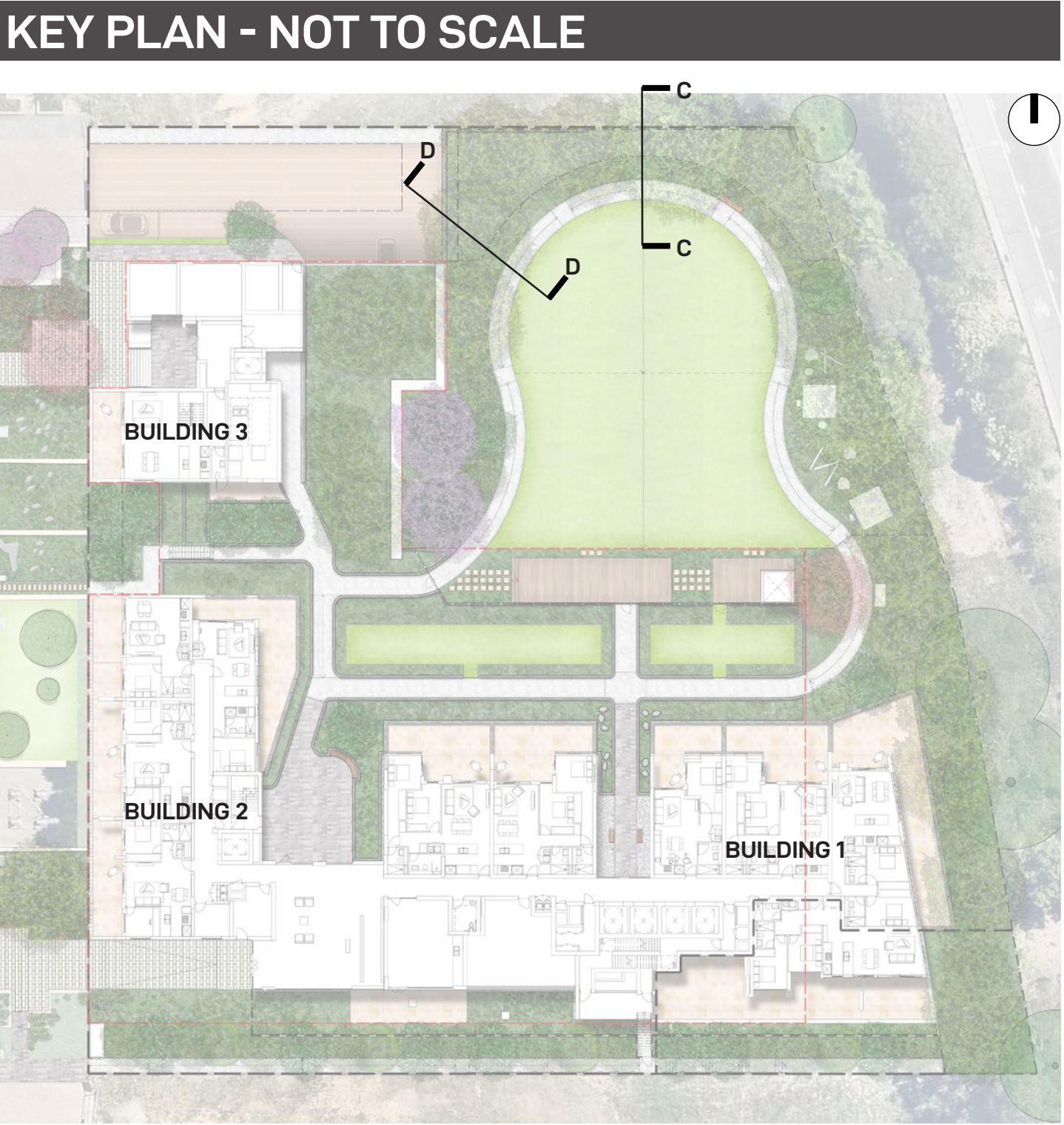




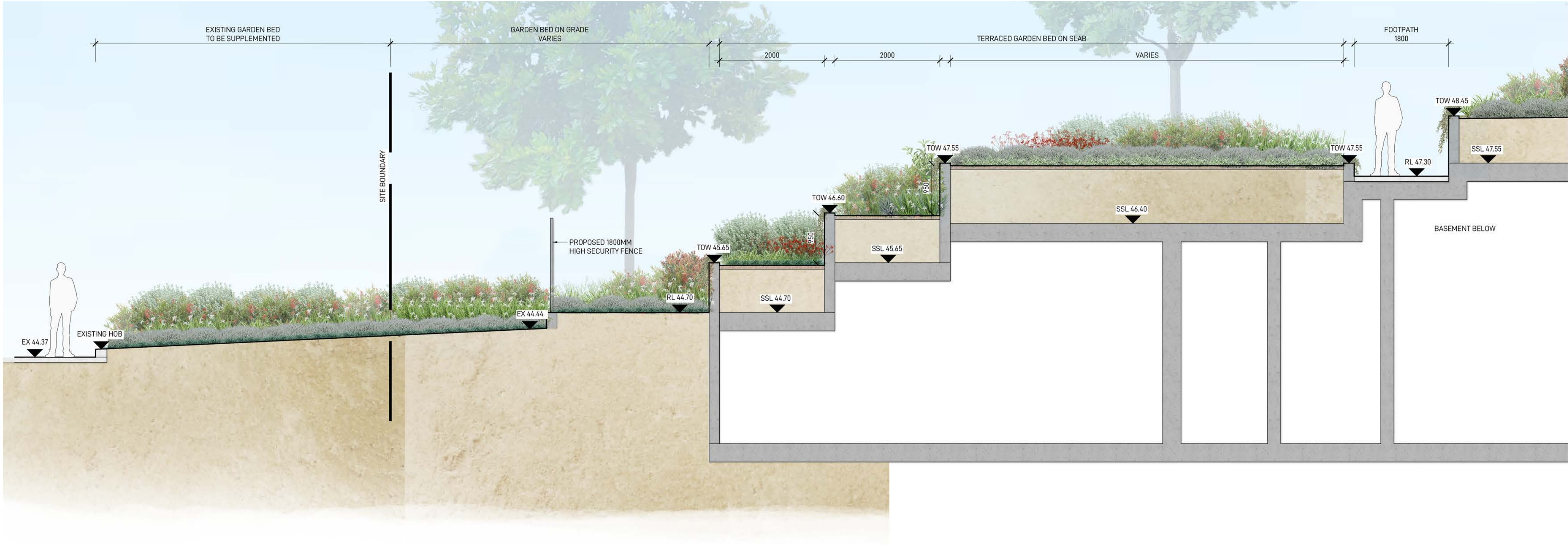
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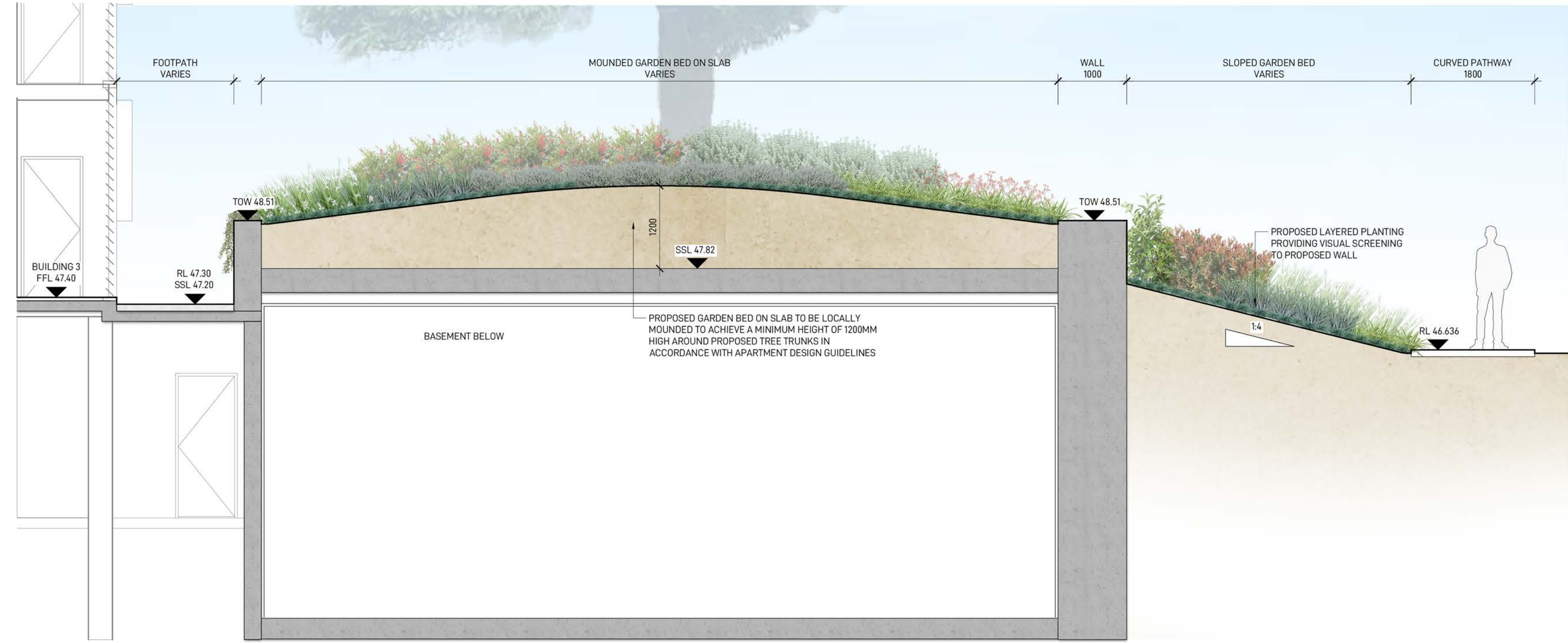
