

# 12 Clermont Ave

Proposed Dual Occupancy @  
12 Clermont Ave, RYDE NSW 2112

## Section 4.55 Issue - 20th June 2022

STUDIO\_BD  
ARCHITECTURE  
& INTERIORS  
-

## CLERMONT

R E S I D E N C E S

BY YOUNES PROPERTY

### CONTENTS

#### Architecturals

783DA_A_01	Cover Sheet
783DA_A_04	Basement Floor Plan
783DA_A_05	Ground Floor Plan
783DA_A_06	First Floor Plan
783DA_A_07	Roof Plan
783DA_A_09	East Elevation
783DA_A_10	South Elevation
783DA_A_11	West Elevation
783DA_A_12	North Elevation
783DA_A_13	Sections (Part 1)
783DA_A_14	Sections (Part 2)
783DA_A_15	Sections (Part 3)
783DA_A_16	Shadow Diagrams
783DA_A_18	Area Schedule
783DA_A_19	Notification Plans

#### Additional Information

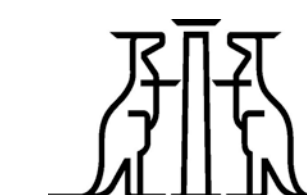
Statement of Environmental Effects (Robinson Urban Planning)  
Stormwater Drainage Plans (NY Civil Engineering)  
Geotechnical Assessment (Douglas Partners)  
Urban Design Addendum Report (Audax Urban)



COPYRIGHT  
**Studio\_BD** ABN 74 219 560 787  
Nominated Architect Boris Dragas NSW ARB #7658  
Copyright in these drawings is the property of **Studio\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

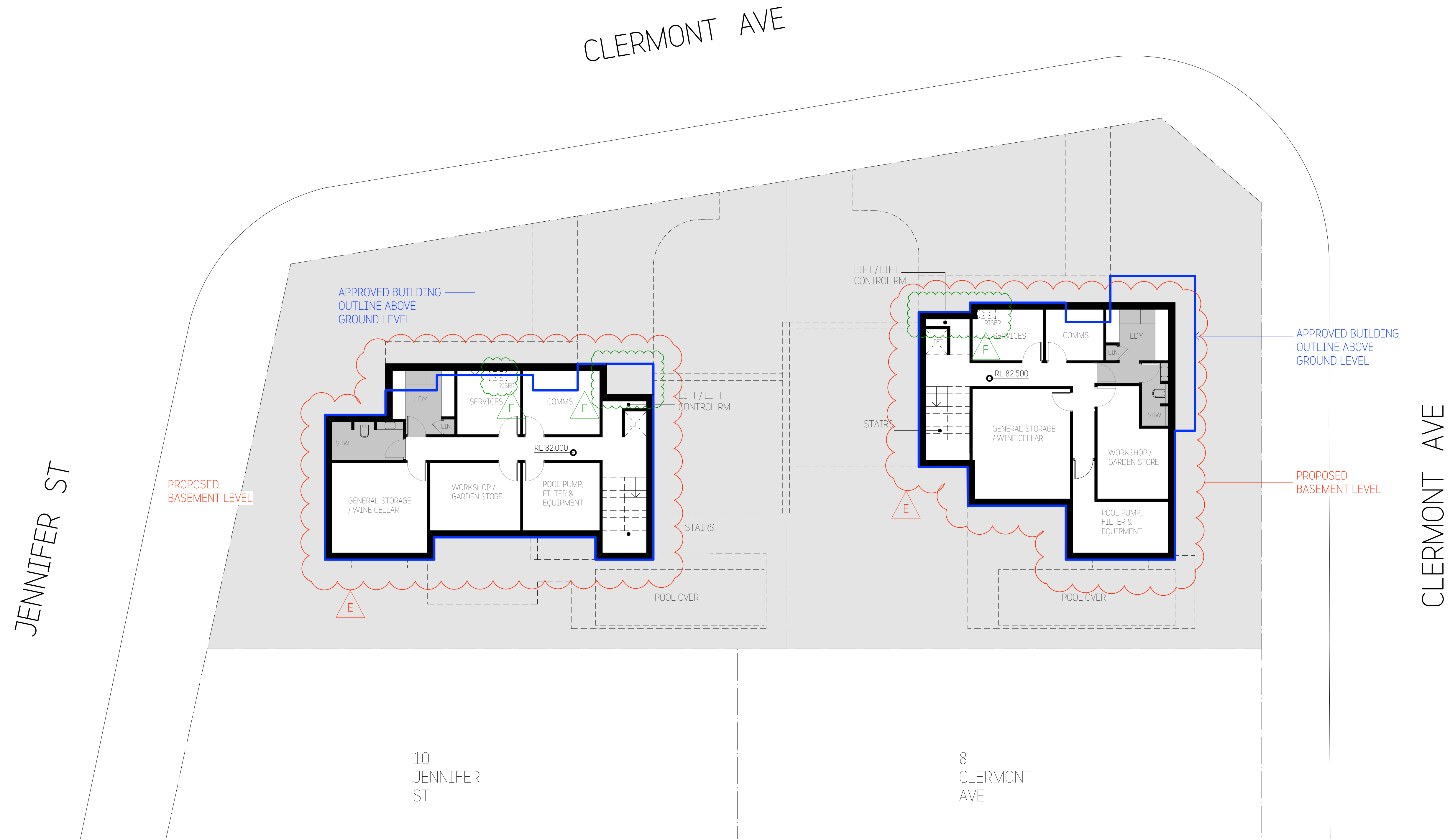
City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent



**Member**  
Australian Institute of Architects  
2021





NOTES:

- SERVICES ROOMS WILL ACCOMMODATE ALL HEATING, VENTILATION & A/C.
- ALL BASEMENT AREAS TO BE NON-HABITABLE.

**City of Ryde**

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
C	Preliminary S4.55 Issue - 2	BD	31/05/22
D	Preliminary S4.55 Issue - 3	BD	17/06/22
E	Section 4.55 Issue	BD	20/06/22
F	Revised Section 4.55 Issue	BD	29/08/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.



**STUDIO\_BD**  
**ARCHITECTURE**  
& **INTERIORS**

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Bors Dragas NSW ARB #7658  
t: 0414 856 065 e: bors@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

Project:	12 CLERMONT AVE, RYDE		
Drawn:	BD	Date:	20/07/21
Checked:	BD	Scale:	1:200@A3 1:100@A1
Job No:	783DA_A_	Sheet Size:	A3/A1
Drawing No:	04	Rev:	F

LEGEND:

+ 63.80  
PF  
FP  
DP  
OSD  
SWP  
RWT

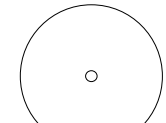
SITE LEVELS  
POOL FENCE  
OUTDOOR FIREPLACE  
DOWNPIPE  
ONSITE DETENTION TANK  
STORMWATER PIT  
RAINWATER TANK



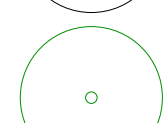
TREE'S APPROVED TO BE REMOVED  
LDA 2021 / 0148



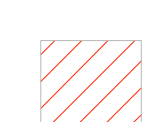
TREE'S TO BE REMOVED



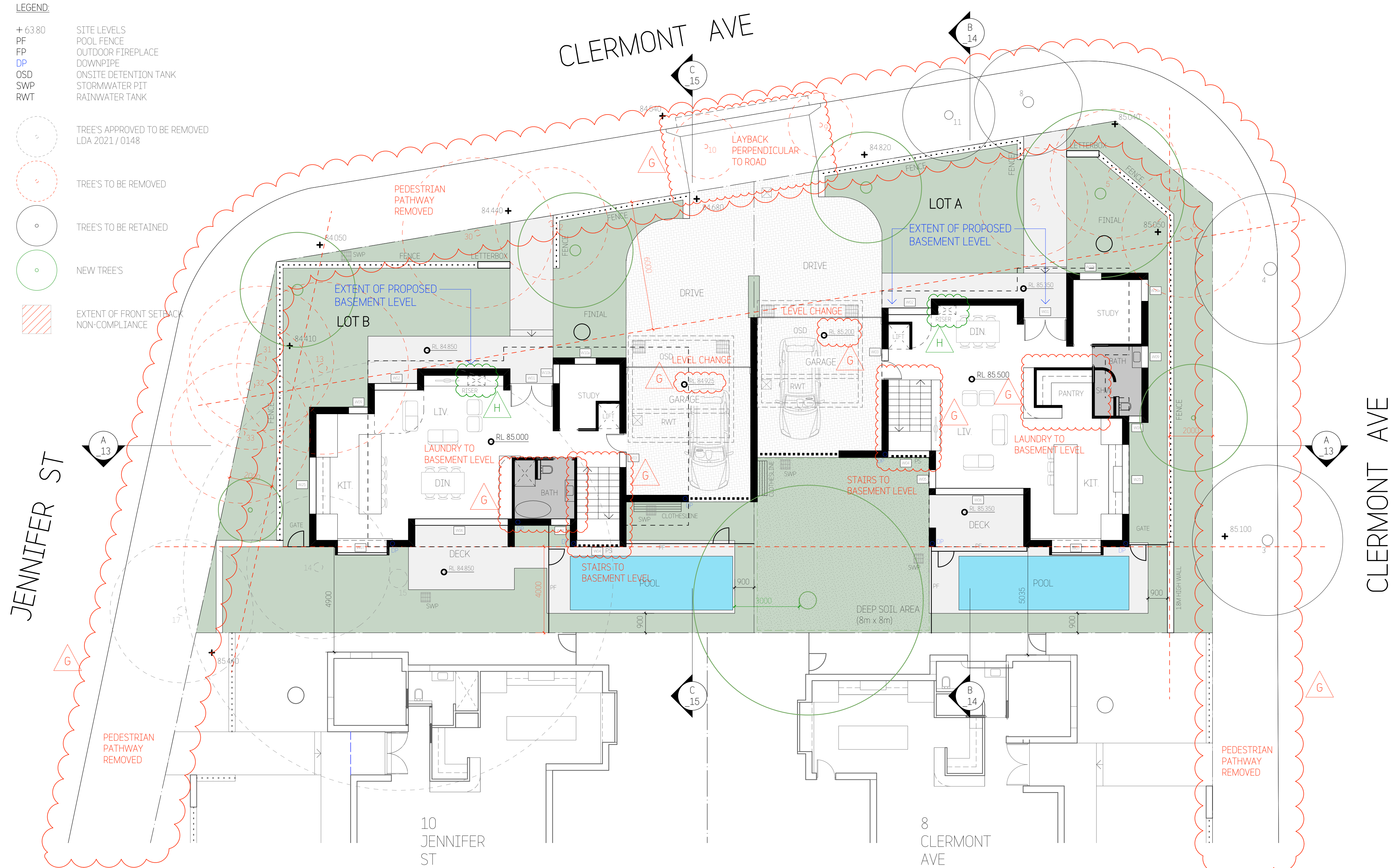
TREE'S TO BE RETAINED



NEW TREE'S



EXTENT OF FRONT SETBACK  
NON-COMPLIANCE



Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD20220128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
E	Development Application Issue	BD	28/09/21
F	Revised Development Application Issue	BD	28/01/22
G	Section 4.55 Issue	BD	20/06/22
H	Revised Section 4.55 Issue	BD	30/08/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.



**Member**  
Australian Institute of Architects  
2021

0 1 2 4 8m

**STUDIO\_BD**  
ARCHITECTURE  
& INTERIORS

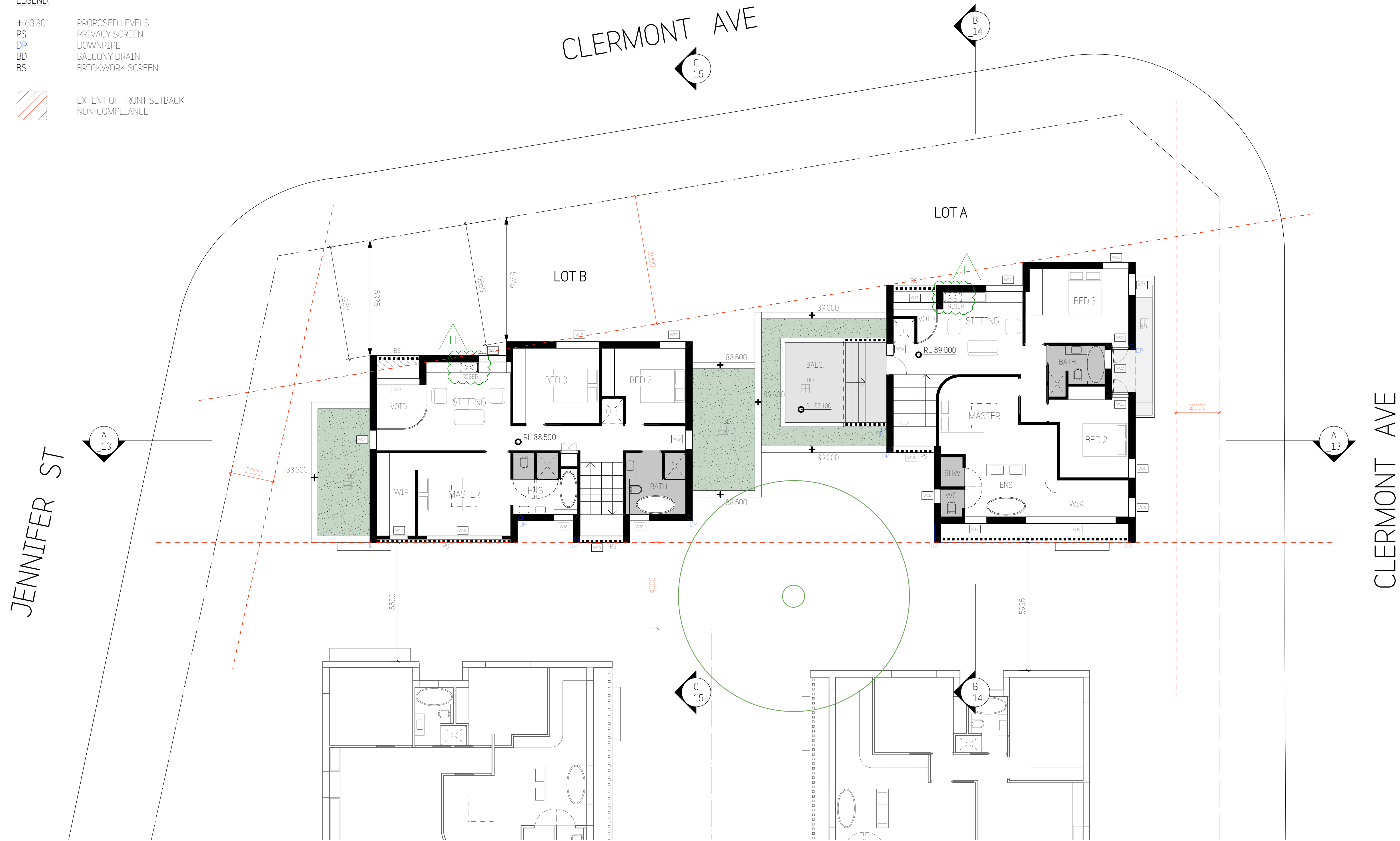
**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Bors Dragas NSW ARB #7658  
t: 0414 886 065 e: bors@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

Project:	12 CLERMONT AVE, RYDE		
Drawn:	BD	Date:	20/07/21
Checked:	BD	Scale:	1:200@A3 1:100@A1
Job No:	783DA_A_	Sheet Size:	A3/A1
Drawing No:	05	Rev:	H



LEGEND:

+ 63.80	PROPOSED LEVELS
PS	PRIVACY SCREEN
DP	DOWNSIDE
BD	BALCONY DRAIN
BS	BRICKWORK SCREEN
	EXTENT OF FRONT SETBACK
	NON-COMPLIANCE



10  
JENNIFER  
ST

8  
CLERMONT  
AVE

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

No	Description	By	Date
E	Development Application Issue	BD	28/09/21
F	Revised Development Application Issue	BD	28/01/22
G	Section 4.55 Issue	BD	20/06/22
H	Revised Section 4.55 Issue	BD	30/08/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.

