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# **STATEMENT OF ENVIRONMENTAL EFFECTS**

Proposal of Dual-occupancy Development

**Address: 8 Jayne Street, West Ryde NSW 2114.**

**Prepared by WEN Architects**

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## **1. Summary of Site**

The subject site is located at 8 Jayne Street, West Ryde NSW being Lot 15 in DP28606 with an overall site area of 938.0 m<sup>2</sup>.

This application seeks approval for:

- Construction of dual-occupancy development.
- Associated construction of landscaping and stormwater works.
- Construction of front fence and side fence as documented.

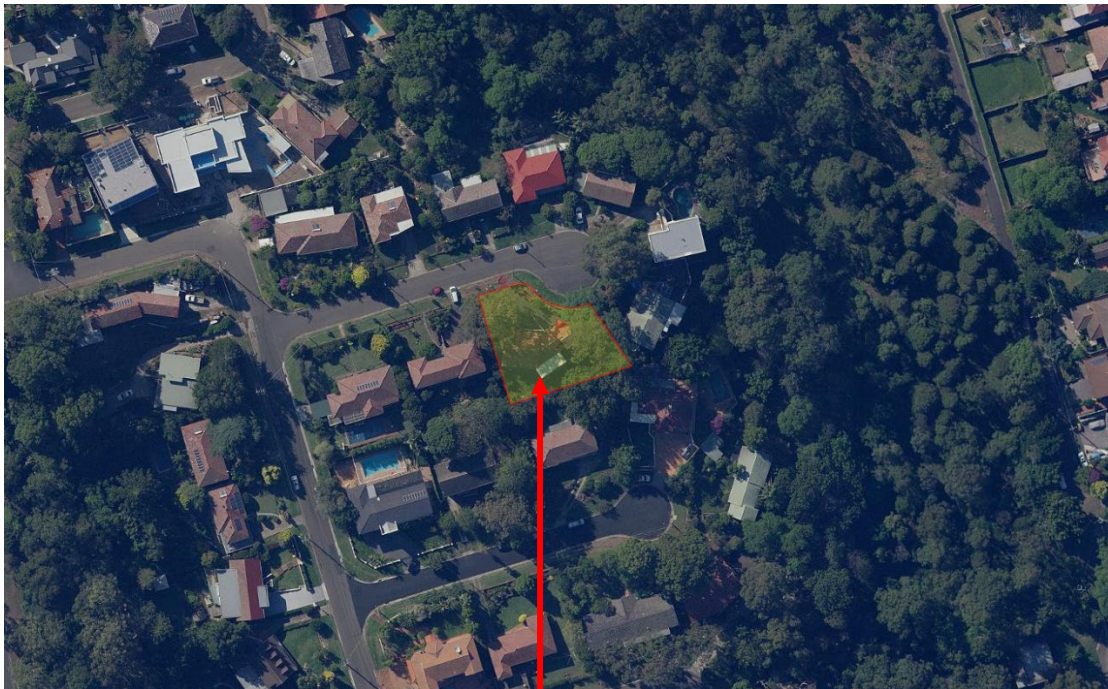


Figure 1. Site location (Source: NSW SIX Map)

8 Jayne Street, West Ryde 2114

The site is located along 8 Jayne Street with the site width of 46.1m at the proposed building line. The irregular-shaped site currently contains one two-storey house with tiled pitch roof, and along the west and east boundaries several trees. The photo attached below shows the street view of this site.

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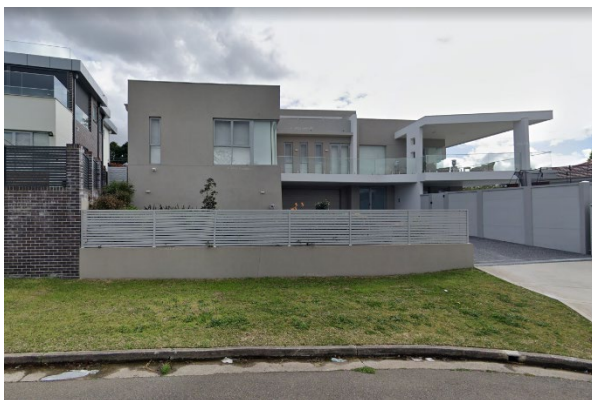
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Figure 2 Street View of the site on Station Street (source: google map)

The overall street presentation of adjacent buildings is in the form of single-storey and double-storey houses. Among various architectural styles present in this neighborhood, the Modernism aesthetics are quite popular with pure geometric façade elements and flat roof. The proposed dual-occupancy development with its facade features can fit in well with the neighborhood's diverse street frontage.