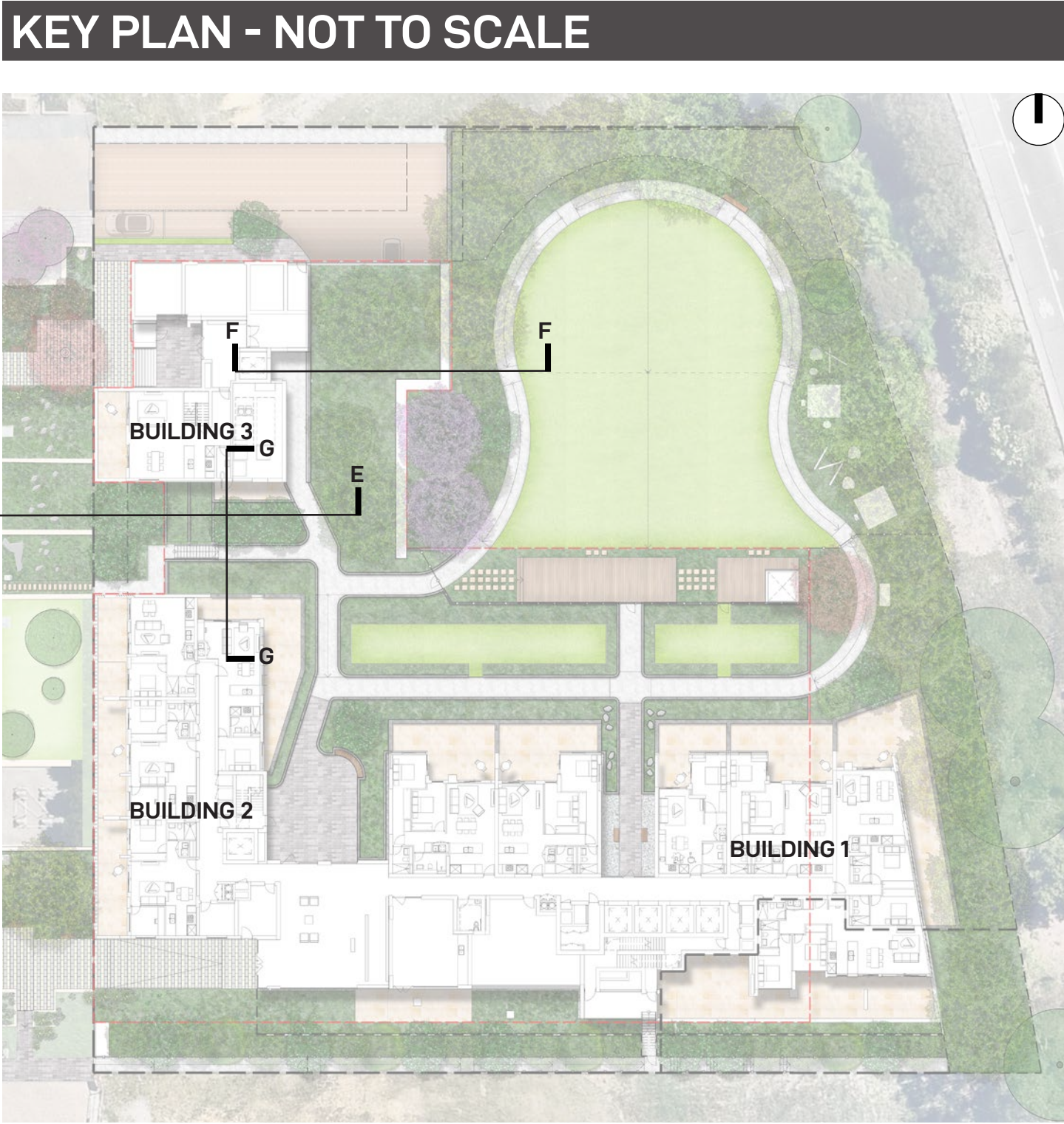
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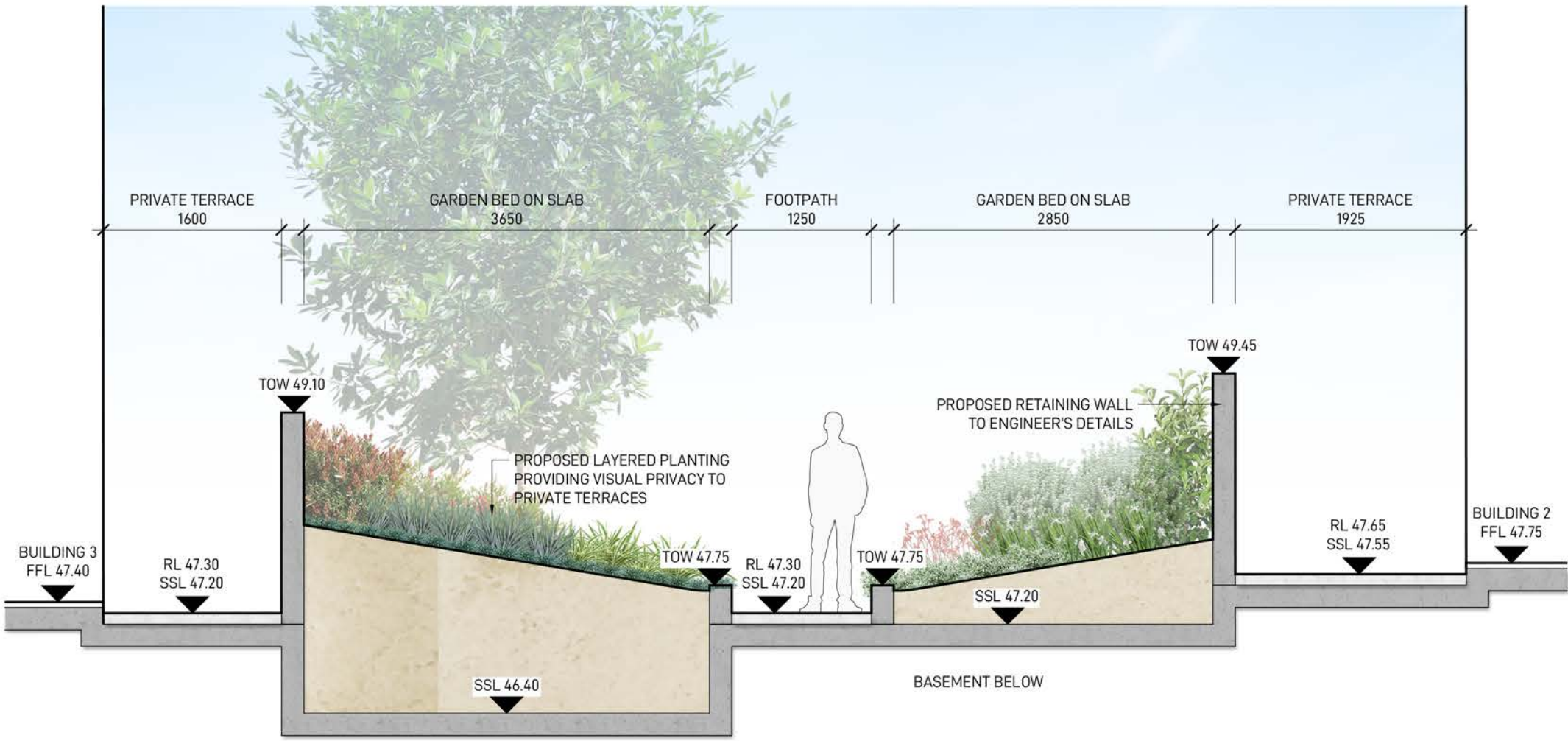