0 1 2 4 8m

**STUDIO\_BD**  
ARCHITECTURE  
& INTERIORS

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Bors Dragas NSW ARB #7658  
t: 0414 856 065 e: bors@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

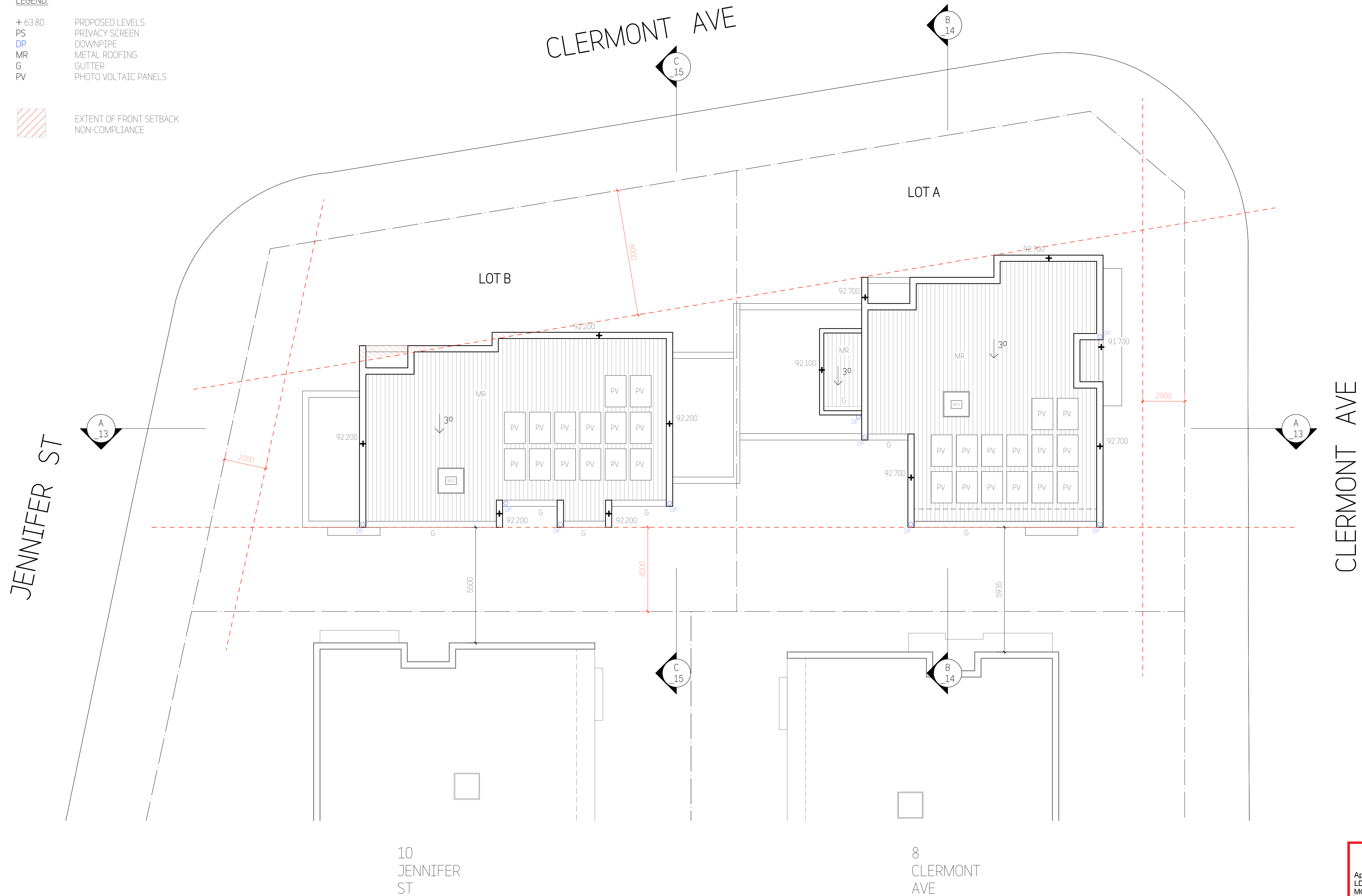
Project:	12 CLERMONT AVE, RYDE	Drawn:	BD	Date:	20/07/21
Title:	FIRST FLOOR PLAN	Checked:	BD	Scale:	1:200@A3 1:100@A1
Job No:	783DA_A_	Sheet Size:	A3/A1	Rev:	H
Drawing No:	06				



LEGEND:

+ 63.80 PROPOSED LEVELS  
PS PRIVACY SCREEN  
DP DOWNPIPE  
MR METAL ROOFING  
G GUTTER  
PV PHOTO VOLTATIC PANELS

EXTENT OF FRONT SETBACK  
NON-COMPLIANCE



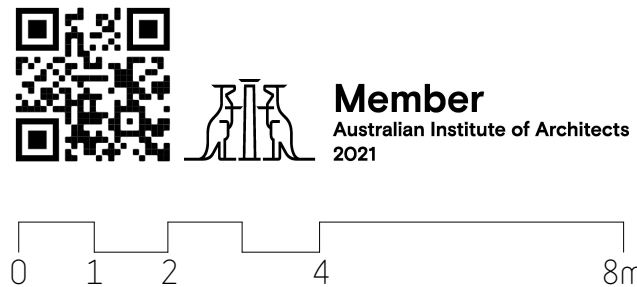
**City of Ryde**

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
C	Draft DA Issue - 2	BD	13/09/21
D	Development Application Issue	BD	28/09/21
E	Revised Development Application Issue	BD	28/01/22
F	Section 4.55 Issue	BD	20/06/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.



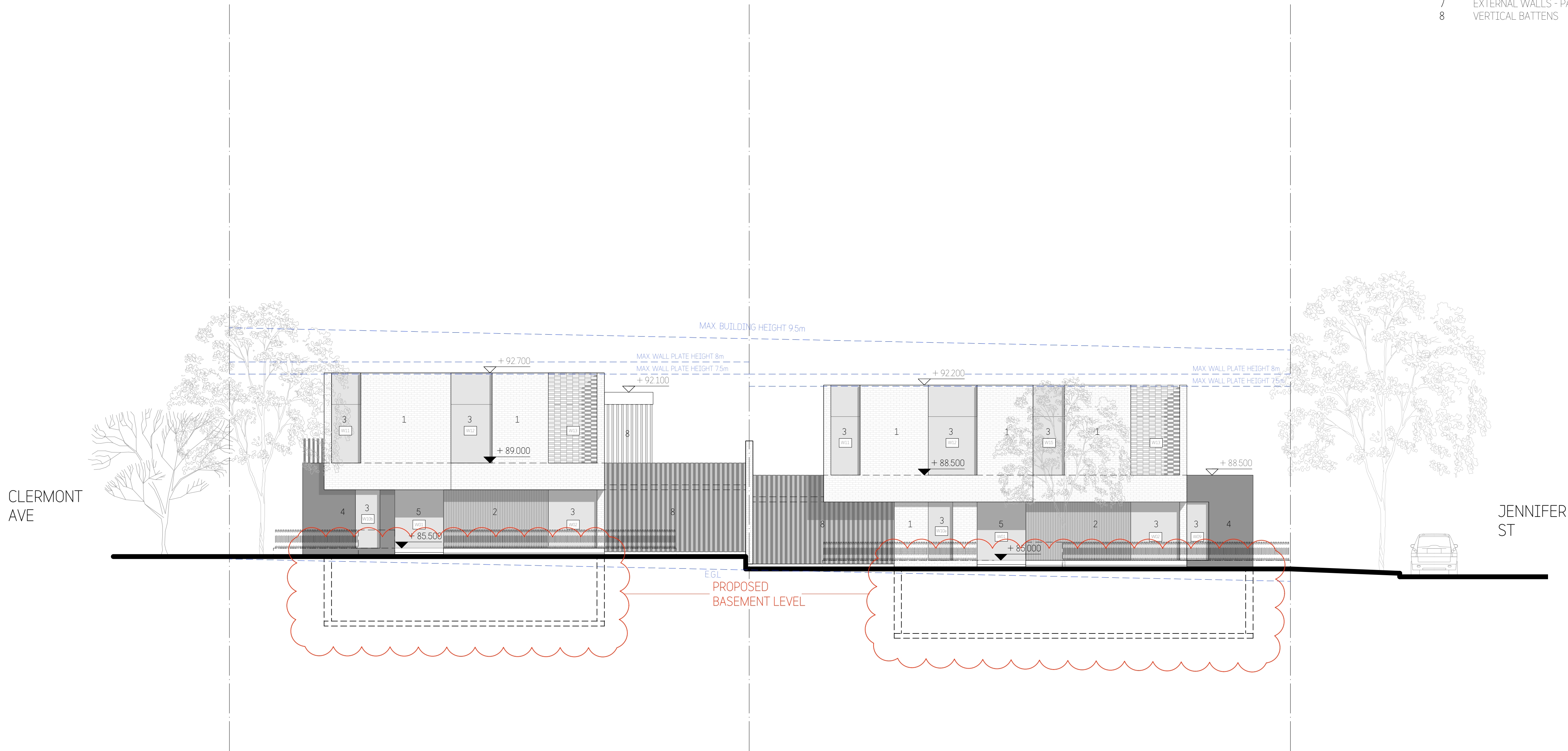
**STUDIO\_BD**  
**ARCHITECTURE**  
**& INTERIORS**

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Boris Dragas NSW ARB #7658  
t: 0414 856 065 e: bords@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

Project:	12 CLERMONT AVE, RYDE	Drawn:	BD	Date:	20/07/21
				Scale:	1:200@A3 1:100@A1
Title:	ROOF PLAN	Checked:	BD	Sheet Size:	A3/A1
		Job No:	783DA_A_	Drawing No:	07
				Rev:	F



- MATERIALS LEGEND:  
Refer to External Finishes Schedule
- 1 BRICKWORKS WALLS - PAINTED
  - 2 EXPOSED CONCRETE WALLS
  - 3 ALUMINIUM FRAMED WINDOWS
  - 4 TEXTURED CLADDING
  - 5 GLASS ENTRY DOOR
  - 6 METAL ROOFING
  - 7 EXTERNAL WALLS - PAINTED
  - 8 VERTICAL BATTENS



City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
B	Draft DA Issue - 2	BD	13/09/21
C	Development Application Issue	BD	28/09/21
D	Revised Development Application Issue	BD	28/01/22
E	Section 4.55 Issue	BD	20/06/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.

Member  
Australian Institute of Architects  
2021

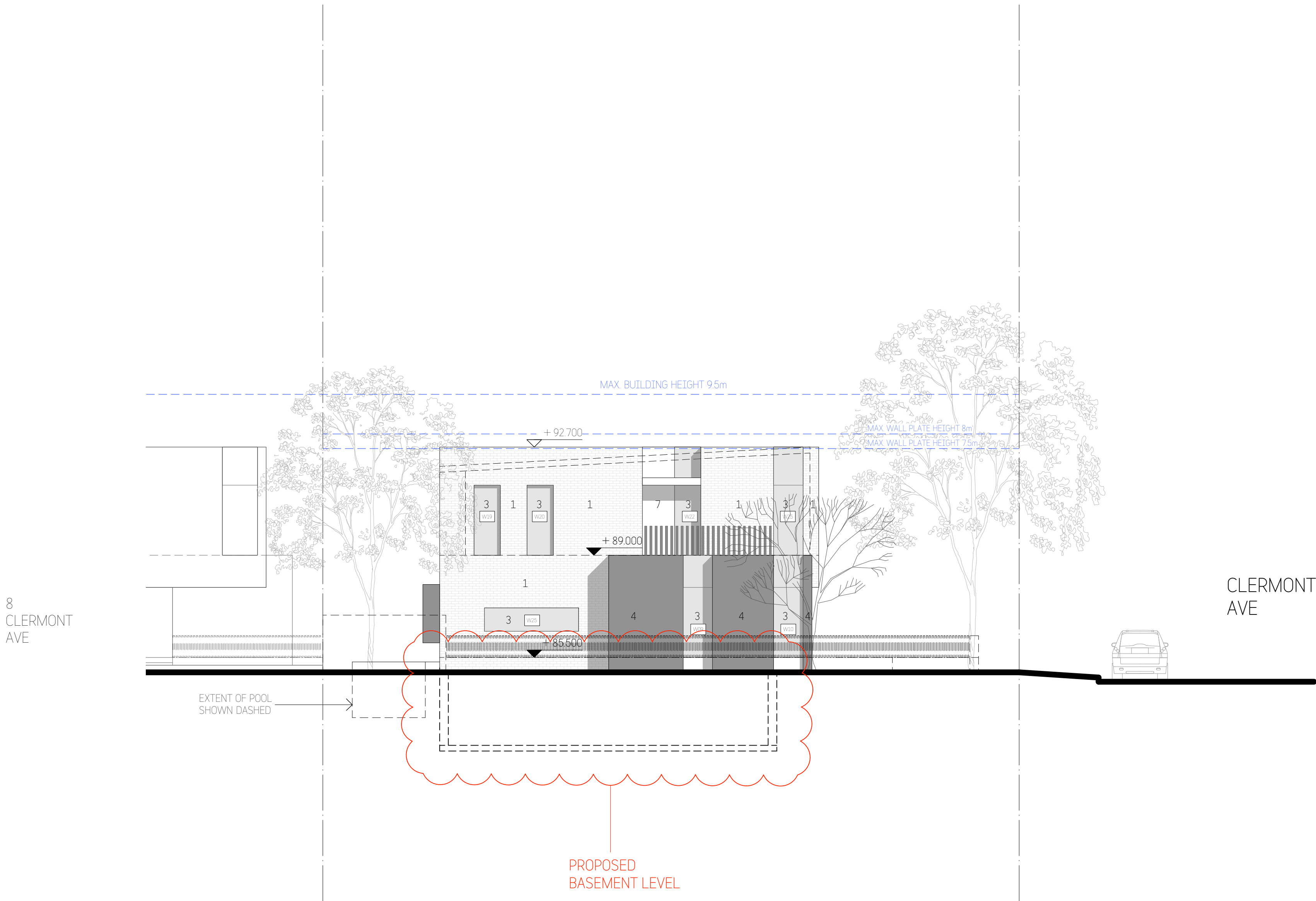
STUDIO\_BD  
ARCHITECTURE  
& INTERIORS


STUDIO\_BD ARCHITECTURE & INTERIORS  
Nominated Architect Bors Dragas NSW ARB #7658  
t: 0414 856 065 e: bors@studiobd.com.au  
w: studiobd.com.au  
abn: 74 219 560 787

Project:		Drawn: BD		Date: 20/07/21	
12 CLERMONT AVE, RYDE				Scale: 1:200@A3 1:100@A1	
Title:		Checked: BD		Sheet Size: A3/A1	
EAST ELEVATION		Job No: 781DA_A_		Drawing No: 09	
				Rev: E	



- MATERIALS LEGEND:**  
Refer to External Finishes Schedule
- 1 BRICKWORKS WALLS - PAINTED
  - 2 EXPOSED CONCRETE WALLS
  - 3 ALUMINIUM FRAMED WINDOWS
  - 4 TEXTURED CLADDING
  - 5 GLASS ENTRY DOOR
  - 6 METAL ROOFING
  - 7 EXTERNAL WALLS - PAINTED
  - 8 VERTICAL BATTENS





City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
B	Draft DA Issue - 2	BD	13/09/21
C	Development Application Issue	BD	28/09/21
D	Revised Development Application Issue	BD	28/01/22
E	Section 4.55 Issue	BD	20/06/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.