12 Winbourne St, West Ryde 2114



10 Jayne Street, West Ryde 2114





3 Jayne Street, West Ryde 2114



6 Jayne Street, West Ryde 2114

## **2. The Proposed Development**

The proposed development is a 2-storey dual-occupancy. Unit 1 (the unit on the west) comprises 3 bedrooms, 1 LDK space, 1 multi-purpose room and 1 garage for 1 vehicle; unit 2 (the unit on the east) comprises 5 bedrooms, 1 LDK space, 1 sitting area and 1 garage for 1 vehicle. The site is sloped with a fall from the northwest towards the southeast, therefore the garages are proposed to be lifted above existing ground to be connected to the street level. The proposed cuts and fills are optimized to comply with DCP 2014 (amended and in force in 10 Aug 2016) issued by Ryde City Council to minimize the adverse impact on the current site situation.

The development has a modernist façade with entrance and windows of habitable rooms facing the street. The window features and shading structures of the front facade not only creates visual layers of depth to eliminate building bulk, but also utilizes a well-articulated combination of render, brick and steel plates to make a positive contribution to the streetscape.

The proposed dual-occupancy is designed with private open spaces at the rear that are directly adjacent to living rooms, so that the occupants can conveniently access the outdoor space. There are various types of outdoor living spaces including shaded deck area, well designed planter boxes and lawn, in order to optimize the owners' outdoor living experience while maintaining their own privacy.

The proposed development has 2 major floor levels including ground floor level and first floor level. The garages are placed on the mezzanine floor in-between the ground floor level and first floor level, so that

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they can be conveniently accessed from the street level. As is requested by DCP 2014 by Ryde City Council, the front setback is set as 6.0m, the rear setback as 4.0m, and both side setbacks as 6.0m.

The following summary table could also be found in site plan submitted.

Feature	Proposed Development
Site Area	938.0 m <sup>2</sup>
Front Setback	6.0m
Side Setback	1.5m/6.0m
Rear Setback	4.0m
<b>GROSS FLOOR AREA</b>	420.3m <sup>2</sup>
Unit 1 GFA	203.5 m <sup>2</sup>
Unit 2 GFA	216.8 m <sup>2</sup>
<b>FSR (max by LEP 0.5:1)</b>	Proposed: 0.45:1
<b>DEEP SOIL AREA</b>	526.3m <sup>2</sup>
Deep soil area ratio	56.1 %
<b>Private Open Space</b>	147.3m <sup>2</sup>
Unit 1 private open space	67.7 m <sup>2</sup>
Unit 2 private open space	79.6 m <sup>2</sup>

### 3. The Development Application

This application is subtitled with the architectural drawings and associated documentation, the details below illustrate details of the actual submission.

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Sheet List			
Sheet Number	Sheet Name	Revision	Revision Date

**DA**

**000-Specification +Cover**

DA-001	COVER PAGE	J	23/11/2021
DA-005	GENERAL NOTES	J	23/11/2021
DA-010	NOTIFICATION PLAN	J	23/11/2021
DA-020	BASIX COMMITMENT	J	23/11/2021
DA-030	SITE PLAN	J	23/11/2021

**100-General Arrangement Plans**

DA-100	GROUND FLOOR PLAN	J	23/11/2021
DA-110	FIRST FLOOR PLAN	J	23/11/2021
DA-130	ROOF PLAN	J	23/11/2021

**200-Elevations**

DA-210	EAST ELEVATION	J	23/11/2021
DA-220	SOUTH ELEVATION	J	23/11/2021
DA-230	NORTH ELEVATION	J	23/11/2021
DA-240	WEST ELEVATION	J	23/11/2021