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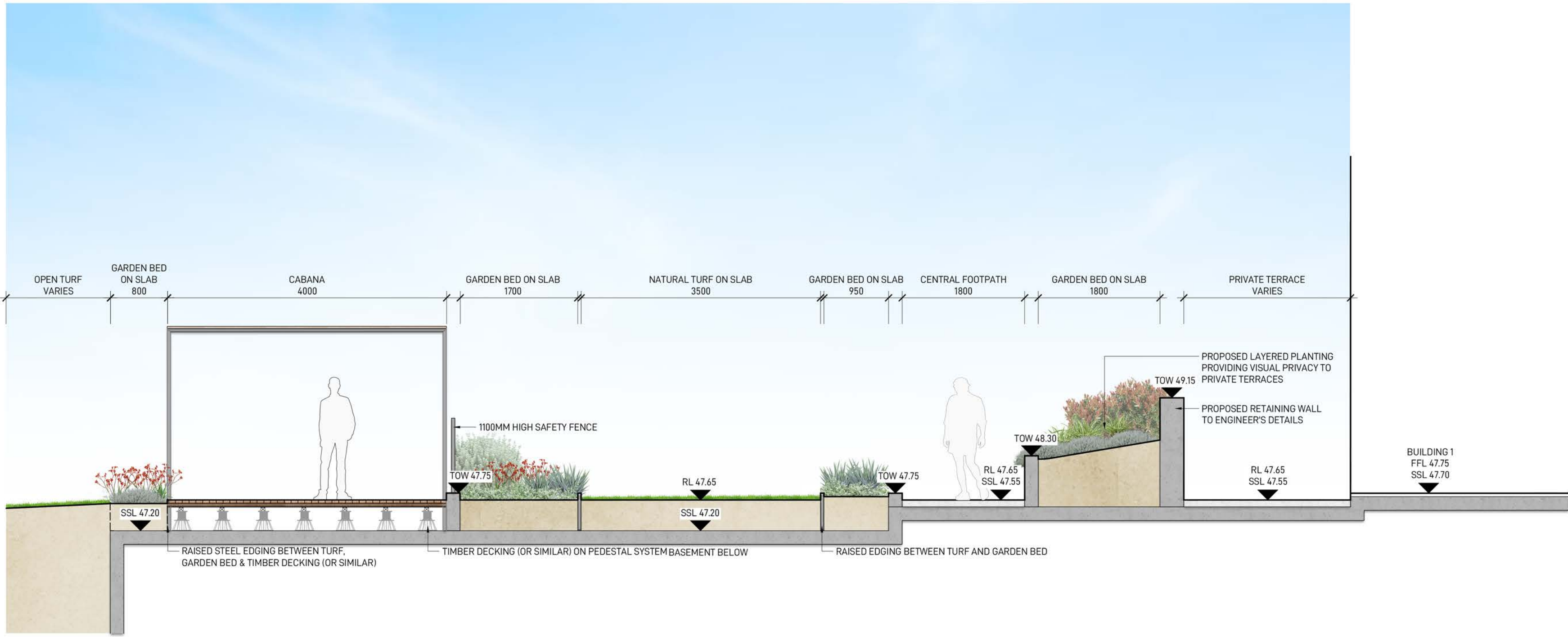
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G-G SECTION 7  
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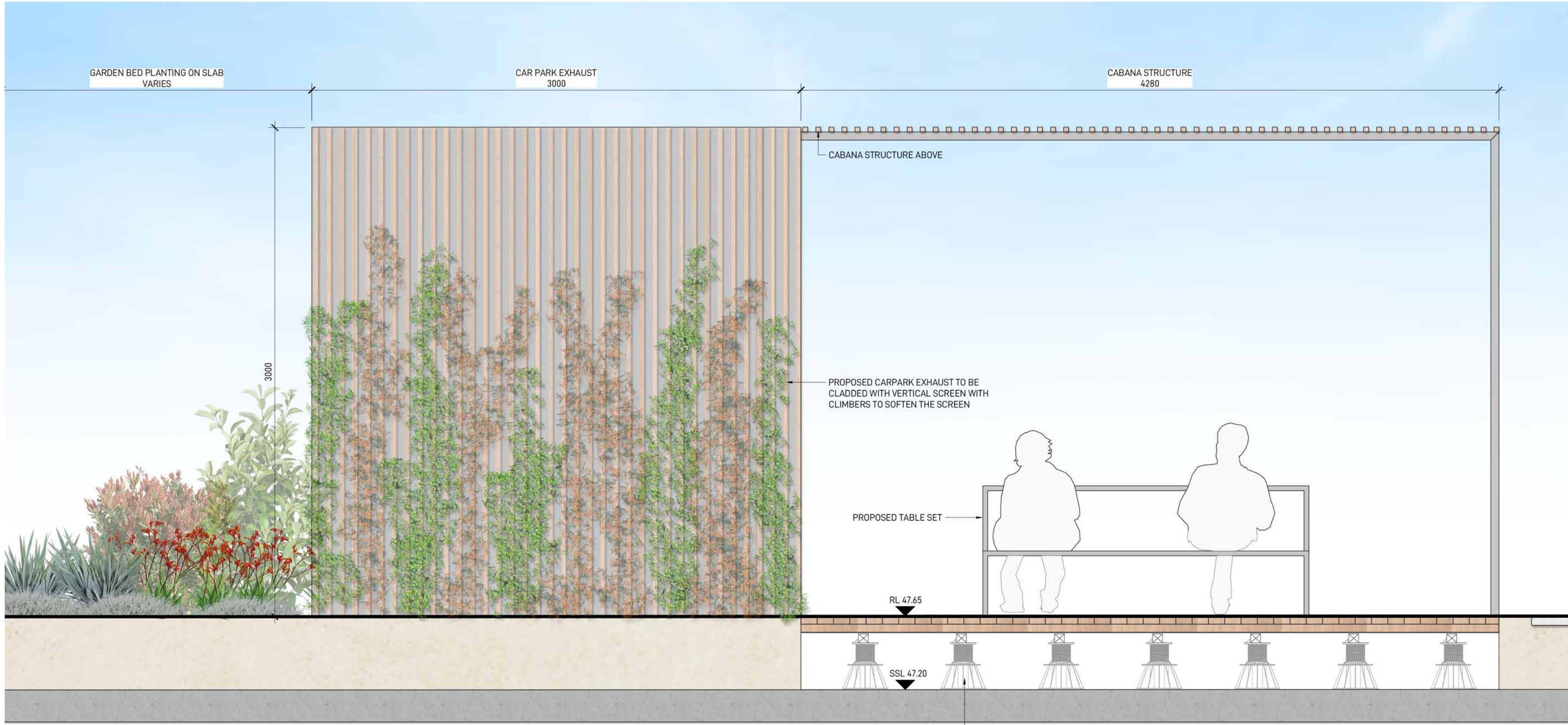
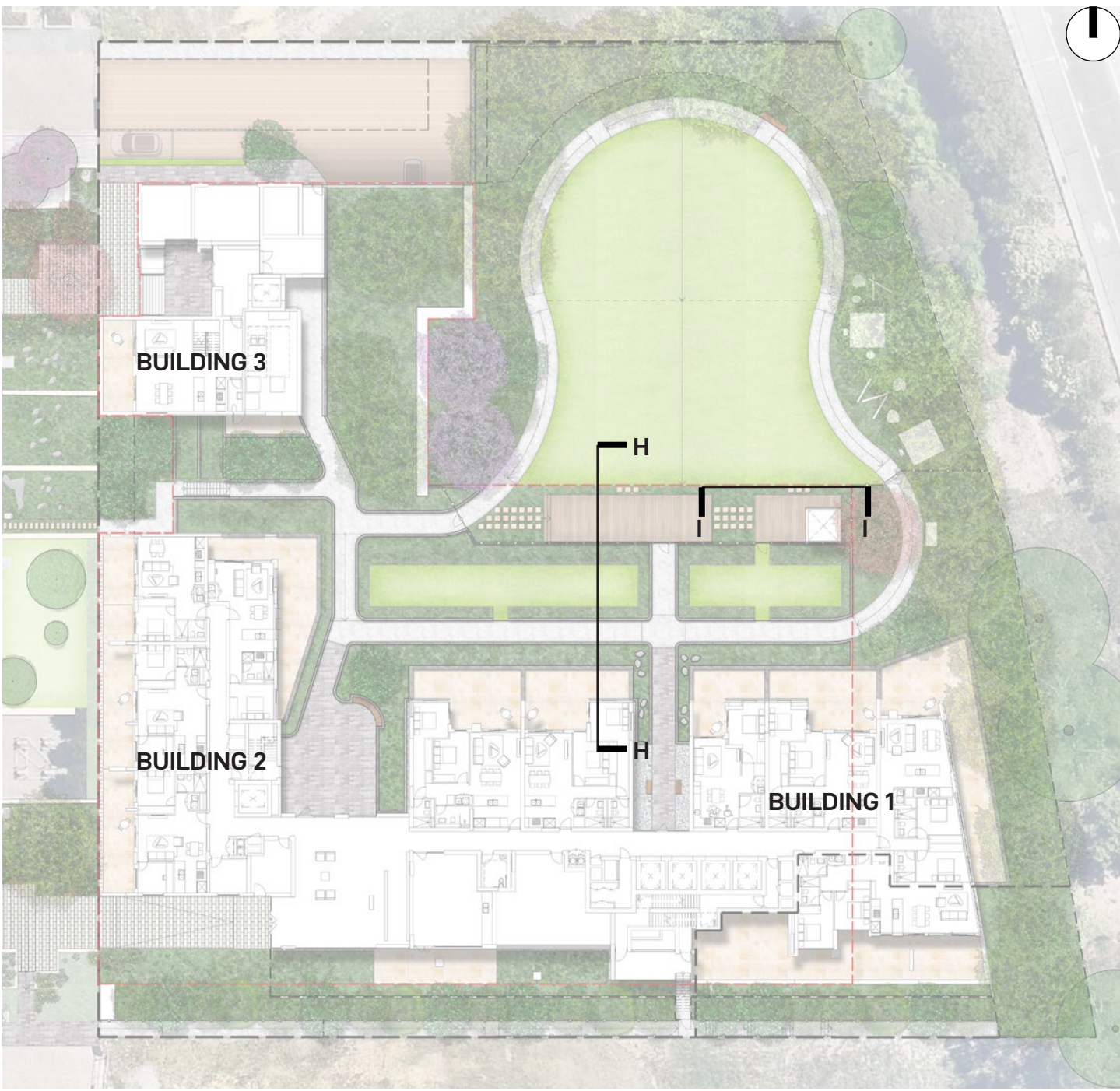
City of Ryde  
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Council Officer: Shannon Butler  
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**SECTION 8**  
SCALE 1:50