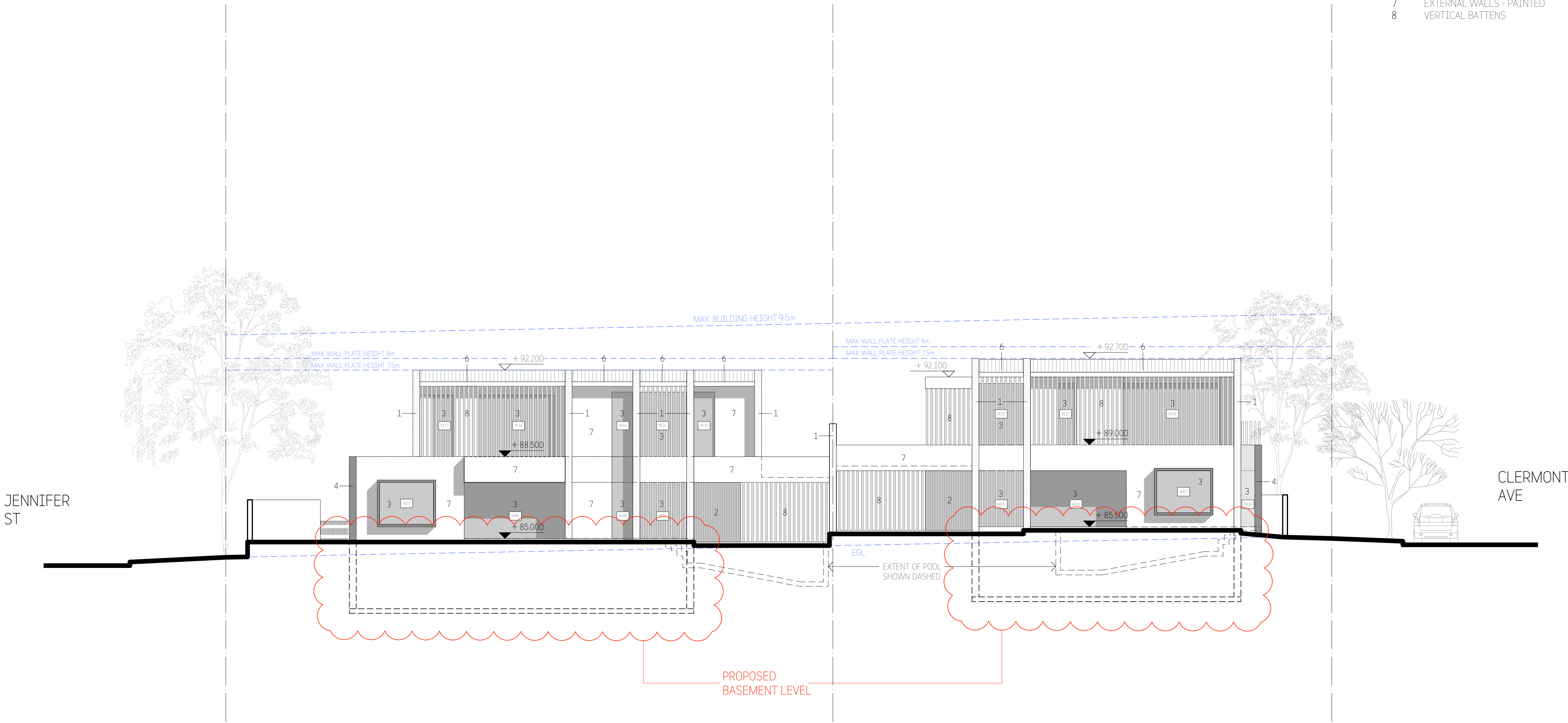


**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Boris Dragas NSW ARB #7658  
t: 0414 856 065 e: bords@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

Project:		Drawn:	BD	Date:	20/07/21
12 CLERMONT AVE, RYDE				Scale:	1:200@A3 1:100@A1
Title:		Checked:	BD	Sheet Size:	A3/A1
781DA_A_		Job No:	10	Drawing No:	Rev:
SOUTH ELEVATION				E	



- MATERIALS LEGEND:  
Refer to External Finishes Schedule
- 1 BRICKWORKS WALLS - PAINTED
  - 2 EXPOSED CONCRETE WALLS
  - 3 ALUMINIUM FRAMED WINDOWS
  - 4 TEXTURED CLADDING
  - 5 GLASS ENTRY DOOR
  - 6 METAL ROOFING
  - 7 EXTERNAL WALLS - PAINTED
  - 8 VERTICAL BATTENS



Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
B	Draft DA Issue - 2	BD	13/09/21
C	Development Application Issue	BD	28/09/21
D	Revised Development Application Issue	BD	28/01/22
E	Section 4.55 Issue	BD	20/06/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.



**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Boris Dragas NSW ARB #7658  
t: 0414 856 065 e: boris@studiobd.com.au  
w: studiobd.com.au  
abr: 74 219 560 787

Project:		Drawn:	BD	Date:	20/07/21
12 CLERMONT AVE, RYDE				Scale:	1:200@A3 1:100@A1
Title:		Checked:	BD	Sheet Size:	A3/A1
781DA_A_		Job No:	11	Drawing No:	Rev:
				E	



Refer to External Finishes Schedule

- 
- CLERMONT AVE
- 10 JENNIFER ST
- MAX BUILDING HEIGHT 9.5m
- MAX WALL PLATE HEIGHT 8m
- MAX WALL PLATE HEIGHT 7.5m
- +92.200
- +88.500
- PROPOSED BASEMENT LEVEL

Revisions			
No	Description	By	Date
B	Draft DA Issue - 2	BD	13/09/21
C	Development Application Issue	BD	28/09/21
D	Revised Development Application Issue	BD	28/01/22
E	Section 455 Issue	BD	20/06/22

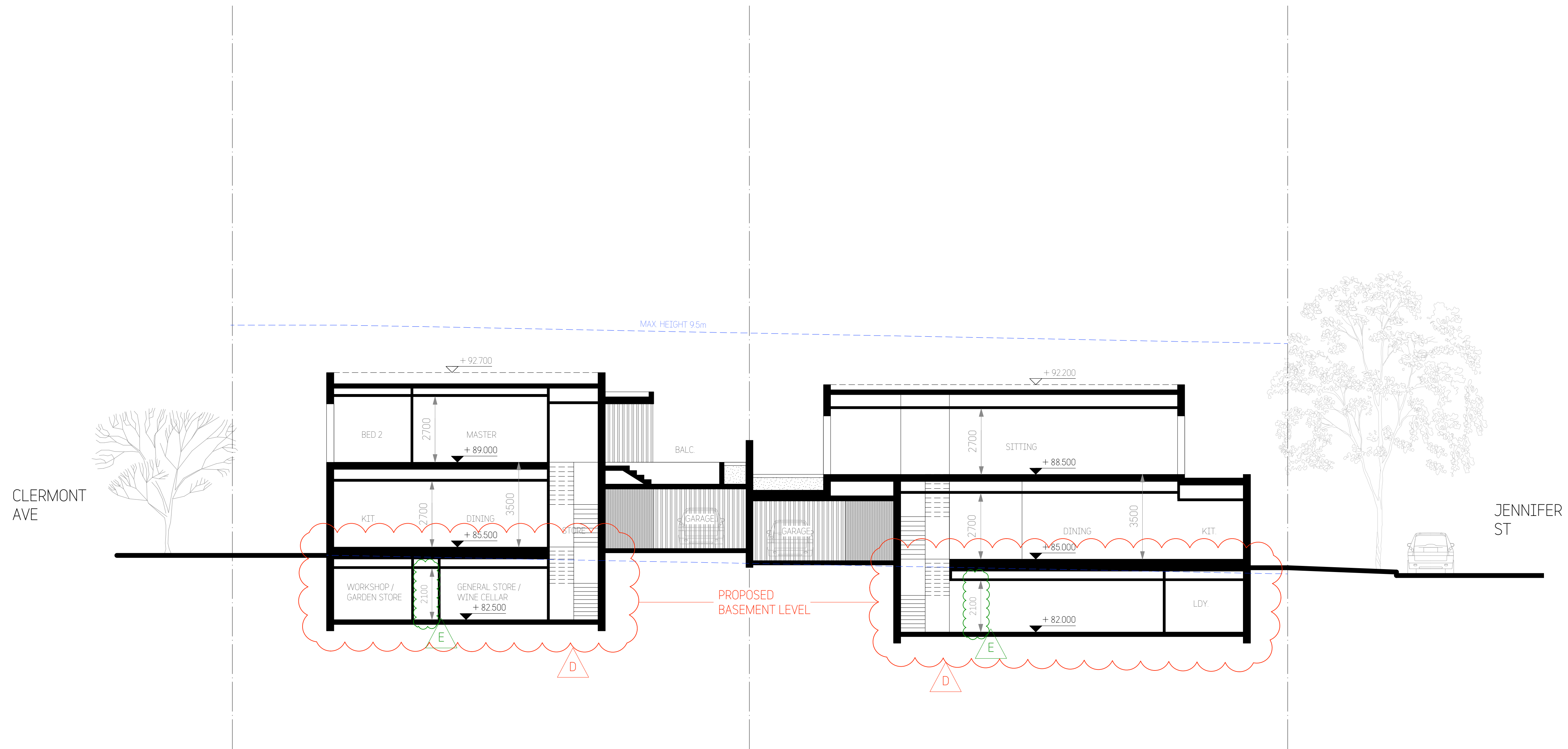


**Member**  
 Australian Institute of Architects  
 2021

0 1 2 4 8m



Project:	Drawn: BD	Date: 20/07/21
12 CLERMONT AVE, RYDE		Scale: 1:200@A3 1:100@A1
	Checked: BD	Sheet Size: A3/A1
Title:	Job No:	Drawing No:
NORTH ELEVATION	781DA_A_	12
		Rev: E



1 SECTION A-A

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
B	Development Application Issue	BD	28/09/21
C	Revised Development Application Issue	BD	28/01/22
D	Section 4.55 Issue	BD	20/06/22
E	Revised Section 4.55 Issue	BD	30/08/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.

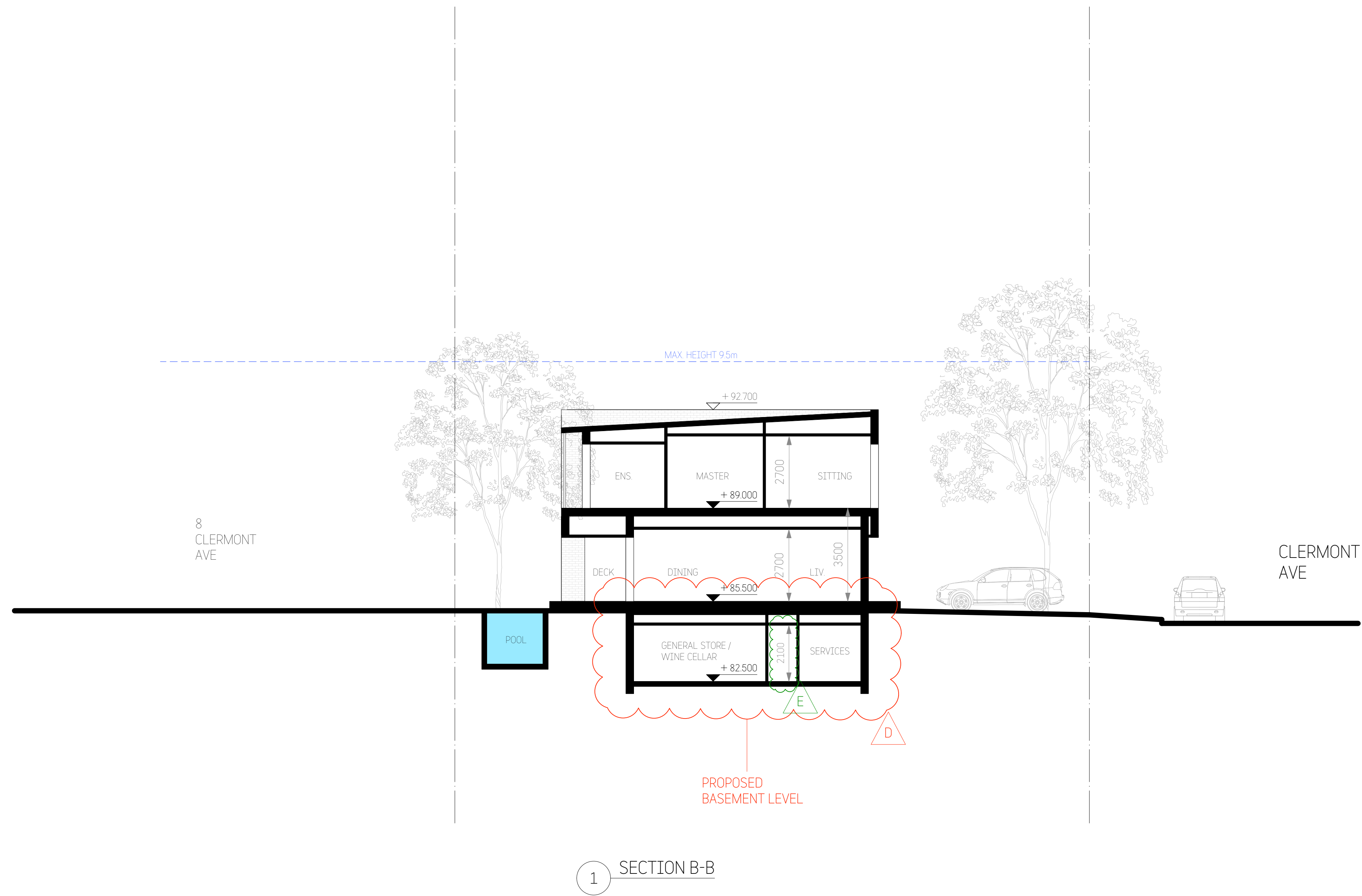
0 1 2 4 8m

**STUDIO\_BD**  
ARCHITECTURE  
& INTERIORS

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Boris Dragas NSW ARB #7658  
t: 0414 886 065 e: bords@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

Project:		12 CLERMONT AVE, RYDE	
Title:		SECTIONS - 1	
Drawn:	BD	Date:	20/07/21
Checked:	BD	Scale:	1:200@A3 1:100@A1
Job No:	783DA_A_	Sheet Size:	A3/A1
Drawing No:	13	Rev:	E





City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
B	Development Application Issue	BD	28/09/21
C	Revised Development Application Issue	BD	28/01/22
D	Section 4.55 Issue	BD	20/06/22
E	Revised Section 4.55 Issue	BD	30/08/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture. Figures to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.