**300-Sections**

DA-300	SECTION A	J	23/11/2021
DA-310	SECTION B	J	23/11/2021

**400-Window & Door**

DA-400	WINDOW SCHEDULE	J	23/11/2021
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**500- SITE ANALYSIS**

DA-500	SITE ANALYSIS	J	23/11/2021
DA-510	SHADOW DIAGRAM	J	23/11/2021
DA-520	SEDIMENT CONTROL PLAN	J	23/11/2021
DA-530	AREA CALCULATION	J	23/11/2021

**600-Finishes**

DA-600	EXTERNAL FINISH SCHEDULE	J	23/11/2021
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**900-Perspective**

DA-900	PERSPECTIVES	J	23/11/2021
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This statement shall be read with the following reports and other supplementary material:

<b>Surveyor:</b>	TIGO SURVEYS PTY LTD
<b>Landscaping:</b>	CM Landscape Architects
<b>BASIX:</b>	Frys Energy Wise
<b>Waste Management Plan:</b>	WEN Architects
<b>Statement of Environmental Effects:</b>	WEN Architects
<b>Architecture Documentation</b>	WEN Architects
<b>Details Cost Report</b>	Wen Architects
<b>Stormwater Design</b>	MBC Engineering Pty Ltd
<b>Arborist Report</b>	Arborlogix

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The proposal has been assessed having regard to the relevant matters for consideration under Section 79C, the Environmental Planning & Assessment Act 1979 and the relevant State and environmental planning instruments below.

- SEPP (BASIX)
- Ryde Local Environmental Plan 2014
- Ryde Development Control Plan 2014

Overall, the development proposal is found to be compliance with the relevant planning instrument and the Building Code or other regulatory requirements.

#### 4. State Environmental Policies (BASIX)

A BASIX certificate measures have been taken on board to ensure the development minimised energy and water consumption.

#### 5. Local Council Planning Instrument

##### City of Ryde Local Environmental Plan 2014 and City of Ryde Development Control Plan 2014

The following table provides a review of compliance in relation to the planning code described above:

Clause	Control	Comment	Complies?
Dual Occupancy (attached) DCP Clause 2.3	New Dual occupancy (attached) buildings are to meet the controls for new dwelling houses set out in 2.2.1.  a. Dwelling houses are to have a landscaped setting which includes significant deep soil areas at the front and rear.	a. Both the front and rear of the proposed dual-occupancy have a substantial amount of deep soil areas.  b. The proposed dual-occupancy has two storeys in total.  c. The proposed façade is designed to address the street by providing openings that directly look upon the	Y



	<ul style="list-style-type: none"><li>b. Residential dwellings are to be a maximum of two storeys high.</li><li>c. Dwellings are to address the street.</li><li>d. The boundary between public and private space is to be clearly articulated.</li><li>e. Garages and carports are not to be visually prominent features.</li><li>f. Dwellings are to respond appropriately to the site's constraints and opportunities as identified in the site analysis.</li></ul>	<p>street and adopting features consistent with the streetscape. The façade's forms and proportions are carefully articulated to reduce the feeling of mass.</p> <ul style="list-style-type: none"><li>d. The boundary between public and private space is marked by planter boxes.</li><li>e. Due to the site's existing slope, the garage level has to be lifted above the existing ground level. In order to reduce its visual prominence as much as possible, the garage door and wall are designed with a simple form and painted with light colour. The side of the lifted driveway is softened by landscape design.</li><li>f. The dual-occupancy gives an appropriate response to the site's existing conditions. The reduce levels of floor slabs are decided to minimize the amount of cut and fill. The majority of existing trees are retained and protected. The sloped rear is properly flattened to provide high-quality private open space.</li></ul>	
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Subdivision DCP Clause 2.4	<p>a. Where subdivision of land is proposed, each lot (other than a hatchet shaped lot) must have:</p> <ul style="list-style-type: none"> <li>i. an area of not less than 580 m<sup>2</sup>;</li> <li>ii. frontage to a road of not less than 10 m; and</li> <li>iii. a width of not less than 15 m at a distance of 7.5 m from the frontage of the lot.</li> </ul> <p>These requirements are illustrated in Figure 3.3.07.</p>	<ul style="list-style-type: none"> <li>i. The site area is 938.0sqm.</li> <li>ii. The frontage to Jayne Street is about 23m.</li> <li>iii. The width at a distance of 7.5m from the site frontage is about 45m.</li> </ul>	Y
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Streetscape DCP Clause 2.5.1	a. Site design, building setbacks and the location and height of level changes are to respect the existing topographic setting of the street and the relationship of existing buildings in the street to the topography.	a. The site design, building setbacks and level changes respect the existing conditions of the street and the topography.	Y
	b. The design of front garden is to complement and enhance streetscape character.	b. Complies. Refer to the landscape plan for details.	Y
	c. Dwelling design is to enhance the safety and amenity of the streetscape.	c. The proposed development has its front door and windows face the street. The façade design complements the proportions, massing and elevation of neighboring buildings.	Y
	d. Carports and garages visible from the public street are to be compatible with the building design and be set back behind the dwelling's front elevation.	d. The garages are designed to complement the overall façade design and set back from the building line by about 1.9m.	Y
	e. Driveways and hardstand areas are to be minimized so as to maximize deep soil areas and the opportunity for soft landscaping in the front garden, and to reduce the visual impact of driveways and hard surfaces from the street.	e. The area of driveway has been minimized to give adequate space to deep soil landscaping in the front yard. Due to the existing site slope, the driveway has to be lifted above existing ground levels. In order to soften the mass of a lifted driveway,	Y