**KEY PLAN - NOT TO SCALE**





CARPARK BELOW

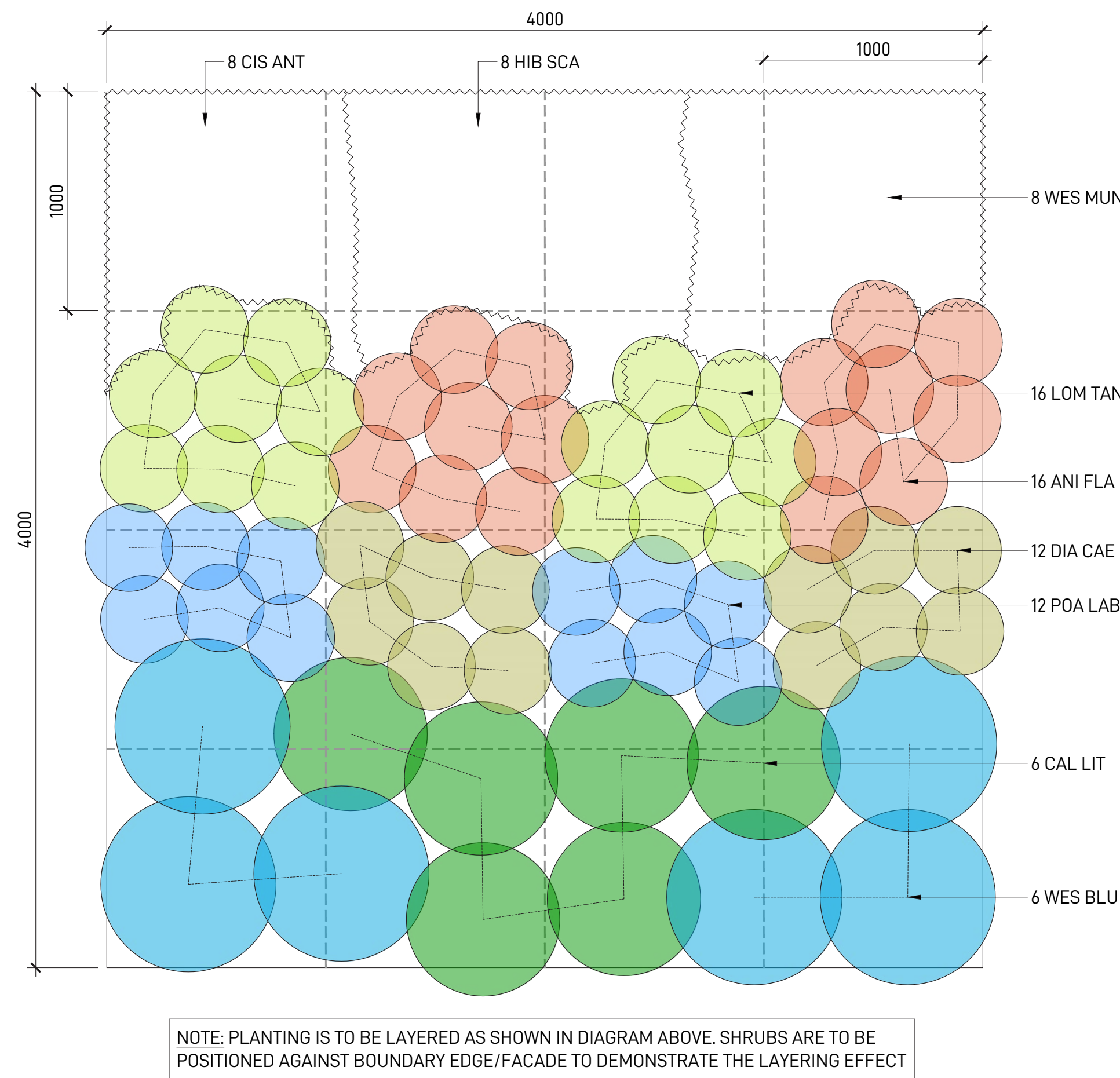
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City of Ryde

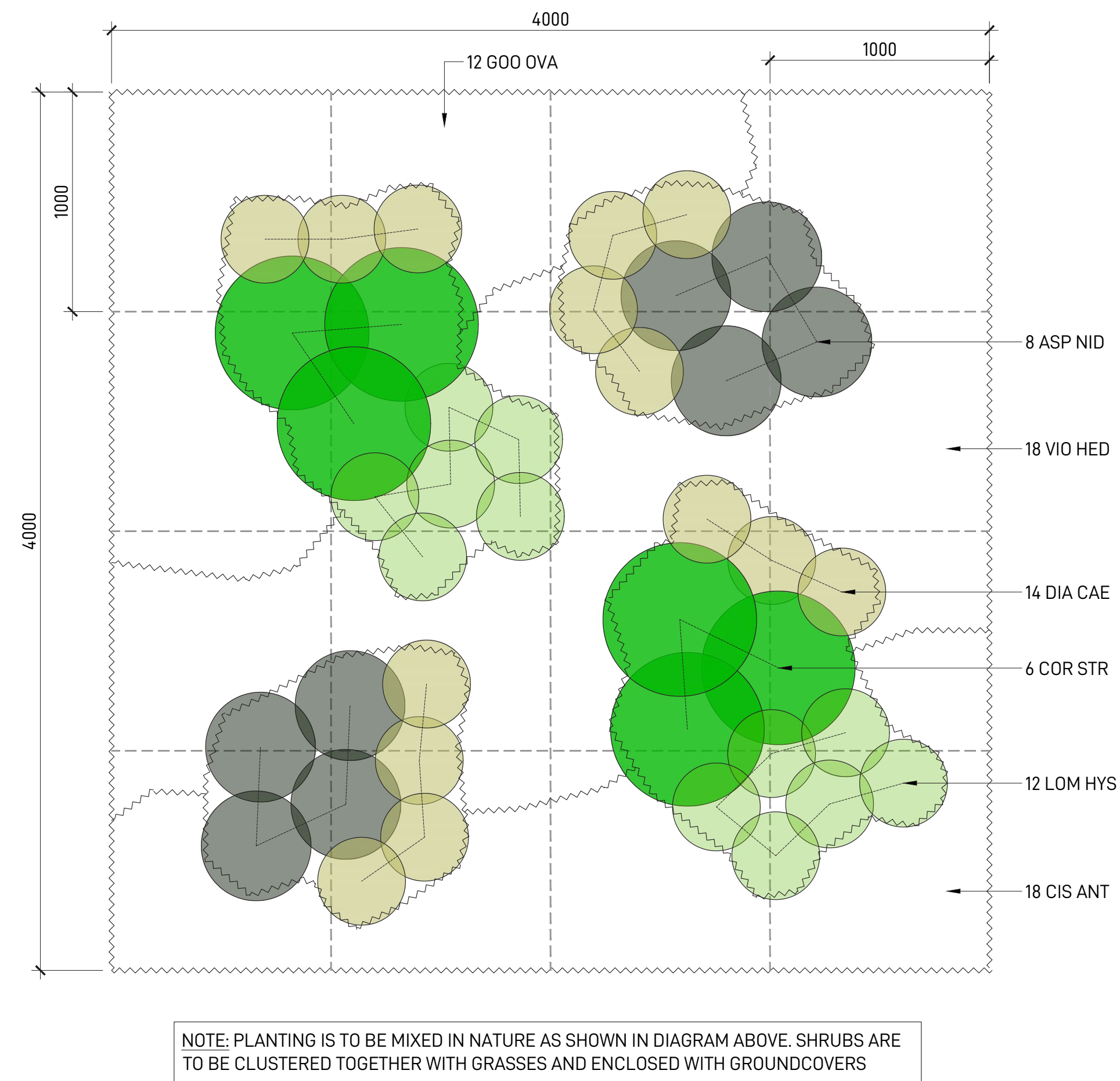
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				B	06.04.23	ISSUE FOR COORDINATION	MK	RL		LACHLAN'S LINE LOT 110				
				C	19.04.23	ISSUE FOR COORDINATION	MK	RL		MACQUARIE PARK, NSW 2113				
				D	08.05.23	ISSUE FOR DA	MK	RL		SCALE				
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LANDSCAPE SECTIONS 4														