Member

Australian Institute of Architects

2021

0

1

2

4

8m

STUDIO\_BD

ARCHITECTURE

& INTERIORS

Nominated Architect

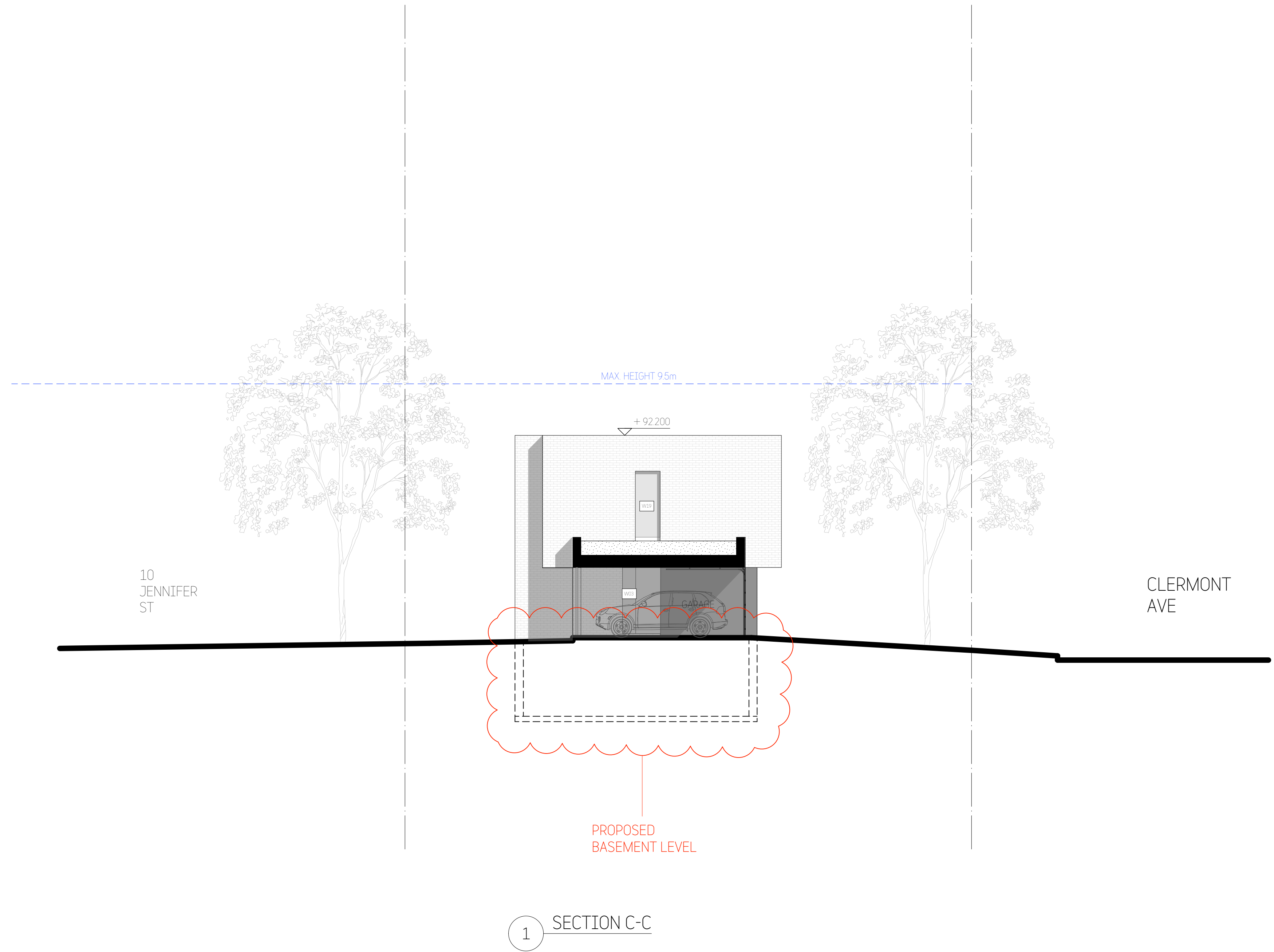
Boris Dragas NSW ARB #7658


t: 0414 886 065 e: boris@studiodbd.com.au

w: studiodbd.com.au

abr: 74 219 560 787

Project:		Drawn: BD	Date: 20/07/21
12 CLERMONT AVE, RYDE		Scale: 1:200@A3 1:100@A1	
Title:		Checked: BD	Sheet Size: A3/A1
SECTIONS - 2		Job No: 783DA_A_	Rev: E
		Drawing No: 14	



 City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

Revisions:			
No	Description	By	Date
A	Draft DA Issue - 2	BD	13/09/21
B	Development Application Issue	BD	28/09/21
C	Revised Development Application Issue	BD	28/01/22
D	Section 4.55 Issue	BD	20/06/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.



Member  
Australian Institute of Architects  
2021



0 1 2 4 8m

STUDIO\_BD  
ARCHITECTURE  
& INTERIORS


-

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Bors Dragas NSW ARB #7658  
t: 0414 866 065 e: bors@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

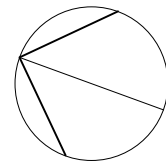
Project:		Drawn: BD	Date: 20/07/21
12 CLERMONT AVE, RYDE		Scale: 1:200@A3 1:100@A1	
Title:		Checked: BD	Sheet Size: A3/A1
SECTIONS - 3		Job No: 783DA_A_	Rev: D
		Drawing No: 15	





 City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent



Revisions:			
No	Description	By	Date
A	Development Application Issue	BD	28/09/21
B	Revised Development Application Issue	BD	28/01/22
C	Section 4.55 Issue	BD	20/06/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture. Figures/dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.



Member  
Australian Institute of Architects  
2021



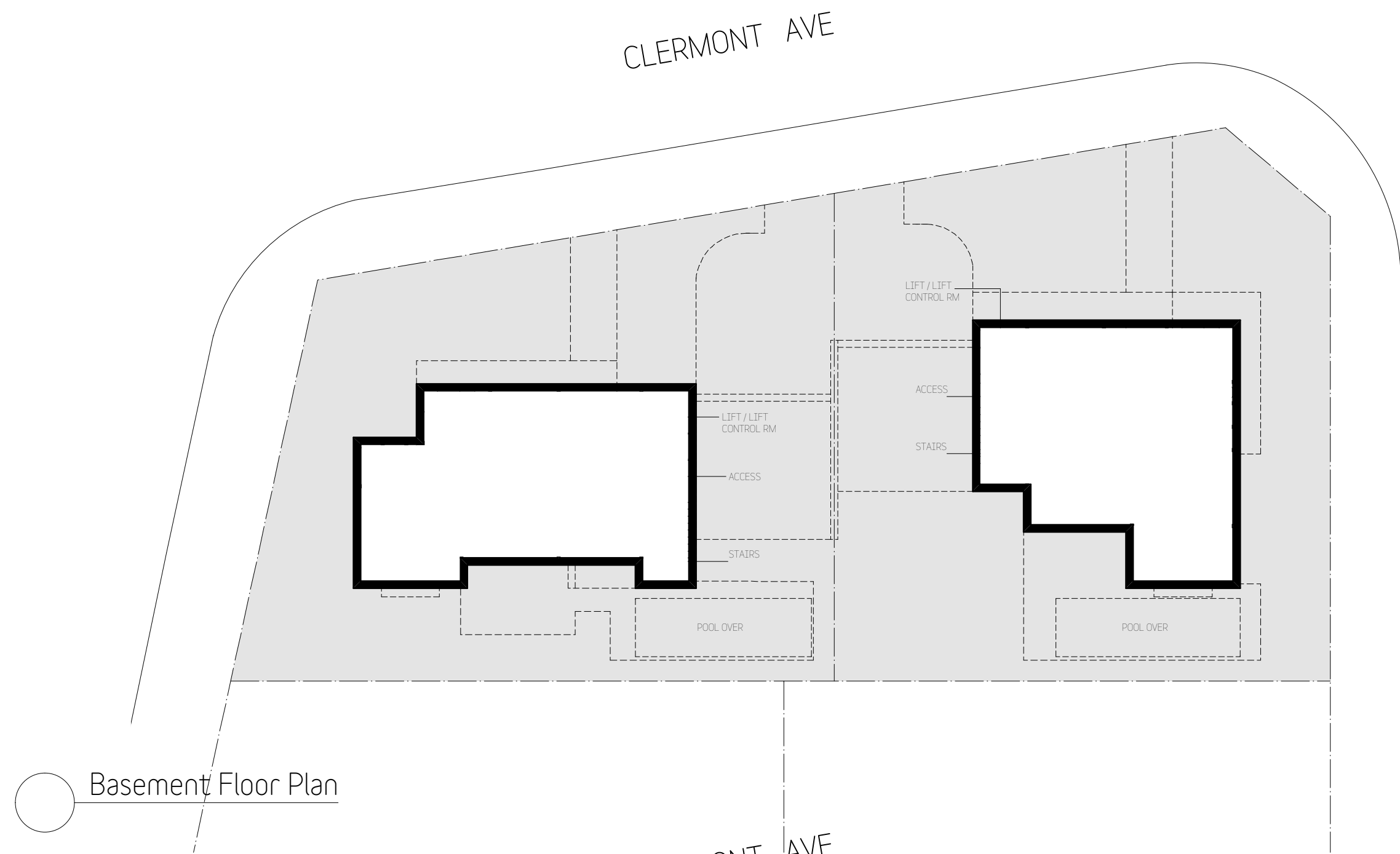
0 1 2 4 8m

STUDIO\_BD  
ARCHITECTURE  
& INTERIORS

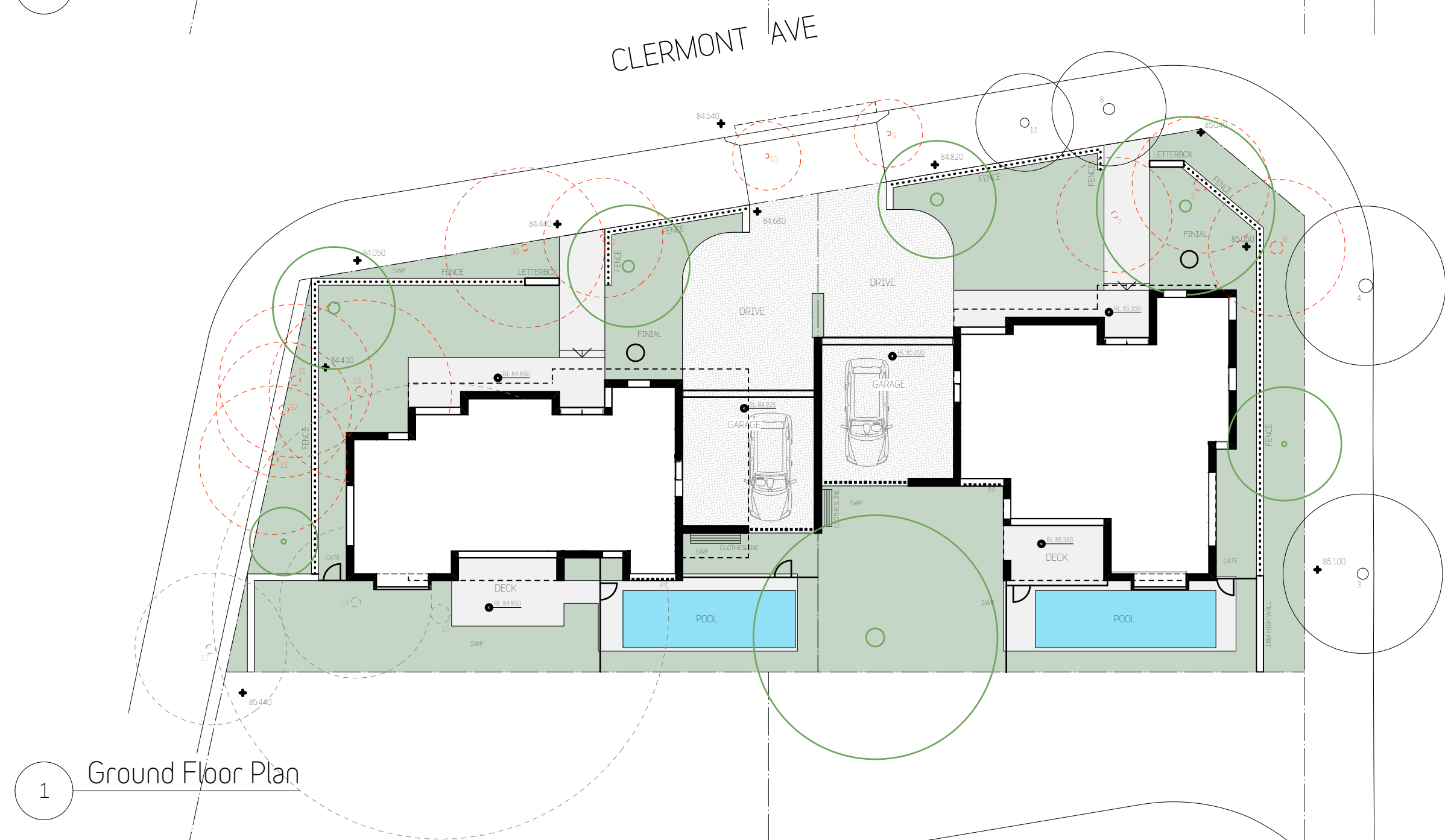
-

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Bors Dragas NSW ARB #7658  
t: 0414 856 065 e: bors@studiodbd.com.au  
w: studiodbd.com.au abn: 74 219 560 787

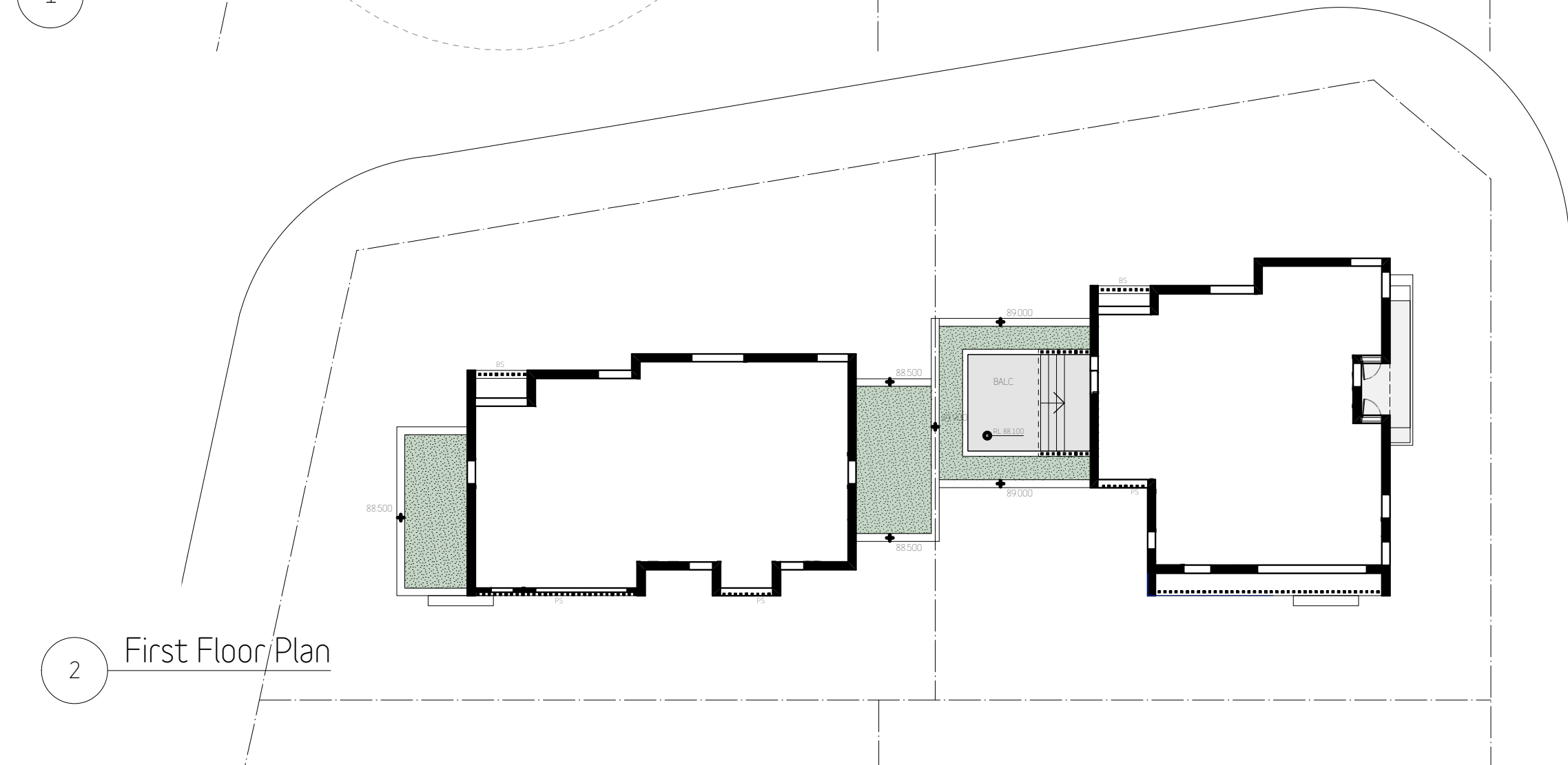
Project:		Drawn: BD		Date: 20/07/21	
12 CLERMONT AVE, RYDE				Scale: 1:200@A3 1:100@A1	
Title:		Checked: BD		Sheet Size: A3/A1	
SHADOW DIAGRAMS - 21st June		Job No: 783DA_A_		Drawing No: 16	
				Rev: C	



Basement Floor Plan



Ground Floor Plan



First Floor Plan

Revisions			
No	Description	By	Date
A	Development Application Issue	BD	28/09/21
B	Section 4.55 Issue	BD	20/06/22

**COPYRIGHT**  
Copyright in this drawing is the property of **STUDIO\_BD** and may not be retained, copied in whole or in part or used other than for the specific uses, license, and site for which it has been prepared and issued.