		the landscape design proposes along the driveway's tall side planter boxes that effectively cover the blank retaining wall.	
	f. Dwellings, garages and carports are to be orientated to match the prevailing orientation of such buildings in the streetscape.	f. The proposed development's orientation matches neighboring buildings.	Y
	g. Facades visible from the public domain are to be well designed	g. The building entry areas are made visually prominent by shading frames. The down pipes are integrated with the façade design, as can be shown by the stormwater plan. The form of garages and the overall façade design are well integrated. The height of doors and windows are coordinated to be at a consistent level to a large extent. In all, the front façade is capable of providing design interest.	Y
Public Views and Vistas DCP Clause 2.5.2	a. Where there is an existing or potential view to the water from the street, a view corridor is to be provided along at least one of the side boundaries. Fences in the view corridor, including the front boundary fence, are to be 70% open at least where the fences are higher than 900mm.	a. There is no view corridor to be established.	Y
	b. Garages, carports and outbuildings are not to be located within the view corridor if they will obstruct views.	b. There is no view corridor to be established.	Y
Pedestrian and Vehicle Safety DCP Clause 2.5.3	a. Carparking structures are to be located to accommodate sightlines to the footpath and road.	a. The proposed garages accommodates sightlines to the footpath and road.	Y
	b. Fences which have the potential to block sight lines from the driveway to the footpath and road are to be splayed.	b. The retaining walls along the front boundary are low in height so they do not block sight lines from the road.	Y

	c. Refer to the relevant Australian Standards when designing driveways.	c. Complies.	Y
Deep Soil Areas DCP Clause 2.6.1	a. Sites are to have a deep soil area that is at least 35% of the area of the allotment.	a. Complies. The proposal is to have a deep soil area of 526.3sqm that comprises 56.1% of the site area.	Y
	b. The deep soil area must include an area with minimum dimensions of 8mX8m in the back yard and a front garden which is be completely permeable with the exception of the driveway, pedestrian path and garden walls.	b Complies. Refer to the architectural plan and landscape plan for details.	Y
	c. Allotments with dual occupancies need only one 8mX8m deep soil area for the allotment. The area does not need to be shared equally with each allotment.	c. Complies.	Y
Topography and Excavation DCP Clause 2.6.2	a. Building form and siting are to relate to the original topography of the land and of the streetscape.	a. Complies. The proposed development has two ground floor levels respectively for the two units, responding to the existing topography. The frontage design reflects the sloping conditions.	Y
	b. The area under the dwelling footprint may be excavated or filled so long as the depth of excavation is limited to 1.2m maximum and maximum height of fill is 900mm.	b. The extent of cut and fill is kept between -1.1m and 1.2m for the majority of building footprint, due to the topographic limitations of this site. The site's large slope decides that the garages and driveway have to be lifted by more than 2.0m from existing ground level, otherwise the driveway will have a gradient too large for a car to enter garage. In all, the proposed development has made efforts to respond to the site conditions while achieving Council's goals of DCP.	N
	c. The area outside the dwelling footprint may be excavated and filled so long as the maximum	c. Complies. Cut and fill take place mostly in the backyard in order to make flat private open space. The extent of cut and fill at the rear is kept between -450mm and	Y