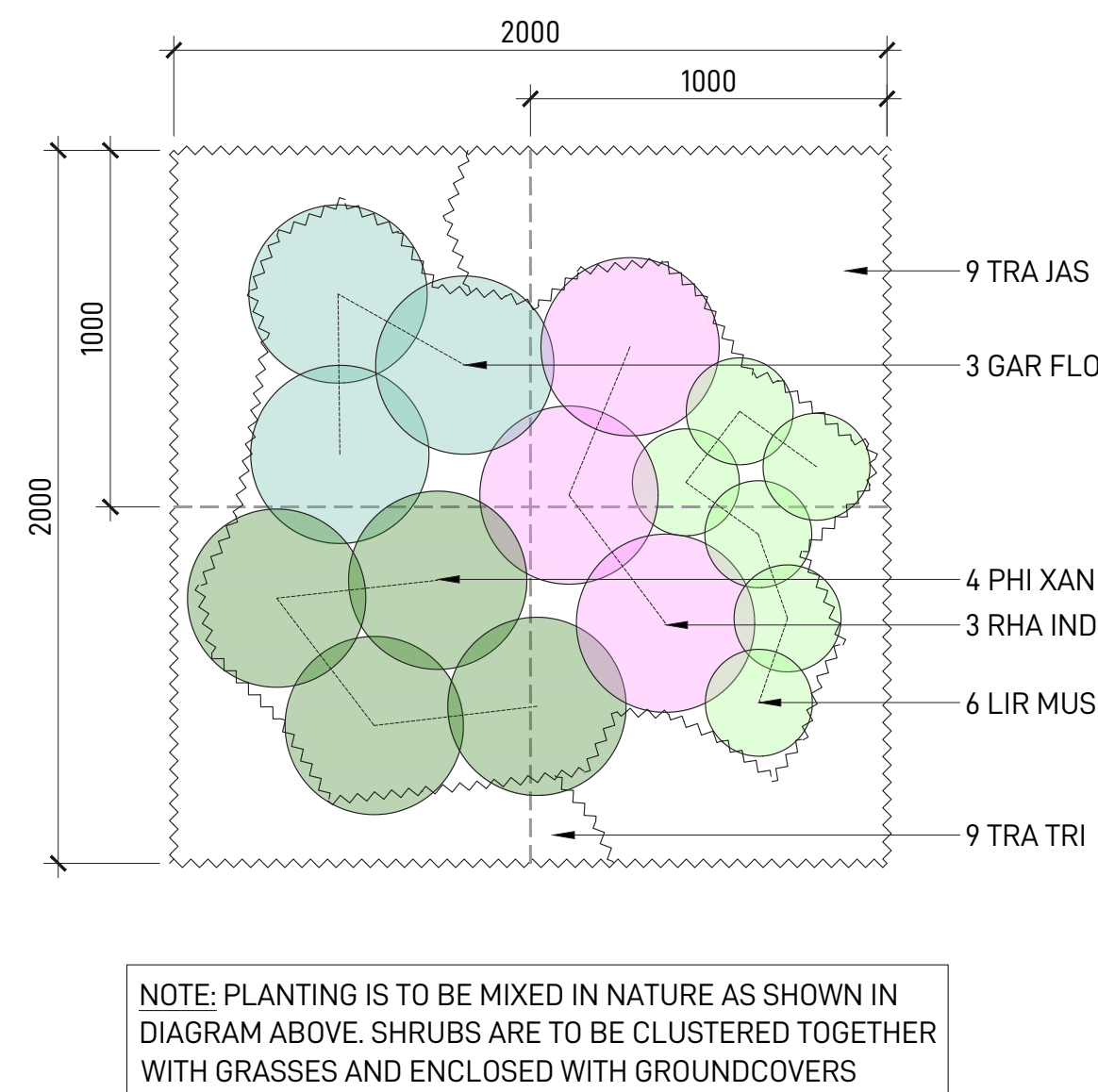




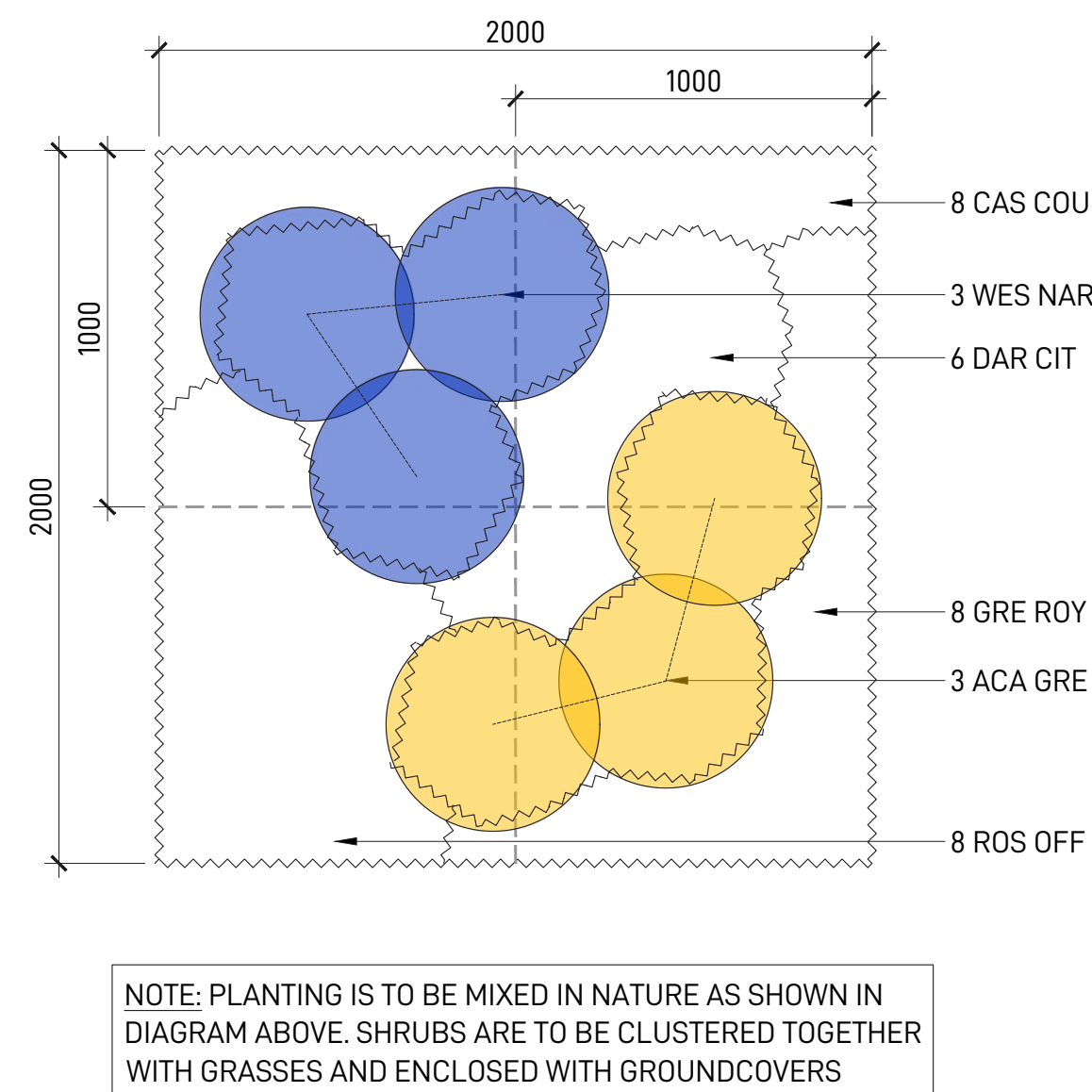
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TYPICAL PLANTING DETAIL - SCALE 1:20