**VERIFICATION**  
Verify all dimensions, siting, window sizes, positioning, and setting out on site before commencing construction or manufacture.  
Figured dimensions to be used only. Do not scale off drawings. Any queries to be verified on site. Refer any discrepancy immediately to **STUDIO\_BD** for instruction.



**Member**  
Australian Institute of Architects  
2021

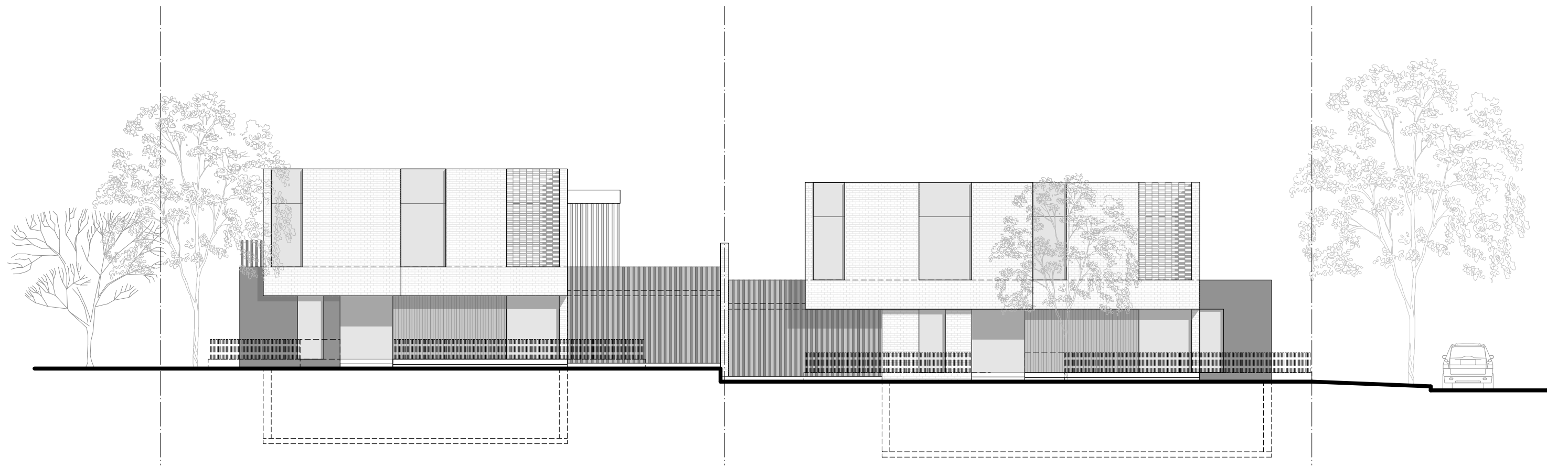
**STUDIO\_BD**  
ARCHITECTURE  
& INTERIORS

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Bors Dragas NSW ARB #7658  
t: 0414 866 065 e: bors@studiodbd.com.au  
w: studiodbd.com.au  
abn: 74 219 560 787

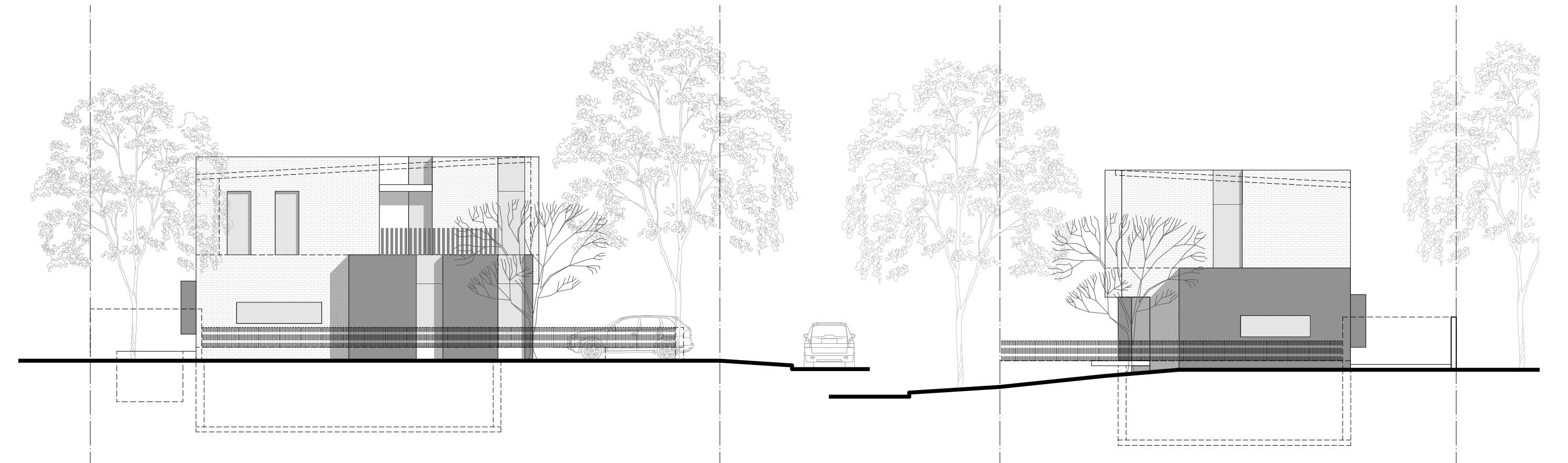
Project:  
12 CLERMONT AVE, RYDE

Title:  
NOTIFICATION PLANS

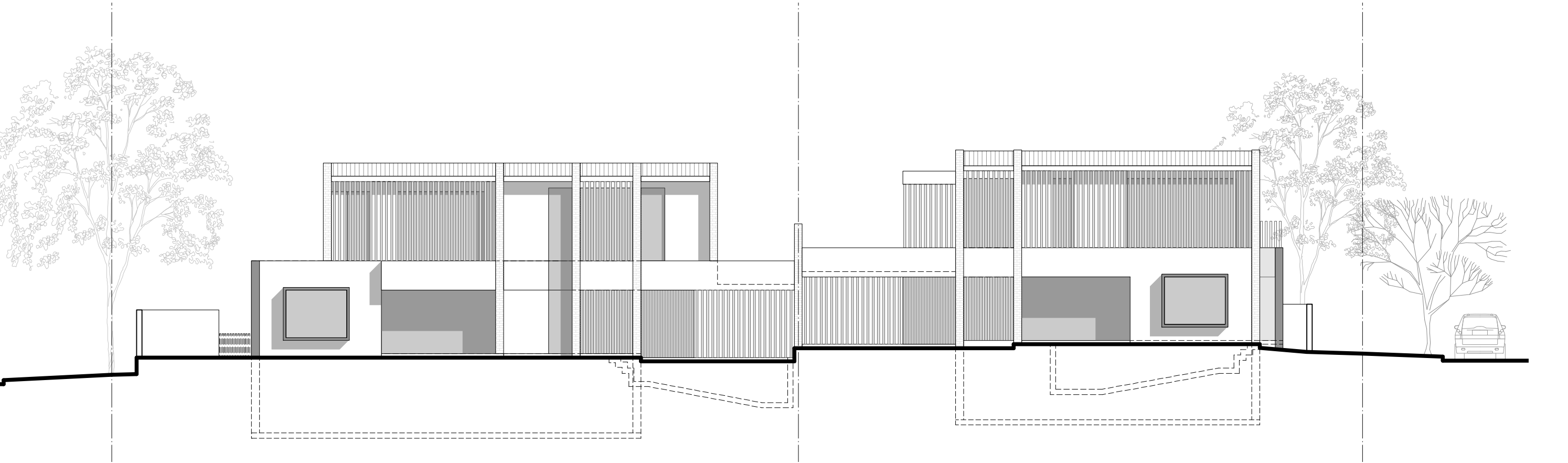
Drawn:	BD	Date:	15/07/21
Checked:	BD	Scale:	NTS
Job No:	783DA_A_	Sheet Size:	A4
Drawing No:	19	Rev:	B



East Elevation



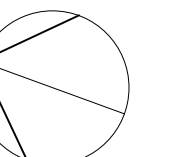
South Elevation



West Elevation

North Elevation

**City of Ryde**  
Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent





EXISTING TREE SCHEDULE : 12 CLEMONT

ID	Botanical Name	Status
T3	Callistemon viminalis	RETAIN
T4	Callistemon viminalis	RETAIN
T5	Citharexylum spinosum	REMOVE
T6	Callistemon viminalis	REMOVE
T7	Callistemon viminalis	REMOVE
T8	Olea europaea	REMOVE
T9	Jacaranda mimosifolia	REMOVE
T10	Jacaranda mimosifolia	REMOVE
T11	Buckinghamia celcissima	RETAIN
T12	Pittosporum undulatum	REMOVE
T13	Pittosporum undulatum	REMOVE (DA1)
T14	(Unknown Species - Dead)	REMOVE (DA1)
T15	Ficus rubiginosa	REMOVE (DA1)
T17	Poplar deltoides	REMOVE (DA1)
T18	Poplar deltoides	REMOVE (DA1)
T30	Cupressus sp.	REMOVE
T31	Photinia glabra	REMOVE
T32	Photinia glabra	REMOVE
T33	Photinia glabra	REMOVE

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

LEGEND:

EXISTING TREE - RETAIN

EXISTING TREE - REMOVE  
red dash = to be approved  
grey dash = approved DA2021/0148

SITE BOUNDARY

EXISTING SPOT LEVEL  
17.750 +

PROPOSED SPOT LEVEL  
RL17.750 +

TILE/ PAVER

CONCRETE PAVING  
Un-coloured in-situ concrete paving.

LAWN / TURF  
Palmetto® soft leaf buffalo or similar  
supplied in pre-grown rolls.



Matthew Higginson Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhl@mhla.com.au

S4.55 APPLICATION

notes: This drawing has been prepared for consideration and reference in the communication of conceptual ideas and is not intended as a detailed 'For Construction' document. No guarantee is given to the accuracy in location or size of existing or proposed elements, measurements or nominated or figured dimensions. Do not scale drawing. Drawing and content protected by copyright.

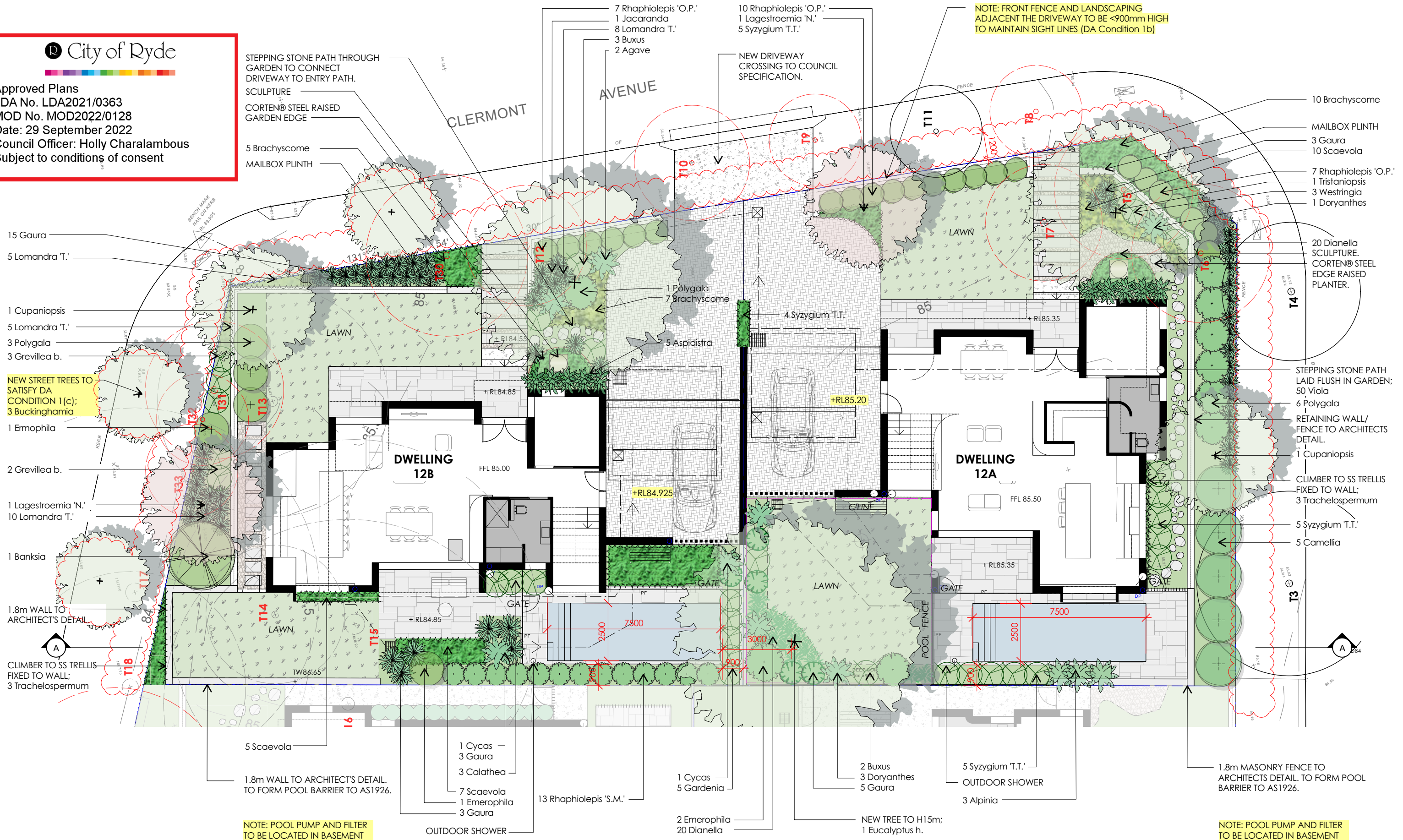
issue	date	description
01	14.09.21	Preliminary issue for comment.
A	06.10.21	Amend to comments. DA issue.
B	03.02.22	Amend to comments. DA issue.
C	28.06.22	Amend to DA Condition 1. Remove path. S4.55 issue

project  
**12 Clermont Ave, Ryde NSW**  
client  
Younes Property Pty Ltd

drawing title  
**Context Plan**

scale	project no.	drawing no.	issue
1:250 @ A3	21898	LP30	C







PLANT SCHEDULE : 12 CLERMONT AVE

Botanic Name	Common Name	Supply Size (mm/L)	Mature Height	Mature Spread	Qty
Trees					
Buckinghamia celsissima #	Ivory Curl Tree	45L	8m	4m	3
Cupaniopsis anacaroides	Tuckeroo	75L	6m	4m	2
Eucalyptus haemastoma *	Scribbly Gum	75L	15m	6m	1
Jacaranda mimosifolia	Jacaranda	75L	10m	8m	1
Lagestroemia 'Nafray'	Nafray Crepe Myrtle	75L	5m	4m	2
Tristaniopsis laurina *	Water Gum	75L	12m	4m	1
Shrubs					
Agave attenuata	Agave	200mm	1m	1m	5
Alpinia zerumbet 'Variagata'	Variagated Shell Ginger	200mm	2m	1m	3
Banksia marginata	Banksia	300mm	3m	2m	1
Buxus sempervirens	Boxwood	200mm	1m	1m	15
Camellia sasanqua	Camellia	45L	5m	2m	5
Crassula ovata	Jade Plant	200mm	1.2m	1.2m	3
Doryanthes excelsa	GyMEA Lily	45L	1.2m	1.2m	4
Emerophila nivea	Silky Emu Bush	200mm	1.5m	1.5m	4
Gardenia thunbergia	Thunberg's Gardenia	300mm	2m	1m	5
Grevillea buxifolia	Grey Spider Flower	200mm	1m	1m	5
Phormium tenax	NZ Flax	300mm	1.5m	1.5m	1
Polygala myrtifolia	Milkwort	300mm	1.5m	1.5m	12
Raphiolepis 'Oriental Pearl'	Oriental Pearl Hawthorn	300mm	1m	1m	35
Raphiolepis 'Snow Maiden'	Snow Maiden Hawthorn	300mm	1.2m	1m	13
Syzygium australe 'Select'	Brush Cherry Select Form	300mm	2m	1m	5
Syzygium 'Tiny Trev'	Tiny Trev Lily Pily	200mm	1m	1m	14
Westringia 'Aussie Box'	Aussie Box Coast Rosemary	200mm	0.9m	0.9m	3
Palms / Ferns / Cycads					
Cycas revoluta	Sago Palm	45L	1.5m	1m	2
Groundcovers / Climbers					
Aspidistra elatior	Cast Iron Plant	200mm	1m	1m	5
Brachyscome multifida	Cut Leaf Daisy	200mm	0.3m	0.6m	42
Calathea zebrina	Zebra Plant	200mm	0.7m	0.7m	3
Dianella caerulea	Flax Lily	140mm	0.7m	0.7m	40
Dichondra 'Silver Falls'	Silver Falls Kidney Weed	140mm	0.2m	1m	14
Gaura lindheimeri	Butterfly Bush	200mm	1.2m	1m	26
Lomandra 'Tanika'	Tanika Mat Rush	140mm	0.7m	0.7m	48
Scaevola aemula	Fan Flower	140mm	0.3m	0.6m	22
Trachelospermum jasminoides	Star Jasmine	140mm	0.3m	1m	6
Viola hederacea	Native Violet	140mm	0.2m	0.5m	50
* - Denotes selection to satisfy Council DCP part 2.13 - Landscaping					
# - Denotes selection to satisfy Council DA condition 1(c) & 32 (LDA2021/0363)					