		+700mm. All retaining walls do not exceed 900mm in height. In the front yard, the lifted driveway's mass can be largely softened by well-articulated landscape design, so that it would not be visually over-prominent when viewed from the street. In all, the filled areas have little adverse impact on the privacy of neighbors and the existing streetscape, due to the large slope gradient of the neighborhood and proper landscape articulations.	
	d. Fill is not allowed in areas of overland flow.	d. the site is not in the overland flow area.	Y
	e. Generally the existing topography is to be retained. The areas of excavation and fill are to be minimized.	e. Despite the topography limitations, efforts are made to minimize areas of cut and fill, and to balance the extent of cut and fill.	Y
Floor Space Ratio (FSR) DCP Clause 2.7	a. The floor space ratio must not be greater than 0.5:1.	a. FSR 0.45:1 is proposed for this design. The total GFA is 420.3m <sup>2</sup>	Y
	b. A floor area of 36sqm may be excluded from the gross floor area when this area accommodates 2 car parking spaces.	b. The garage has a gross floor area of 36.0sqm that has been excluded from GFA calculations.	Y
Building Height DCP Clause 2.8.1	a. Maximum building height is 9.5m with maximum wall plate height of 7.5m or 8m for a roof which has a continuous parapet.	a. The proposed building and wall plate heights are within the required range. Refer to the architectural plan for details.	Y
Ceiling Height DCP Clause 2.8.2	a. The minimum ceiling height for habitable rooms is to be 2.4m	a. 3.0m ceiling height is proposed for ground floor and 2.7m for first floor.	Y
Front Setbacks DCP Clause 2.9.1	a. Dwellings are generally to be set back 6m from the street front boundary.	a. The proposed front setback is 6m.	Y
	c. Garages and carports, including semi-basement garages and attached garages, are to be set back a minimum of 1m from the dwelling's front façade.	c. The garage is setback by about 1.9m from the front building line.	Y



	d. The front setback is to be free of structures, and ancillary elements such as rainwater tanks and air conditioning units.	d. Complies.	Y
	e. Attached garages, including semi-basement garages, on secondary street frontages do not need to be set back 1m from the adjacent façade but are not to protrude forward of the adjacent.	e. N/A	Y
Side Setbacks DCP Clause 2.9.2	b. The outside walls of a two-storey dwelling are to be set back from the side boundaries not less than 1.5m.	b. The side setback from the western boundary is set as 1.5m.	Y
	d. Allotments which are wider than they are long, are to have one side setback a minimum of 20% of the width of the allotment or 8m, whichever is the greater.	d. The site is wider than it is long. At the building line, its width is about 46m at the building line. 20% of the site width is about 5.8m, less than 8m. Therefore, one side setback line should be set as 8m according to DCP. The proposed side setback line from the eastern boundary is 6.0m. 8.0m is not adopted here because the special wedge-shaped site considerably restricts the building's layout. If adopting a setback line of 8.0m, the unit 2 layout will fall short to provide high-quality habitable space to owners. If measure at the centre line of the allotment, the wall is setback for over 10m from the eastern boundary, therefore satisfying the DCP requirement.	Y
Rear Setbacks DCP Clause 2.9.3	b. Allotments which are wider than they are long, and so cannot achieve the minimum rear setback requirement, are to have a minimum rear setback of 4m.	b. The site is wider than it is long, so the rear setback line is set as 4.0m from the rear boundary.	Y
Car Parking and Access DCP Clause 2.11	a. Provision must be made for off street parking that for a dwelling house is up to two spaces per dwelling.	a. Each unit has a garage for 1 car.	Y