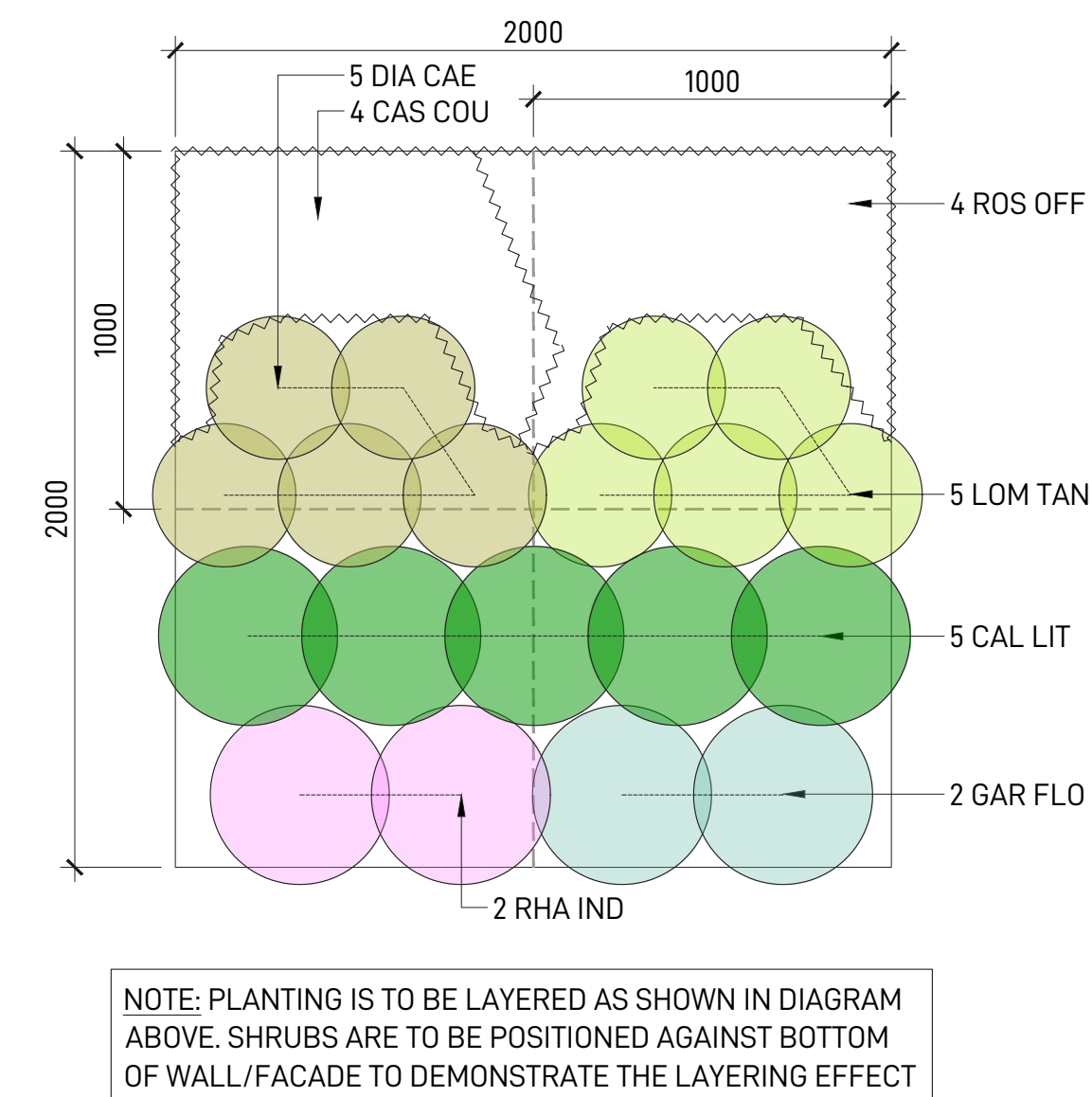
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TYPICAL PLANTING DETAIL - SCALE 1:20