Decorative Screen/ Fence



Layered Planting



Patio Fireplace : 2-sided



Landscape steps



Driveway : Cobblestone



Paving : Stone Flagging



Stepping Stones



Steel Edge : Corten®

City of Ryde

Approved Plans

LDA No. LDA2021/0363

MOD No. MOD2022/0128

Date: 29 September 2022

Council Officer: Holly Charalambous

Subject to conditions of consent



Eucalyptus haemastona



Tristaniopsis laurina



Jacaranda mimosifolia



Cupaniopsis anacaroides



Alpinia zerumbet 'Variagata'



Buxus sempervirens



Grevillea buxifolia



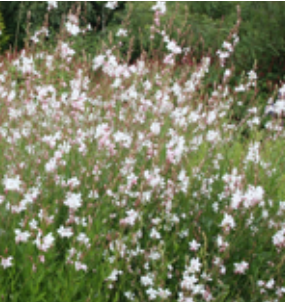
Westringia 'Aussie Box'



Raphiolepis 'Oriental Pearl'



Polygala myrtifolia



Gaura lindheimeri



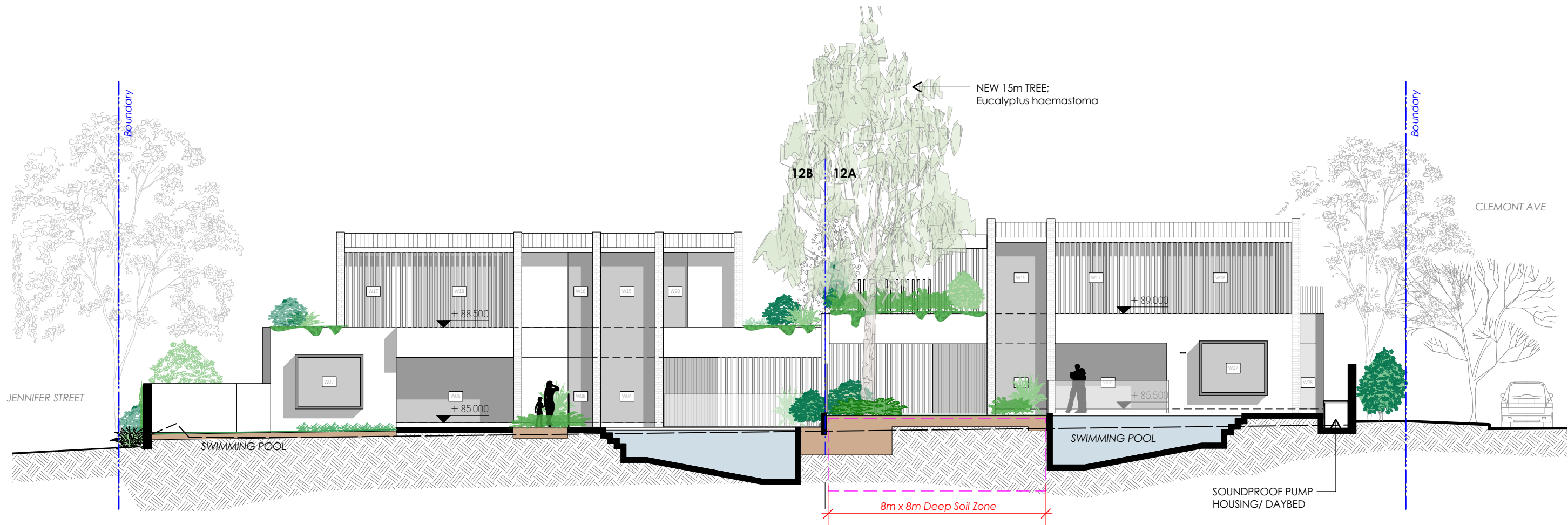
Phormium tenax

issue	date	description
01	14.09.21	Preliminary issue for comment.
A	06.10.21	Amend to comments. DA issue.
B	03.02.22	Amend to comments. DA issue.
C	28.06.22	Amend to DA Condition 1. Remove path. \$4.55 issue

project	12 Clermont Ave, Ryde NSW
client	Younes Property Pty Ltd

scale	project no.	drawing no.	issue
1:1 @ A3	21898	LP32	C





Approved Plans  
 LDA No. LDA2021/0363  
 MOD No. MOD2022/0128  
 Date: 29 September 2022  
 Council Officer: Holly Charalambous  
 Subject to conditions of consent

**Matthew Higginson** Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhl@mhla.com.au

**S4.55 APPLICATION**

**notes:** This drawing has been prepared for consideration and reference in the communication of conceptual ideas and is not intended as a detailed 'For Construction' document. No guarantee is given to the accuracy in location or size of existing or proposed elements, measurements or nominated or figured dimensions. Do not scale drawing. Drawing and content protected by copyright.

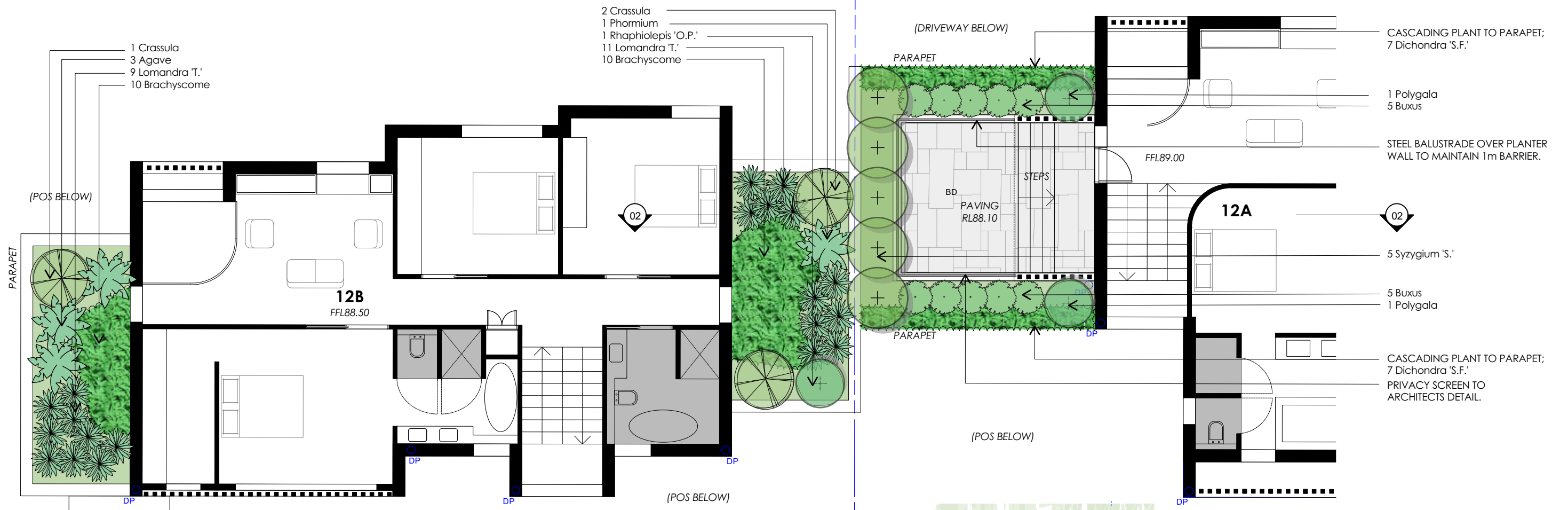
issue	date	description
01	14.09.21	Preliminary issue for comment.
A	06.10.21	Amend to comments. DA issue.
B	03.02.22	Amend to comments. DA issue.
C	28.06.22	S4.55 issue

project  
**12 Clermont Ave, Ryde NSW**  
 client  
 Younes Property Pty Ltd

drawing title  
**Section A**  
 scale  
 1:150 @ A3  
 project no.  
 21898  
 drawing no.  
 LP33  
 issue  
 C

north

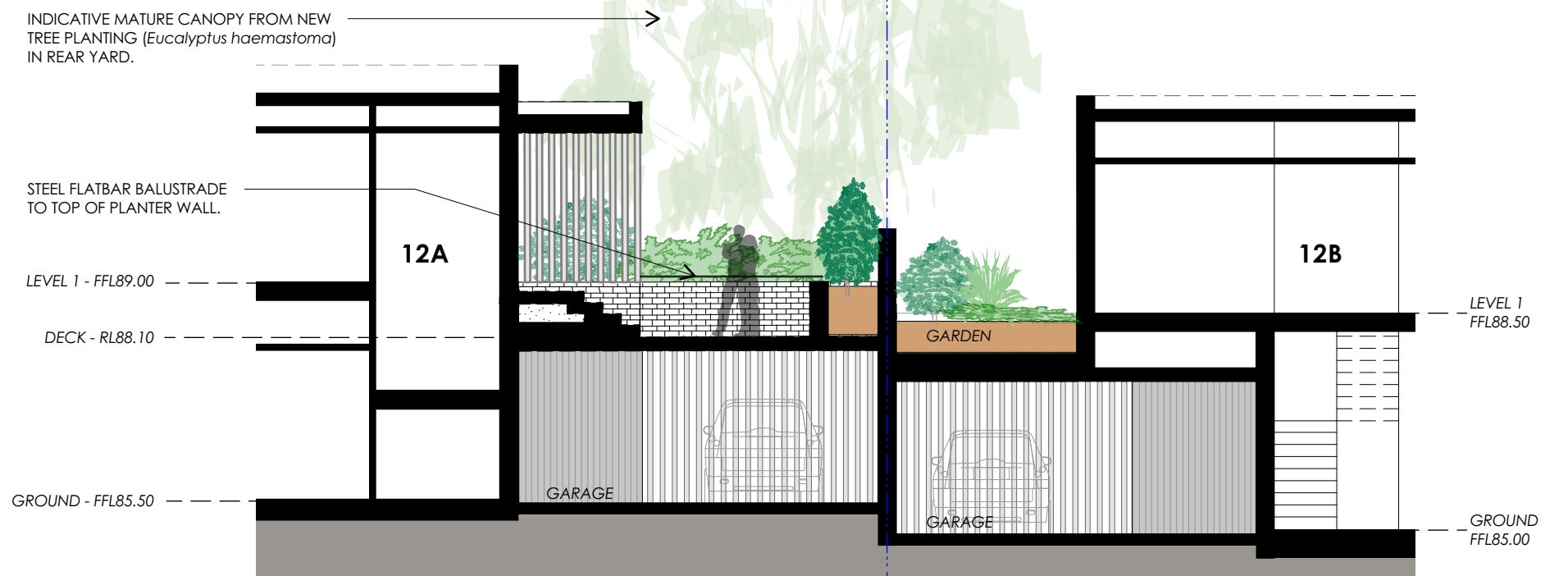




01 Plan : 12A/ 12B Balcony  
Scale: 1:100

City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent



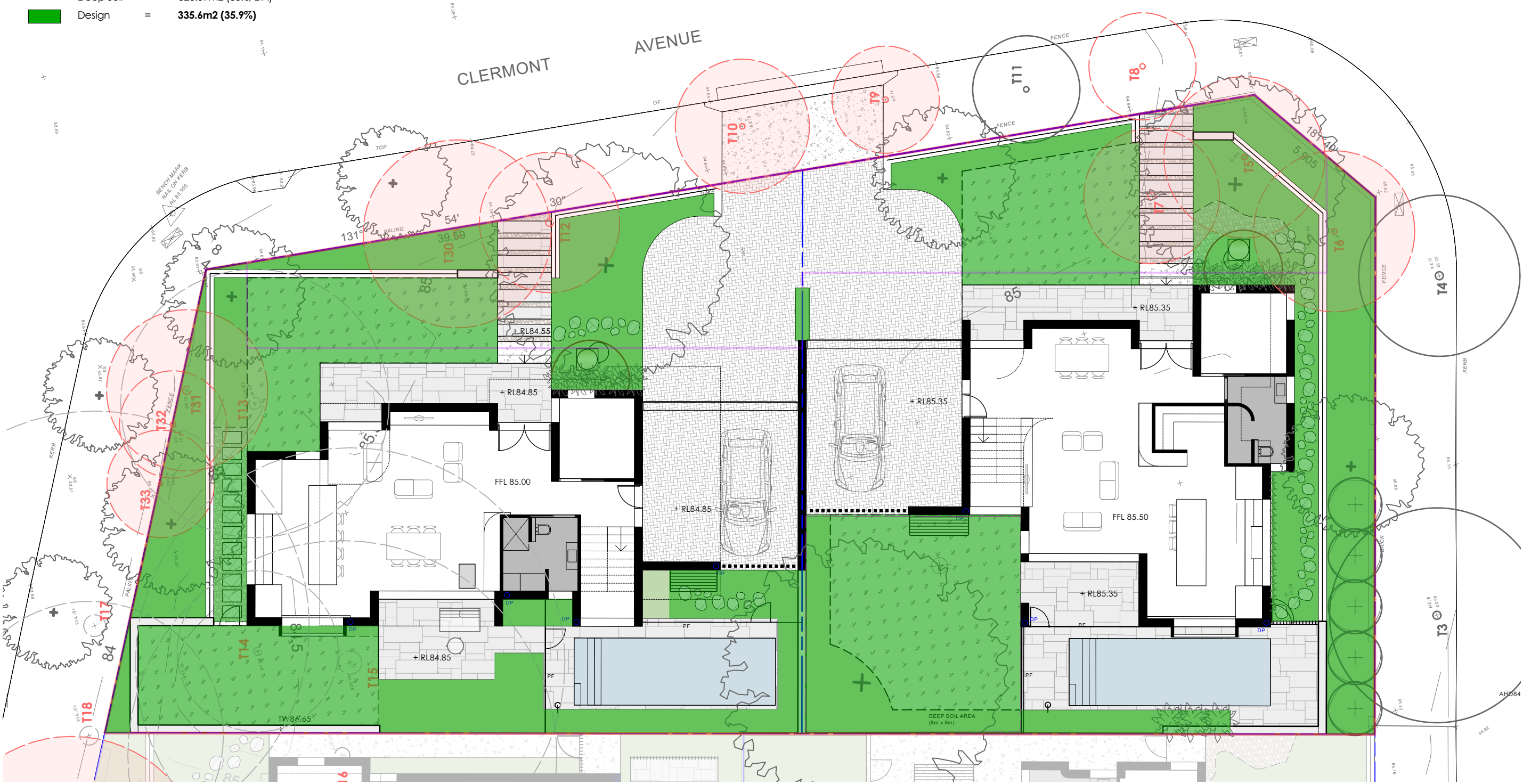
02 Section : 12A/ 12B Balcony  
Scale: 1:100