	b. Parking spaces can be either in an enclosed structure (a surface or semi-basement garage) or a roofed open structure (a carport).	b. The car parking spaces are in an enclosed structure.	Y
	c. Garages are to be located at least 1m behind the front building elevation.	c. The garage is on average 1.9m behind the front building line.	Y
	e. Garage doors are to be solid. Open doors such as expanded mesh doors are not acceptable.	e. Complies.	Y
	f. Garage and carport entries are preferably to be located off laneways and secondary street frontages where this is possible.	f. The site does not have a secondary street frontage.	Y
	g. The width of driveways shall be minimised. Driveways should be a single car width except where they need to widen to provide access to a double garage.	g. The driveway is about 6.2m wide to serve two single garages.	Y
	h. Driveway cannot be roofed.	h. Complies	Y
	j. The total width of garage doors visible from a public place, such as the street, is not to exceed 5.7m	j. The two garage doors are 5.2m wide in total.	Y
	l. Garage doors are not to be recessed more than 300mm behind the outside face of the building element immediately above.	l. Complies.	Y
	p. Garages, whether free standing or incorporated into the house, are to be set back at least 1m from the building's front façade.	p. The garage is on average 1.9m behind the front building line.	Y
Landscaping DCP Clause 2.13	a. Major existing trees are to be retained in a viable condition whenever practicable, through the appropriate siting of buildings, access ways and parking areas and through appropriate landscape treatment.	a. Complies. The majorities of the existing trees are to be retained and protected. Refer to the arborist report for details.	Y

	c. Provide useful outdoor spaces for livability by coordinating the design of private open space, external living areas, driveways, parking areas, swimming pools, utility areas, deep soil areas and other landscaped areas with the design of the dwelling.	c. Deep soil zone and different kinds of outdoor living spaces are proposed with the design such as lawn area, decking area to expand the outdoor living experience.	Y
	d. Where the ground floor level of a dwelling is above the finished external ground level reached through a door or doorways, there is to be a physical connection made between these levels.	d. Complies.	Y
	e. Provide a landscaped front garden. Hard paved areas are to be minimized, and at a maximum, are to be no more than 40% of the front garden areas.	e. The front garden area is 239.2sqm, among which the hard paved areas are 56.3sqm. Therefore, only 23.5% of the front garden area is hardened.	Y
	f. A pathway is to be provided along one side of the dwelling so as to provide pedestrian access from the front garden to the rear yard. This access is not to be blocked by such things as landscaping features, rainwater tanks, hot water heaters and retaining walls. The pathway does not need to be provided on allotments which have rear lane access or are a corner allotment.	f. Complies.	Y
	g. Landscape elements in front gardens, particularly trees and other plants, are to be compatible with the scale of the development.	g. Referred to landscape plan	Y
	h. The front garden is to have at least 1 tree capable of a minimum mature height of 10m with a spreading canopy.	h. Referred to landscape plan	Y

	i. Where the backyard does not have a mature tree at least 15m high, plant a minimum of one large canopy tree in the back yard. The tree is to be capable of a mature height of at least 15m and is to have a spreading canopy. The tree is to be located in the 8mx8m deep soil area.	i. Referred to landscape plan	Y
	j. Locate and design landscaping to increase privacy between neighboring dwellings.	j. Complies.	Y
	k. Hedge planting on boundaries is to consist of plant species which have a mature height no greater than 2.7m.	k. Complies.	Y
	i. Retaining walls and other landscape elements are not to obstruct the stormwater overland flow path.	i. Complies.	Y
	m. On site stormwater detention is generally not to be located in the front setback unless it is a underground tank located beneath the driveway.	m. The rainwater tank and on-site detention tank is located beneath the lifted driveway.	Y
	n. Landscaping is to be include ground level private open space for each dwelling.	n. Complies.	Y
	o. Landscaping is to be designed to improve the energy efficiency of buildings and the microclimate of external living areas.	o. Complies.	Y
Daylight and Sunlight Access DCP Clause 2.14.1	a. Living areas are to be located predominantly to the north where the orientation of the allotment makes this possible.	a. Complies	Y
	c. Windows to north-facing living areas of the subject dwelling are to receive at least 3 hours of sunlight between 9am and 3pm on 21 June over a portion of their surface.	c. Complies. Referred to shadow diagrams.	Y