1-3 PLANT MATRIX C - EXOTIC PLANTING MIX  
TYPICAL PLANTING DETAIL - SCALE 1:20



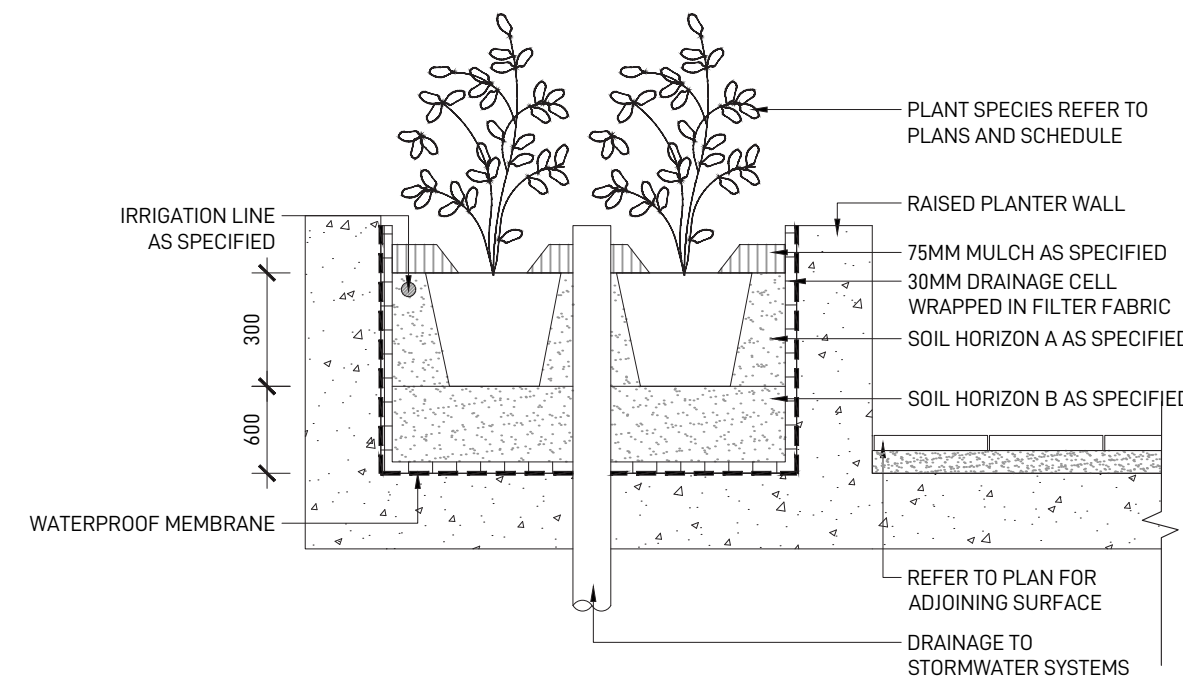
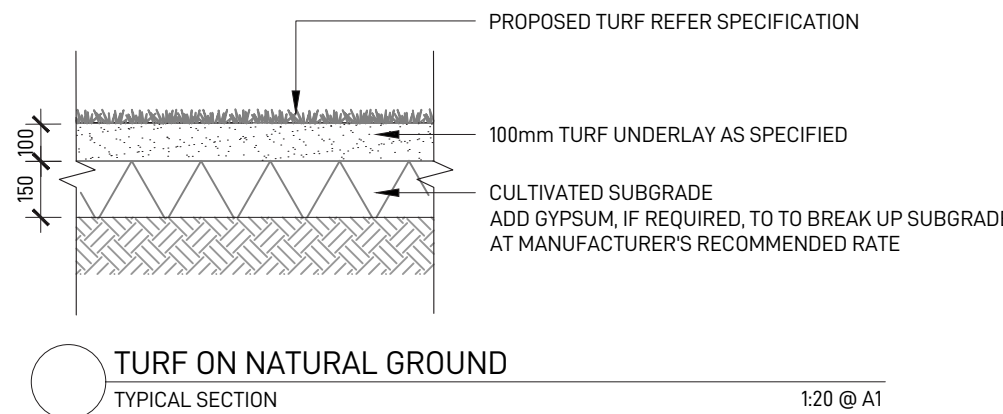
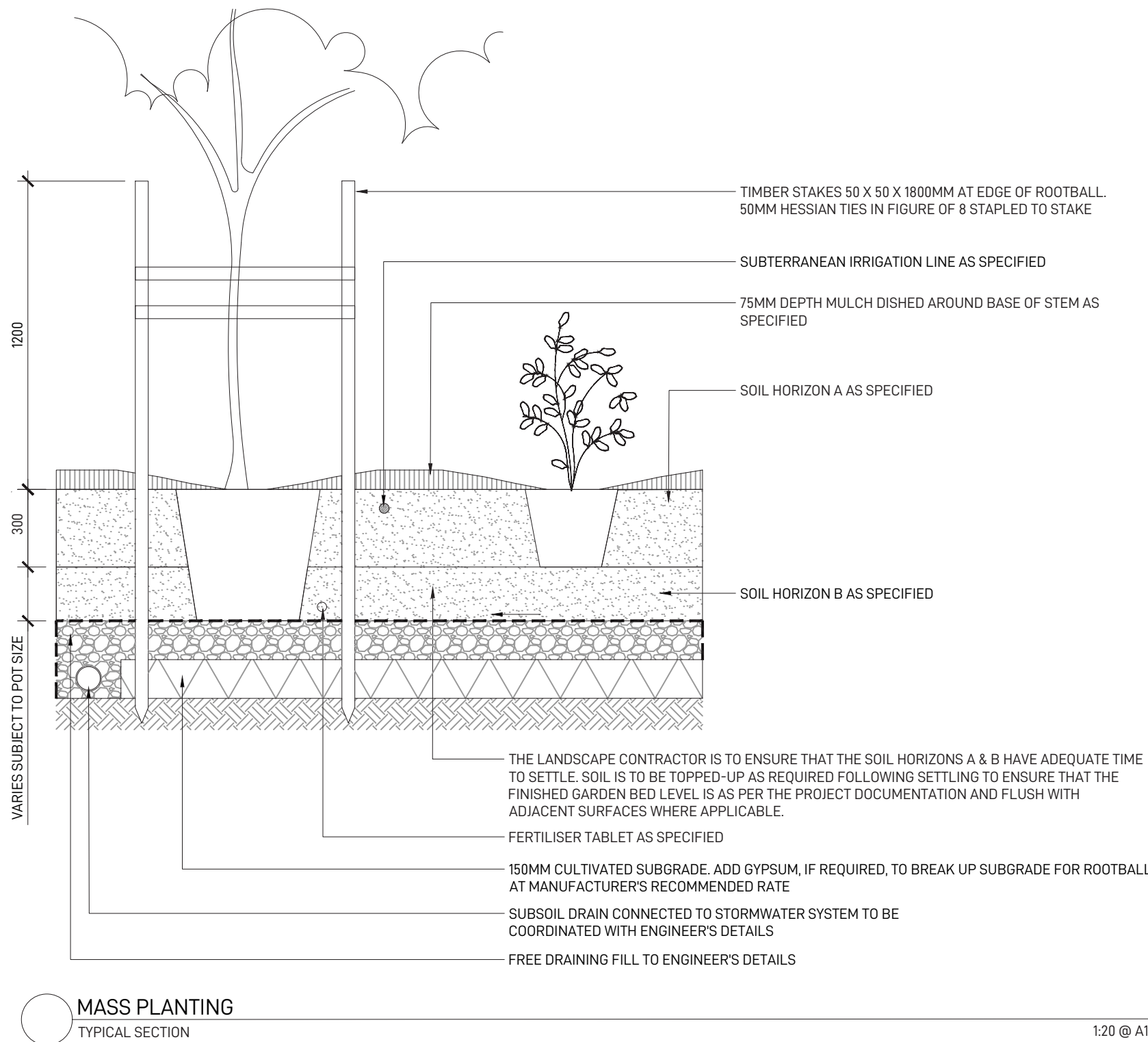
1-4 PLANT MATRIX D - SHALLOW PLANTING MIX  
TYPICAL PLANTING DETAIL - SCALE 1:20



1-5 PLANT MATRIX E - EGRESS ENTRANCE PLANTING MIX  
TYPICAL PLANTING DETAIL - SCALE 1:20



TYPICAL LANDSCAPE DETAILS



OUTLINE LANDSCAPE SPECIFICATION

**GENERAL**  
MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THE LANDSCAPE CONTRACTOR SHALL ATTEND THE SITE ON A WEEKLY BASIS TO MAINTAIN THE LANDSCAPE WORKS FOR THE FULL TERM APPROVED AT CC STAGE OF THE MAINTENANCE PERIOD (COMMENCING FROM PRACTICAL COMPLETION).

**RUBBISH REMOVAL**  
DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE CONTRACTOR SHALL UNDERTAKE RUBBISH REMOVAL FROM THE SITE ON A WEEKLY BASIS TO ENSURE THE SITE REMAINS IN TIDY CONDITION.

**WEED ERADICATION**  
WEED GROWTH THAT MAY OCCUR IN, PLANTED OR MULCHED AREAS IS TO BE REMOVED USING ENVIRONMENTALLY ACCEPTABLE METHODS I.E. NON-RESIDUAL GLYPHOSATE HERBICIDE, (E.G. 'ROUNDUP', APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS) OR HAND WEEDING.

**TREE REPLACEMENT**  
TREES SHALL SHOW SIGNS OF HEALTHY VIGOROUS GROWTH AND BE FREE FROM DISEASE AND NOT EXHIBIT SIGNS OF STRESS PRIOR TO HANDOVER TO THE CLIENT. ANY TREES OR PLANT THAT DIE OR FAIL TO THRIVE, OR ARE DAMAGED OR STOLEN WILL BE REPLACED. REPLACEMENT MATERIAL SHALL HAVE THE MAINTENANCE PERIOD EXTENDED IN ACCORDANCE WITH THE LANDSCAPE CONTRACT CONDITIONS. TREES AND PLANT MATERIALS SHALL BE EQUAL TO THE MINIMUM REQUIREMENTS OF SPECIES SPECIFIED AND APPROVED MATERIAL DELIVERED TO SITE. SHOULD THE CONDITION DECLINE FROM THE APPROVED SAMPLE THE SUPERINTENDENT RESERVES THE RIGHT TO REJECT THE TREE / PLANTS. FREQUENCY: AS REQUIRED.

**PRUNING**  
SELECTIVE PRUNING MAY BE REQUIRED DURING THE ESTABLISHMENT PERIOD TO PROMOTE A BALANCED CANOPY STRUCTURE. THESE ACTIVITIES SHALL BE CARRIED OUT TO THE BEST HORTICULTURAL AND INDUSTRY PRACTICE. ALL PRUNED MATERIAL IS TO BE REMOVED FROM SITE.

**IRRIGATION**  
A LOW VOLUME DRIP IRRIGATION SYSTEM MAY BE INSTALLED AT THE DISCRETION OF THE DEVELOPER. POSITION OF CONTROL BOX, SOLENOIDS AND IRRIGATION CONDUITS TO BE DESIGNED BY QUALIFIED IRRIGATION ENGINEER AT CC STAGE. CONTROLLERS SHALL BE MOUNTED ON A STABLE WALL, POWER RACK, OR FORMED AND CONSTRUCTED CONCRETE BASED PEDESTAL MOUNT. PERFORMANCE SPECIFICATION TO BE PROVIDED BY LANDSCAPE ARCHITECT, NOMINALLY 25MM DELIVERED TO PLANT AREAS EACH WEEK DURING ESTABLISHMENT (DEPENDENT ON WEATHER CONDITIONS). AFTER ESTABLISHMENT, IRRIGATION RATES CAN BE DECREASED IN CERTAIN AREAS OF THE LANDSCAPE DEPENDING ON THE SPECIES.

**WATERING**  
IMPLEMENT AN APPROPRIATE HAND WATERING REGIME TO MAINTAIN PLANT HEALTH AND VIGOUR. THE PROGRAM SHALL REFLECT SEASONAL CONDITIONS AND PLANT SPECIES. FREQUENCY: WEEKLY OR AS REQUIRED.

**DRAINAGE**  
ALL LANDSCAPE AREAS ARE TO HAVE POSITIVE DRAINAGE TO SW SYSTEMS. IF AREAS OF POOR DRAINAGE ARE IDENTIFIED ON SITE THEN THIS SHOULD BE BROUGHT TO THE SITE SUPERINTENDENTS ATTENTION. INSTALL AGG LINES IF REQUIRED.