SITE AREA = 933.12m2

LANDSCAPE:

Deep Soil = 326.59m2 (35% DA)

Design = **335.6m2 (35.9%)**



 City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

**Matthew Higginson** Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhla@mhla.com.au

**S4.55 APPLICATION**

**notes:** This drawing has been prepared for consideration and reference in the communication of conceptual ideas and is not intended as a detailed 'For Construction' document. No guarantee is given to the accuracy in location or size of existing or proposed elements, measurements or nominated or figured dimensions. Do not scale drawing. Drawing and content protected by copyright.

issue	date	description
O1	14.09.21	Preliminary issue for comment.
A	06.10.21	Amend to comments. DA issue.
B	03.02.22	Amend to comments. DA issue.
C	28.06.22	S4.55 issue

project  
**12 Clermont Ave, Ryde NSW**

client  
Younes Property Pty Ltd

drawing title  
**Calculations Diagram**

scale	project no.	drawing no.	issue
1:150 @ A3	21898	LP35	C







Development Engineering Service

Approved Engineering Plans

Application Number:MOD2022/0128

Council Officer:Emily Lu

Date: 09/09/2022

# STORMWATER MANAGEMENT PLAN

## PROPOSED DUAL OCCUPANCY - S4.55

### No.12 CLERMONT AVENUE, RYDE



Approved Plans

LDA No. LDA2021/0363

MOD No. MOD2022/0128

Date: 29 September 2022

Council Officer: Holly Charalambous

Subject to conditions of consent

#### GENERAL NOTES:

- THESE PLANS REMAIN THE PROPERTY OF NY CIVIL ENGINEERING PTY LTD AND ARE SUBJECT TO COPYRIGHT
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. ALL REDUCED LEVELS (SURFACE LEVELS, INVERT LEVELS) AND CHAINAGES ARE IN METERS UNLESS OTHERWISE STATED. DO NOT SCALE OFF THE DRAWINGS, SCALES ARE AS SHOWN, USE FIGURED DIMENSIONS.
- THIS PLAN IS TO BE READ IN JUNCTION WITH LATEST ARCHITECTURAL, STRUCTURAL, UTILITY AND LANDSCAPE PLANS IN ADDITION TO ANY RELEVANT GEOTECHNICAL, SOIL CLASSIFICATION OR REF/ENVIRONMENTAL REPORTS. ENGINEER IS TO BE NOTIFIED OF ANY DISCREPANCIES QUOTED ON THIS PLAN.
- ALL WORKS SHALL BE CARRIED OUT TO LOCAL COUNCIL'S DEVELOPMENT CONTROL PLAN AND SPECIFICATIONS, ASINZS 3500.3 AND B.C.A.
- ALL LEVELS SHALL RELATE TO THE ESTABLISHED BM, PM AND/OR LM. ALL EXISTING SERVICES ARE TO BE VERIFIED FOR LOCATION AND DEPTH PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR TO NOIFY DESIGNER OF ANY DISCREPANCIES OF SERVICE LEVELS QUOTED ON THIS PLAN. ALL SURVEY INFORMATION, BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF WORKS. NO TREES SHALL BE REMOVED WITHOUT THE WRITTEN PERMISSION OF COUNCIL.
- THE CONTRACTOR SHALL TAKE ALL DUE CARE TO USE THE ABSOLUTE MINIMUM AREA FOR CONSTRUCTION AND THAT NO UNDUE DAMAGE IS DONE TO THE EXISTING VEGETATION.
- THE CONTRACTOR SHALL COMPLY WITH CONDITIONS, AND SPECIFICATION OF COUNCIL AND ALL ACTS OF THE NSW EPA.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE CARE TO PROTECT EXISTING SERVICES. DAMAGED SERVICES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING WORK.
- SUITABLE WARNING SIGNS AND BARRICADES ARE TO BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AND AS DIRECTED BY THE RELEVANT AUTHORITY.
- SERVICES SHOWN ARE INDICATIVE ONLY FROM AVAILABLE INFORMATION AND THE TIME OF SITE INVESTIGATION (IF ANY). THE BUILDER IS TO NOTIFY ENGINEER OF ANY DISCREPANCIES QUOTED ON THIS PLAN.
- RESTORE ALL TRAFFIC AREAS TO PRE EXISTING CONDITION. FOR ALL SURFACES OTHER THAN IN TRAFFIC AREAS RESTORE DISTURBED SURFACES TO PRE-EXISTING CONDITION AND COMPACT AS SPECIFIED.
- RESTORE ALL AUTHORITY OWNED AREAS TO COUNCIL AND/OR AUTHORITY STANDARD AND SPECIFICATION.
- THE WORK AS CONSTRUCTED WORKS SHALL BE INSPECTED BY THE ENGINEER, MINIMUM 48 HOURS NOTICE SHALL BE PROVIDED FOR ALL INSPECTION REQUESTS.
- THE DESIGN PLANS HEREIN ARE SUBJECT TO COUNCIL APPROVAL PRIOR TO CONSTRUCTION.
- WORK AS CONSTRUCTED DRAWINGS TO BE REQUESTED AND RECEIVED IN CAD/DWG FILE TYPE AND HARD COPY 'RED LINE' MARKUP FROM CONSTRUCTOR FOR VERIFICATION AND CERTIFICATION.

#### ROOF STORMWATER DRAINAGE NOTES:

- ALL DOWN PIPES TO BE MINIMUM DN90 OR 100x50MM FOR GUTTERS SLOPE 1:500 AND STEEPER AS PER AS 3500.3 - 3.7.8
- ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3.
- ALL DOWNPIPES TO BE FITTED VERTICALLY TO THE SOLE OF EAVES GUTTERS, RAINHEAD AND/OR SUMP.
- ALL DOWNPIPES TO DRAIN INTO RAINWATER TANK AND OR PIT PRIOR TO DISCHARGE OFFSITE UNLESS PRIOR APPROVAL IS OBTAINED FROM COUNCIL IN WRITING OR NOTED OTHERWISE ON THIS PLAN.
- ALL EAVES GUTTERS TO BE SIZED FOR ARI 20 - AS PER AS 3500.3 - 3.5 AND APPENDIX H.
- ROOF DRAINAGE INSTALLATION TO BE IN ACCORDANCE TO AS 3500.3 SECTION 4.

#### STORMWATER DRAINAGE NOTES:

##### PIPE SIZE:

- THE MINIMUM PIPE SIZE SHALL BE:
  - DN90 FOR ALL DOWNPIPES;
  - DN100 WHERE THE LINE ONLY RECEIVES ROOF STORMWATER RUNOFF, OR;
  - DN100 WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS.

##### PIPE GRADE:

- THE MINIMUM PIPE GRADE SHALL BE:
  - FOR DN100 - DN150 - 1.00%
  - FOR DN225 - 0.50%
  - FOR DN300 - 0.45%
  - FOR DN375 - 0.35%

##### STANDARD COVER:

- MINIMUM PIPE COVER FOR PVC PIPES SHALL BE AS PER AS 3500.3 TABLE 6.2.5:
  - NOT SUBJECT TO VEHICULAR LOADING:
    - WITHOUT PAVEMENT SINGLE DWELLINGS - 100mm
    - WITHOUT PAVEMENT OTHER THAN SINGLE DWELLINGS - 300mm
    - WITH PAVEMENT (BRICK/PAVERS) AND/OR UNREINFORCED CONCRETE - 100mm
  - SUBJECT TO VEHICULAR LOADING:
    - ROADS (SEALED) - 600mm
    - ROADS (UNSEALED) - 750mm
    - OTHER THAN ROADS (WITH PAVEMENT) - 100mm
    - OTHER THAN ROADS (WITHOUT PAVEMENT) - 450mm

##### PIPE INSTALLATION

- PIPES AND FITTINGS FOR STORMWATER DRAINAGE SHALL BE AS FOLLOWS:
  - FOR PIPE SIZES UP TO DN225 - PVC WITH SOLVENT WELDED JOINTS (IN GROUND).
  - FOR PIPE SIZES GREATER THAN DN225 - RCP WITH RUBBER RING JOINTS.
  - FOR LARGER PIPE DEPTHS AS SPECIFIED IN AS 3500.3 - RCP WITH RUBBER RING JOINTS.
  - FOR PIPES AND FITTINGS FOR SUBSOIL DRAINAGE SHALL BE SLOTTED PVS WITH SOLVENT WELDED JOINTS MINIMUM DN150.
- FOR GRATED DRAINS SHALL BE MINIMUM DN150 IN NON-TRAFFICABLE ZONES AND DN225 IN TRAFFICABLE ZONES.
- LAY AND JOINT ALL PIPES IN ACCORDANCE WITH THE MANUFACTURING RECOMMENDATIONS AND:
  - AS 3725-1989 - LOADS ON BURIED CONCRETE PIPES
  - AS 2566 - 1988 - BURIED FLEXIBLE PIPELINES
  - AS 1597.2 - 1996 - PRECAST REINFORCED CONCRETE BOX CULVERTS
  - AS 3500 - 1990 NATIONAL PLUMBING AND DRAINAGE CODE - PART 2 SANITARY PLUMBING AND SANITARY DRAINAGE - SYDNEY WATER REQUIREMENTS.
- ALLOW TO TEST ALL PIPES AND PITS TO MANUFACTURERS REQUIREMENTS.

##### CONNECTIONS TO STORMWATER SYSTEMS UNDER BUILDINGS:

IN ACCORDANCE WITH AS 3500.3 SECTION 9.2

##### CONNECTIONS TO COUNCIL STORMWATER SYSTEMS:

CONNECTION TO COUNCIL STORMWATER SYSTEM TO BE IN ACCORDANCE TO LOCAL COUNCIL DCP AND STANDARDS. NO CONNECTIONS TO BE MADE UNTIL PROPER PERMIT/APPROVALS ARE OBTAINED FROM LOCAL COUNCIL IN WRITING.

##### WARNING:

EXISTING SERVICES SHOWN ON THESE PLANS ARE NOT GUARANTEED COMPLETE OR CORRECT AND FURTHER INFORMATION IS REQUIRED FROM THE RELEVANT AUTHORITY AND FIELD INVESTIGATION AND ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

#### LEGEND

SURFACE INLET PIT		GRATED TRENCH DRAIN	
SURFACE INLET PIT (WITH ENVIROPOD 200 MICRON)		ABSORPTION TRENCH	
ACCESS GRATE (WITH GROSS POLLUTANT TRAP)		PROPOSED ROOF GUTTER FALL	
450 SQUARE INTERVAL	450 X 450	PROPOSED DOWNPIPE SPREADER	
GRATE LEVEL = 75.50	SL 75.50	STORMWATER PIPE 100mm DIA. MIN. UNO	
INVERT LEVEL = RL 75.20	IL 75.20	SUBSOIL PIPE	
PROPOSED DOWNPIPE 90mm DIA. OR 100mm x 50mm MIN.		EXISTING STORMWATER PIPE	
NATURAL GROUND FINISHED DESIGN LEVEL	×	INSPECTION RISER	
		RAINWATER HEAD	

#### STORMWATER PIT/STRUCTURES NOTES:

##### PIT SIZES AND DEPTHS:

- PIT SIZES WILL BE AS FOLLOWS:

DEPTH (mm)	MIN. PIT SIZE (mm)
UP TO 450	350x350
450 - 600	450x450
600 - 900	600x600
900 - 1200	600x900
1200+	900x900 (WITH STEP IRONS)

##### PIT DESIGNS:

- TRENCH DRAINS; CONTINUOUS TRENCH DRAINS ARE TO BE MIN. DN150 AND MIN. 100mm DEPTH. THE BARS OF THE GRATE ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.
- STEP IRONS: PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS 1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.
- PLASTIC/PVC PITS: PVC PITS WILL ONLY BE PERMITTED IF THEY ARE MAX. 450x450 AND MAX. 450mm DEPTH AS WELL AS BEING HEAVY DUTY.
- IN-SITU PITS: IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF CLAUSE 4.6.3 OF AS 3500.4. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.
- GRATES: GRATES ARE TO BE GALVANIZED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

##### INSTALLATION NOTES:

- ALL PIPES INTO PITS TO BE CUT FLUSH WITH PIT WALL.
- ALL PITS THAT ARE INSTALLED AT GREATER THAN 600mm DEEP TO BE MIN. 600x600 PIT.
- GRATED COVERS ON PITS GREATER THAN 600mm TO BE HINGED.
- BASE OF PIT TO BE SAME LEVEL OF INVERT OF OUTLET.
- OUTLET PIPE FROM ANY PIT TO BE 20mm LOWER THAN INLET PIPE/S



APPROVED BY  
NADER ZAKI  
MIEAust CPEng NER

T 0416 334 977  
E admin@nvcivilengineering.com.au  
W www.nvcivilengineering.com.au

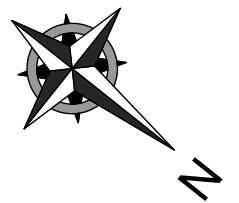
REVISION	DRAWN	DESCRIPTION	DATE
A	MR	ISSUED FOR DA	29.09.2021
B	SR	ISSUED FOR S4.55	22.06.2022
C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022


DRAWING TITLE
DETAILS, NOTES & LEGEND
PROJECT TITLE
PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE

SHEET SIZE	A3	JOB REFERENCE
DESIGNED	NZ	E210095
CHECKED	NZ	DRAWING No.
ISSUE	C	D1
SCALE	-	No. IN SET
		11

## AUTOMATIC WITH FLOAT SWITCHES

100mm DIA  
AT 1% (MIN)



APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE
NADER ZAKI MIEAust CPEng NER 	A	MR	ISSUED FOR DA	29.09.2021
	B	SR	ISSUED FOR S4.55	22.06.2022
	C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022
T 0416 334 977 E <a href="mailto:admin@nvcivilengineering.com.au">admin@nvcivilengineering.com.au</a> W <a href="http://www.nvcivilengineering.com.au">www.nvcivilengineering.com.au</a>				

DRAWING TITLE		SHEET SIZE		JOB REFERENCE	
STORMWATER MANAGEMENT BASEMENT PLAN		A3		E210095	
		DESIGNED			
PROJECT TITLE		CHECKED		DRAWING No.	
PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE		NZ		D2	
		ISSUE		C	
		SCALE		1:200	
				No. IN SET	
				11	



AREA CALCULATIONS		
TOTAL SITE AREA	933.0	m <sup>2</sup>
EXISTING DEVELOPMENT		
ROOF AREA	0.0	m <sup>2</sup>
PAVED AREA	0.0	m <sup>2</sup>
DRIVEWAY AREA	0.0	m <sup>2</sup>
IMPERVIOUS AREA	0.000000	m <sup>2</sup>
TOTAL IMPERVIOUS AREA PERCENTAGE	0.000000	%
PROPOSED DEVELOPMENT		
PROPOSED ROOF AREA	383.2	m <sup>2</sup>
PROPOSED PAVED AREA	41.2	m <sup>2</sup>
PROPOSED DRIVEWAY AREA	75.2	m <sup>2</sup>
TOTAL IMPERVIOUS AREA	499.600000	m <sup>2</sup>
TOTAL IMPERVIOUS AREA PERCENTAGE	53.547696	%

#### DRAINAGE PIPE LEGEND

- EXISTING STORMWATER PIPE
- DRAINAGE PIPES TO RAINWATER TANK
- DRAINAGE PIPES VIA GRAVITY
- CHARGED DRAINAGE PIPES

NOTE: ALL IN GROUND PIPES TO BE 100mm DIA PVC UNO

NOTE: ENSURE ANY PROPOSED PAVING IS GRADED SO THAT IT IS NOT IMPACTING ADJOINING PROPERTIES.