	d. Private open space of the subject dwelling is to receive at least two hours sunlight between 9am and 3pm on June 21.	d. Complies. Referred to shadow diagrams.	Y
	e. For neighboring properties ensure sunlight to at least 50% of the principal area of ground level private open space of adjacent properties is not reduced to less than two hours between 9am and 3pm on June 21 and windows to north-facing living areas of neighboring dwellings received at least 3 hours of sunlight between 9am and 3pm on 21 June over a portion of their surface.	e. The proposed development does not adversely affect the neighboring properties in terms of solar access according to the shadow diagram.	Y
Visual Privacy DCP Clause 2.14.2	a. Orientate the windows or the main internal living spaces such as living rooms, dining rooms, kitchens, family rooms and the like, generally to the front or to the rear of allotment.	a. Complies	Y
	b. orientate terraces, balconies and outdoor living areas to either the front or the rear of allotments, and not to the side boundaries.	b. Complies.	Y
	c. Terraces and balconies are not to overlook neighbor's living areas and private open space.	c. Complies	Y
	d. Living rooms and kitchen windows, terraces and balconies are not to allow a direct view into neighboring dwellings or neighboring private open space.	d. Complies	Y
	e. Side windows are to be offset by distances sufficient to avoid visual connection between windows of the subject dwelling and those of the neighboring dwelling.	e. Side windows facing adjoining properties are minimized in size or designed as high windows to prevent privacy issue.	Y
View Sharing DCP Clause 2.14.4	a. The sitting of development is to provide for view sharing.	a. Complies	Y



Cross Ventilation DCP Clause 2.14.5	a. The plan layout, including the placement of openings, is to be designed to optimize access to prevailing breezes and to provide for cross-ventilation.	a. Windows are designed to provide the ventilation.	Y
Front and return Fences and Walls DCP Clause 2.16.1	a. Front and return fences are to reflect the design of the dwelling.	a. Complies	Y
	b. Front and return fences and walls are to be constructed of materials compatible with the house and with other fences and walls within the streetscape.	b. Shrub plantings are proposed along the front site boundary to replace fences. Refer to the landscape plan for details.	Y
	c. A solid front or return fence is to be no higher than 900mm. An open lightweight fence, such as a timber picket fence may be up to 1m high.	c. N/A	N/A
	d. A return fence is to be no higher than the front fence.	d. N/A	N/A
	e. Fences may have maximum height of 1.8m so long as the fence is an open fence with an openness ratio of at least 50%. The fence may have a solid base so long as the base is no higher than 900mm.	e. N/A	N/A
	j. Fence piers are to have a maximum width of 350mm.	j. N/A	N/A
Side and rear Fences and Walls DCP Clause 2.16.2	a. The maximum height for side and rear fences is to be 1.8m	a. the rear and side fence is designed with height of 1.8m	Y
	d. Any fencing located forward of the foreshore building line shall be of open, permeable construction.	d. Complies.	Y

## 6. Response to DCP 3.3 The West Ryde Special Development Area

In early conceptual design phase, we had learned the front setback requirement of DCP 3.1 West Ryde Special Development Area. Its primary goal is 'to be consistent with existing setbacks', to achieve