**SOILS**  
**HORIZON A - GARDEN BEDS ON NATURAL GROUND**  
A SANDY LOAM TO CLAY LOAM TOPSOIL MIX DESIGNED FOR GENERAL PURPOSE, ON-GRADE LANDSCAPE GARDEN BED PLANTING OF GRASSES, WOODY AND HERBACEOUS ANNUALS AND PERENNIALS THAT HAVE HIGH NUTRIENT REQUIREMENT FOR SUSTAINED OPTIMUM GROWTH, AND ARE NOT SUBJECT TO COMPACTION BY PEDESTRIAN AND OTHER FOOT TRAFFIC. HEAVIER TEXTURED SOILS IN THIS SPECIFICATION MAY REQUIRE ENGINEERED SOLUTIONS WHERE EXCESSIVE WETNESS IS ANTICIPATED. NOTE THAT ORGANIC SOIL VARIANT SHOULD NOT BE CHOSEN FOR LOW PLANTINGS AND SHOULD NOT BE USED BELOW 300MM. PLANTING METHODS INCLUDE DIRECT SEEDING, TUBE AND POTTED SPECIMENS UP TO 45L.

**HORIZON B - GARDEN BEDS ON SLAB**  
THIS SPECIFICATION DESCRIBES THE FORMULATION OF AN OPEN GRANULAR WELL DRAINED GROWING MEDIA WITH A SATURATED DENSITY OF LESS THAN 2400 KG/M3 (2.4KG/L) FOR USE IN ON-SLAB APPLICATIONS, INCLUDING GREEN ROOFS WITH AN EXPECTATION OF LONGEVITY. IT IS A TOPSOIL FORMULATION TO BE USED IN THE SURFACE 300MM OF ALL ON-SLAB INSTALLATIONS INCLUDING PLANTER BOXES, CONTAINERS AND GARDEN BEDS. IN ORDER TO MAINTAIN STRUCTURE AND POROSITY OVER EXTENDED PERIODS, AND TO AVOID SLUMPING AND VOLUME LOSS OVER TIME, THE FORMULATION MUST EMPLOY LOW DENSITY MINERAL COMPONENTS SUCH AS ASH, PERLITE, SCORIA, PUMICE AND DIATOMACEOUS EARTH, OR ARTIFICIAL COMPONENTS SUCH AS UREA FORMALDEHYDE AND STYROFOAM. PHYSICALLY THE MEDIA PROPERTIES OF A POTTING MEDIA AND IS ASSESSED USING THE METHODOLOGY OF AS 3743.

**CULTIVATION**  
ALL GARDEN BEDS TO BE CULTIVATED TO A MIN DEPTH OF 150MM AND TREE PITS TO THE DEPTH OF THE ROOT BALL ONLY. IF ADDITIVES SUCH AS GYPSUM ARE REQUIRED CONDUCT THIS AFTER CULTIVATION INTO THE TOP 100MM OF SOIL.

**PLANTING**  
ALL PLANTING TO BE GROWN TO NATSPEC SPECIFICATIONS. CONTRACTOR TO PREPARE SITE FOR PLANTING INCLUDING WATERING, HANDLING, SETTING OUT AND EXCAVATION. EXCAVATE A HOLE FOR EACH PLANT LARGE ENOUGH TO PROVIDE NOT LESS THAN 100MM ALL AROUND THE ROOT SYSTEM OF THE PLANT. FOR TREE PLANTING EACH HOLE SHALL BE DUG WITH A SHOVEL, BACKHOE OR SIMILAR TOOL. INDIVIDUAL HOLES SHALL BE EXCAVATED TO ALLOW ROOT SYSTEM TO SIT FLAT ON THE EXCAVATED HOLE AND 400MM TO EACH SIDE OF THE ROOT SYSTEM. BACKFILL PLANTING HOLES WITH EXISTING SITE SOIL AND TOPSOIL AS DESCRIBED IN SECTION 'SOIL'. PLANT / TREE SHALL BE SET PLUMB, WITH THE ROOT BALL SET SLIGHTLY BELOW THE FINAL SOIL LEVEL.

**MULCHING**  
THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL 10MM PINE BARK MULCH TO ALL GARDEN BEDS SHOWN ON THE LANDSCAPE PLANS, TO A MINIMUM DEPTH OF 75MM. ALL MULCH IS TO BE FREE OF DELETERIOUS MATTER SUCH AS SOIL, WEEDS AND STICKS. MULCHED SURFACES ARE TO BE KEPT CLEAN AND TIDY AND FREE OF ANY DELETERIOUS MATERIAL AND FOREIGN MATTER. REINSTATE DEPTHS TO A UNIFORM LEVEL OF 75MM WITH MULCH AS SPECIFIED. MULCH TO BE FREE OF ANY WOOD MATERIAL IMPREGNATED WITH CCA OR SIMILAR TOXIC TREATMENT. MAINTAIN WATERING RINGS AROUND TREES. TOP UP MULCH LEVELS PRIOR TO HANDOVER TO CLIENT.

**TURFING**  
THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL SAPHIRE BUFFALO TURF IN STRETCHER PATTERN TO ALL TURF AREAS SHOWN ON THE LANDSCAPE PLANS AND IS TO FINISH FLUSH WITH ADJACENT SURFACES. TURF TO BE A MIN THICKNESS OF 50MM WITH A 40MM MOWING HEIGHT. CONTRACTOR TO ALLOW FOR FERTILISING, LAYING, TAMPING, WATERING, TOP DRESSING, MAINTENANCE AND MOWING. THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL TURF UNDERLAY UNDER ALL TURF AREAS, CONSISTING OF 100MM THICK LAYER OF SCREENED TOP SOIL.



**PEST AND DISEASE CONTROL**  
THE LANDSCAPE CONTRACTOR SHALL SPRAY FOR PESTS AND DISEASE INFESTATIONS WHEN THE PEST AND FUNGAL ATTACK HAS BEEN POSITIVELY IDENTIFIED AND WHEN THEIR POPULATIONS HAVE INCREASED TO A POINT THAT WILL BECOME DETRIMENTAL TO PLANT GROWTH. APPLY ALL PESTICIDES TO MANUFACTURER'S DIRECTIONS. FREQUENCY: WEEKLY INSPECTION

**FERTILISING**  
PELLETS SHALL BE IN THE FORM INTENDED TO UNIFORMLY RELEASE PLANT FOOD ELEMENTS FOR A PERIOD OF APPROXIMATELY NINE MONTHS EQUAL TO SHIRLEYS KOKEI PELLETS, ANALYSIS 6.31&2.9 OR SIMILAR APPROVED. KOKEI PELLETS SHALL BE PLACED AT THE TIME OF PLANTING TO THE BASE OF THE PLANT, 50MM MINIMUM FROM THE ROOT BALL AT A RATE OF TWO PELLETS PER 300MM OF TOP GROWTH TO A MAXIMUM OF 8 PELLETS PER TREE. GENERALLY CHECK FOR SIGNS OF NUTRIENT DEFICIENCIES (YELLOWING OF LEAVES, FAILURE TO THRIVE), AND ADAPT FERTILISER REGIME TO SUIT. FERTILISER SHOULD BE APPLIED AT THE BEGINNING AND THE END OF THE (SUMMER) GROWING SEASON.



Approved Plans  
LDA No. LDA2022/0390  
Date: 28 July 2023  
Council Officer: Shannon Butler  
Subject to Conditions of Consent

DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

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<div>GROUND INK</div> <div>SUITE 201, 75 ARCHER ST, CHATSWOOD NSW 2067 PH. (02) 9411 3279 WWW.GROUNDINK.COM.AU ABN 55 163 025 456 ACN 163 025 456 © GROUND INK PTY LTD THIS DESIGN AND DRAWING IS PROTECTED BY COPYRIGHT.</div>	<div>Landmark</div> <div>LEVEL 29/2 CHIFLEY SQUARE SYDNEY NSW 2000 PH. (02) 9311 8679   WWW.LANDMARKGR.COM</div>	<div>AJ+C ALLEN JACK+COTTIER</div> <div>79 MYRTLE STREET, CHIPPENDALE NSW 2008 PH. (02) 9311 8260   WWW.ARCHITECTSAJC.COM</div>	VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS. ALL WORK IS TO CONFORM TO RELEVANT AUSTRALIAN STANDARDS AND OTHER CODES AS APPLICABLE. LOCATION OF UNDERGROUND SERVICES TO BE PROVEN ON SITE AND PROTECTED IF NECESSARY PRIOR TO CONSTRUCTION. DIAL BEFORE YOU DIG. PLANT SPECIES AND QUANTITIES SHOWN ARE INDICATIVE ONLY AND ARE SUBJECT TO CHANGE BASED ON FUTURE PROJECT REQUIREMENTS.	ISSUE	DATE	DESCRIPTION	DRAWN	CHECKED	LANDSCAPE DETAILS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
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