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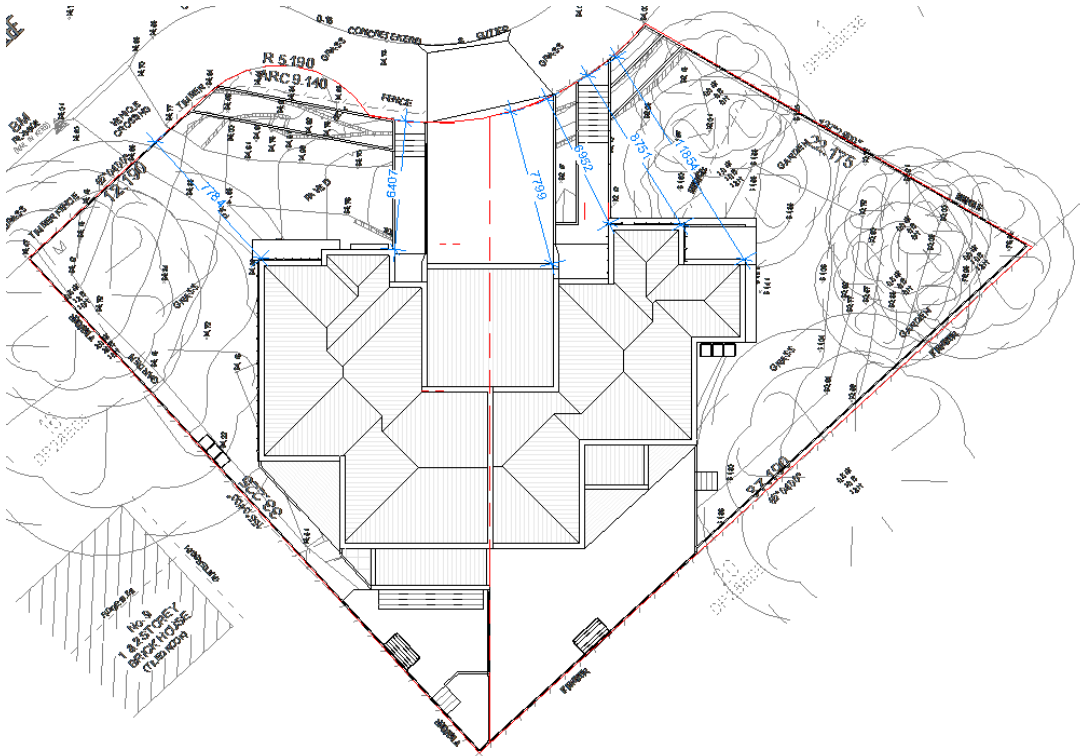


Image 3. The front setbacks of the proposed development.

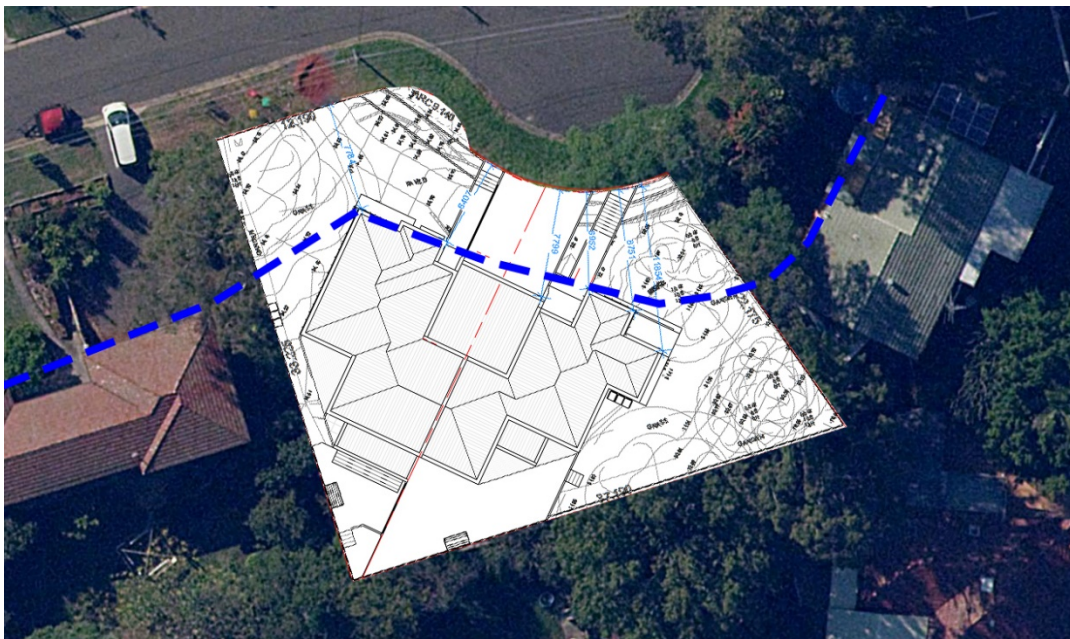


Image 4. The proposed development largely fits in with the existing streetscape.

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## **7. Conclusion**

The proposed development is consistent with the aims and objectives of the relevant planning instruments.

We believe the proposed development application is compatible with the requirement of the Local Environmental Plan 2014 and Development Control Plan 2014 issued by City of Ryde and will not create any adverse impact to the adjoining property.