#### INSPECTION RISER (IR)

PROVIDE 'SCREW CAP' INSPECTION RISER AT LOWEST POINT OF 'CHARGED LINES'



#### Development Engineering Service

#### Approved Engineering Plans

Application Number:MOD2022/0128

Council Officer:Emily Lu

Date: 09/09/2022

#### OSD WARRANT

LGA: RYDE COUNCIL  
SOURCE: STORMWATER MANAGEMENT TECHNICAL GUIDELINES  
"ANY NEW DEVELOPMENT THAT EXCEEDS 35% SITE COVER WILL REQUIRE OSD"

- SITE AREA 935 m<sup>2</sup>
  - PRE-DEV IMPERVIOUS AREA 0 m<sup>2</sup> (0%)
  - POST-DEV IMPERVIOUS AREA 495 m<sup>2</sup> (53.03%)
- TOTAL SITE COVER > 35%

#### THEREFORE OSD REQUIRED

NOTE: "WHERE A RAINWATER STORAGE TANK IS INCORPORATED INTO A STORMWATER DRAINAGE SYSTEM...ON-SITE DETENTION STORAGE MAY BE REDUCED BY AN EQUAL AMOUNT"

- OSD VOLUME FROM SPREADSHEET PER DWELLING 7.19m<sup>3</sup>
- RAINWATER REUSE FROM BASIX PER DWELLING 5.0m<sup>3</sup>
- ADDITIONAL RAINWATER REUSE PER DWELLING 1.0m<sup>3</sup>

THEREFORE PROVIDE 7.58m<sup>3</sup> OSD STORAGE PER DWELLING

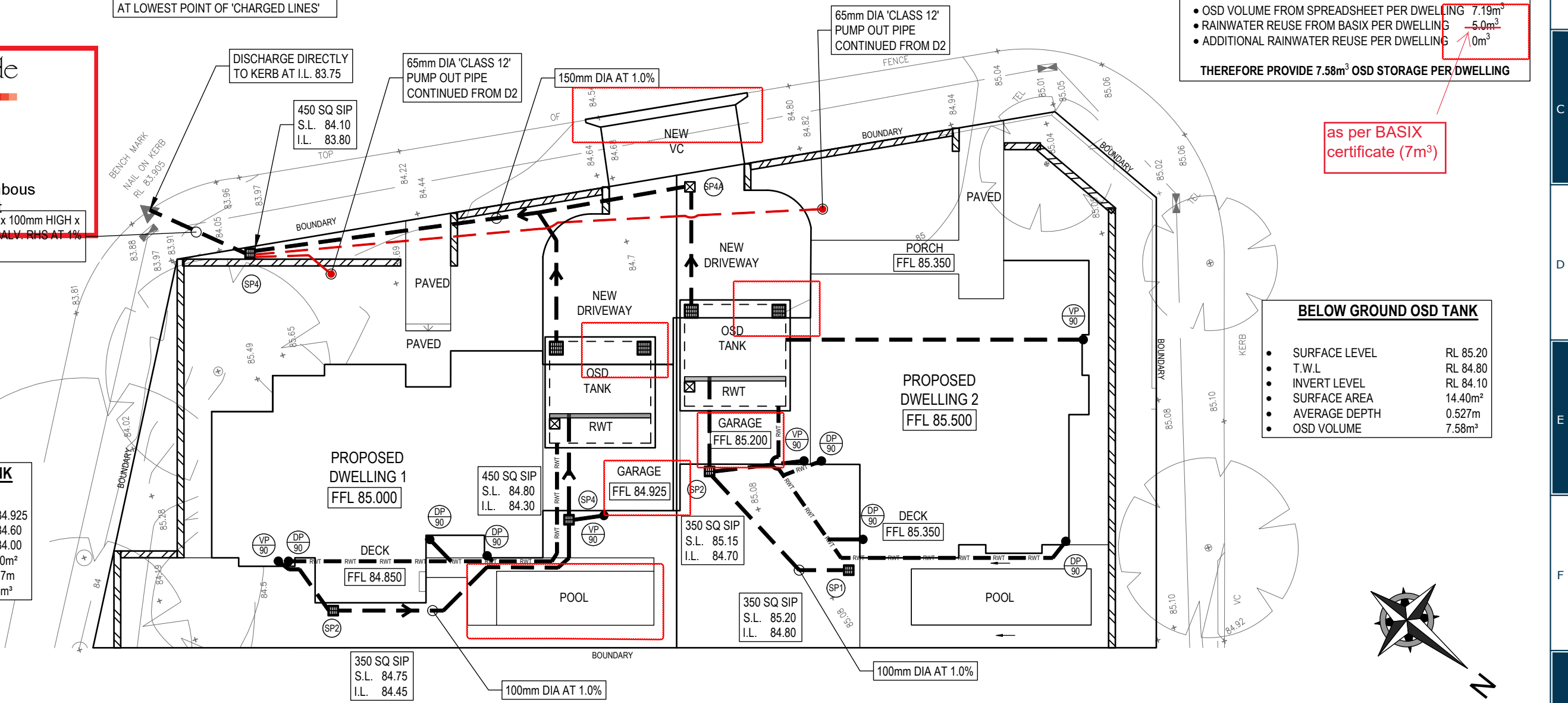
as per BASIX certificate (7m<sup>3</sup>)

#### BELOW GROUND OSD TANK

- SURFACE LEVEL RL 85.20
- T.W.L RL 84.80
- INVERT LEVEL RL 84.10
- SURFACE AREA 14.40m<sup>2</sup>
- AVERAGE DEPTH 0.527m
- OSD VOLUME 7.58m<sup>3</sup>

#### BELOW GROUND OSD TANK

- SURFACE LEVEL RL 84.925
- T.W.L RL 84.60
- INVERT LEVEL RL 84.00
- SURFACE AREA 14.40m<sup>2</sup>
- AVERAGE DEPTH 0.527m
- OSD VOLUME 7.58m<sup>3</sup>

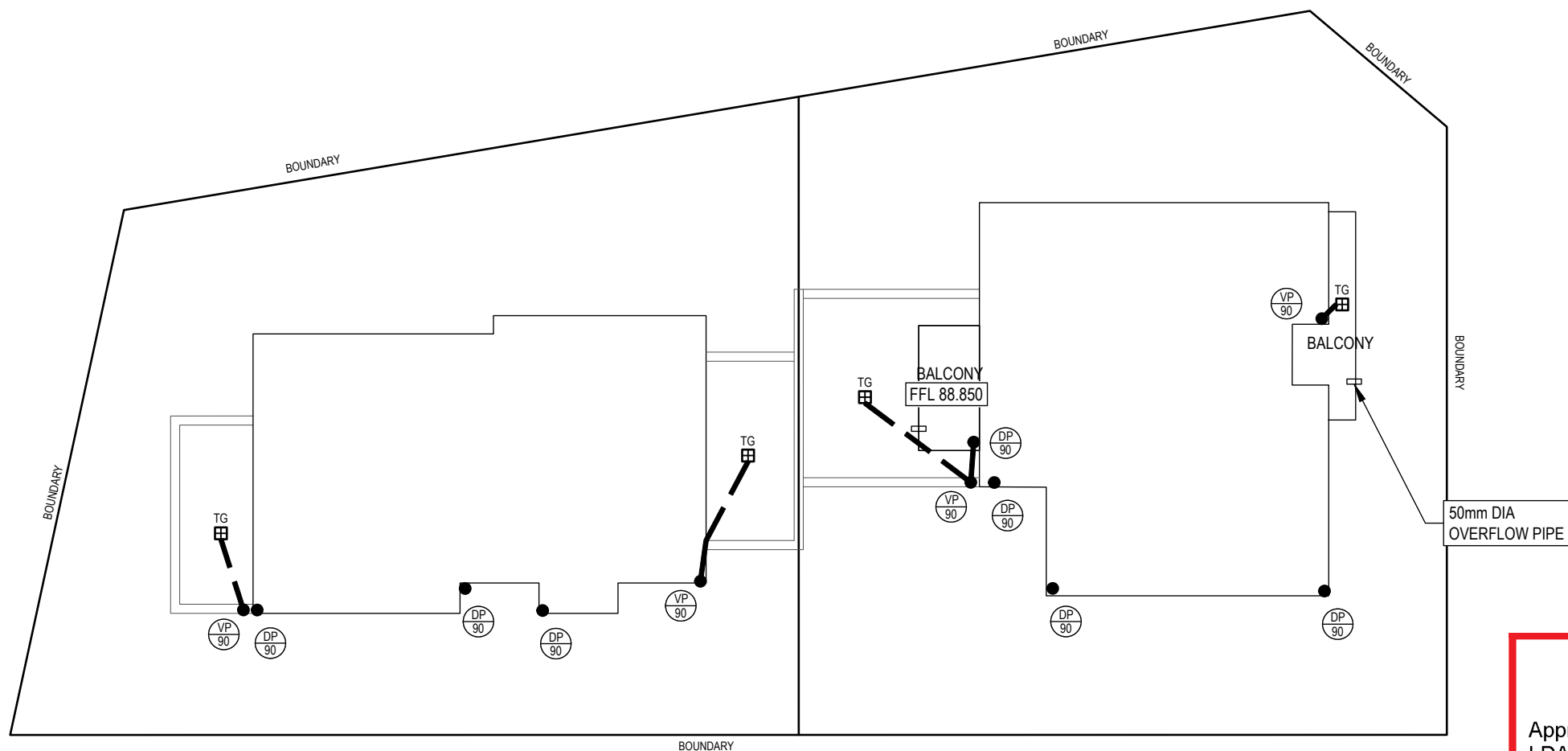


PLANS ARE FOR CONCEPT ONLY  
AND NOT FOR CONSTRUCTION

APPROVED BY		REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE		SHEET SIZE	A3	JOB REFERENCE
NADER ZAKI MIEAust CPEng NER 		A	MR	ISSUED FOR DA	29.09.2021	STORMWATER MANAGEMENT PLAN		DESIGNED	NZ	E210095
		B	SR	ISSUED FOR S4.55	22.06.2022			CHECKED	NZ	DRAWING No. D3
		C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022			ISSUE	C	No. IN SET
						PROJECT TITLE		SCALE	1:200	11
						PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE				

NY CIVIL ENGINEERING

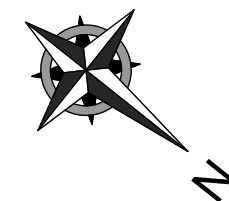
T 0416 334 977  
E admin@nvcivilengineering.com.au  
W www.nvcivilengineering.com.au



Approved Plans  
 LDA No. LDA2021/0363  
 MOD No. MOD2022/0128  
 Date: 29 September 2022  
 Council Officer: Holly Charalambous  
 Subject to conditions of consent




Development Engineering Service  
**Approved Engineering Plans**  
 Application Number: MOD2022/0128  
 Council Officer: Emily Lu  
 Date: 09/09/2022



**PLANS ARE FOR CONCEPT ONLY  
 AND NOT FOR CONSTRUCTION**



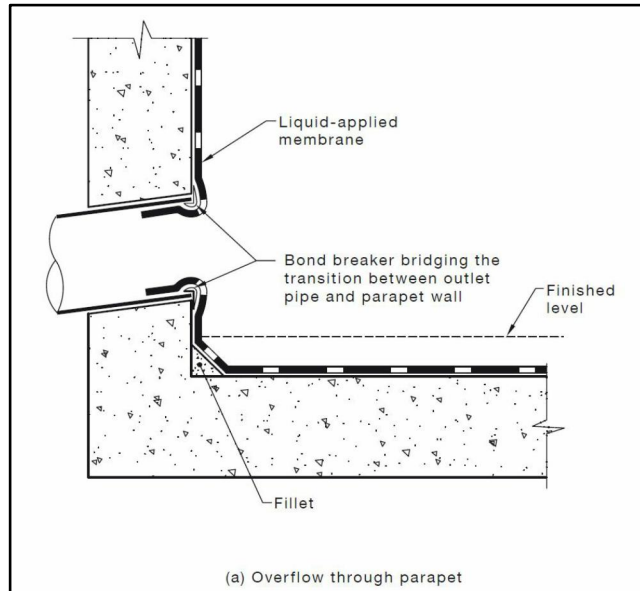
APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE
NADER ZAKI MIEAust CPEng NER 	A	MR	ISSUED FOR DA	29.09.2021
	B	SR	ISSUED FOR S4.55	22.06.2022
	C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022

T 0416 334 977  
 E [admin@nvcivilengineering.com.au](mailto:admin@nvcivilengineering.com.au)  
 W [www.nvcivilengineering.com.au](http://www.nvcivilengineering.com.au)

DRAWING TITLE
<b>STORMWATER MANAGEMENT FIRST FLOOR</b>
PROJECT TITLE
<b>PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE</b>

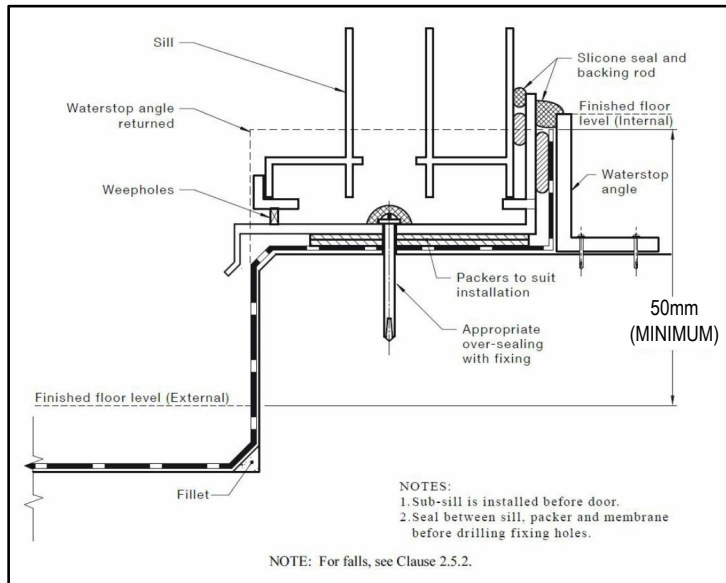
SHEET SIZE	A3	JOB REFERENCE	E210095
DESIGNED	NZ	DRAWING No.	D4
CHECKED	NZ	No. IN SET	11
ISSUE	C		
SCALE	1:200		





BALCONY PARAPET OVERFLOW - AS4654.2

NTS

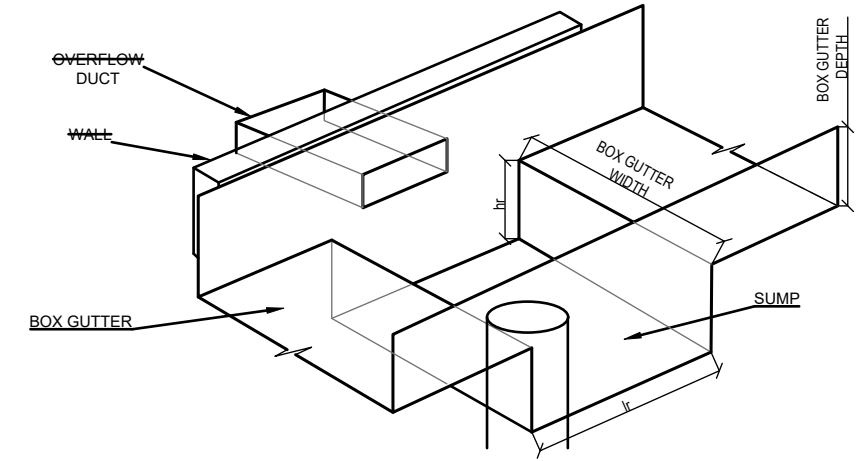


BACLONY MEMBRANE TERMINATION - AS4654.2

NTS

DIMENSIONS (mm)	
	BOX GUTTER #1
CATCHMENT AREA TO DOWNPIPE	50m <sup>2</sup>
WIDTH OF BOX GUTTER	300
DEPTH OF BOX GUTTER	121
SLOPE OF BOX GUTTER	1:200
SUMP WIDTH	300
SUMP LENGTH (lr)	400
SUMP DEPTH (hr)	75
OVERFLOW WIDTH	200
OVERFLOW DEPTH	67
DOWNPIPE DIA	90
ROOF DRAINAGE DESIGNED FOR 100 YEAR ARI STORM EVENT (I = 237 mm/hr)	

LEGEND:	
DP	- DOWNPIPE TO RWT
VP	- VERTICAL PIPE <b>NOT TO RWT</b>
HP	- HIGH POINT OF GUTTER

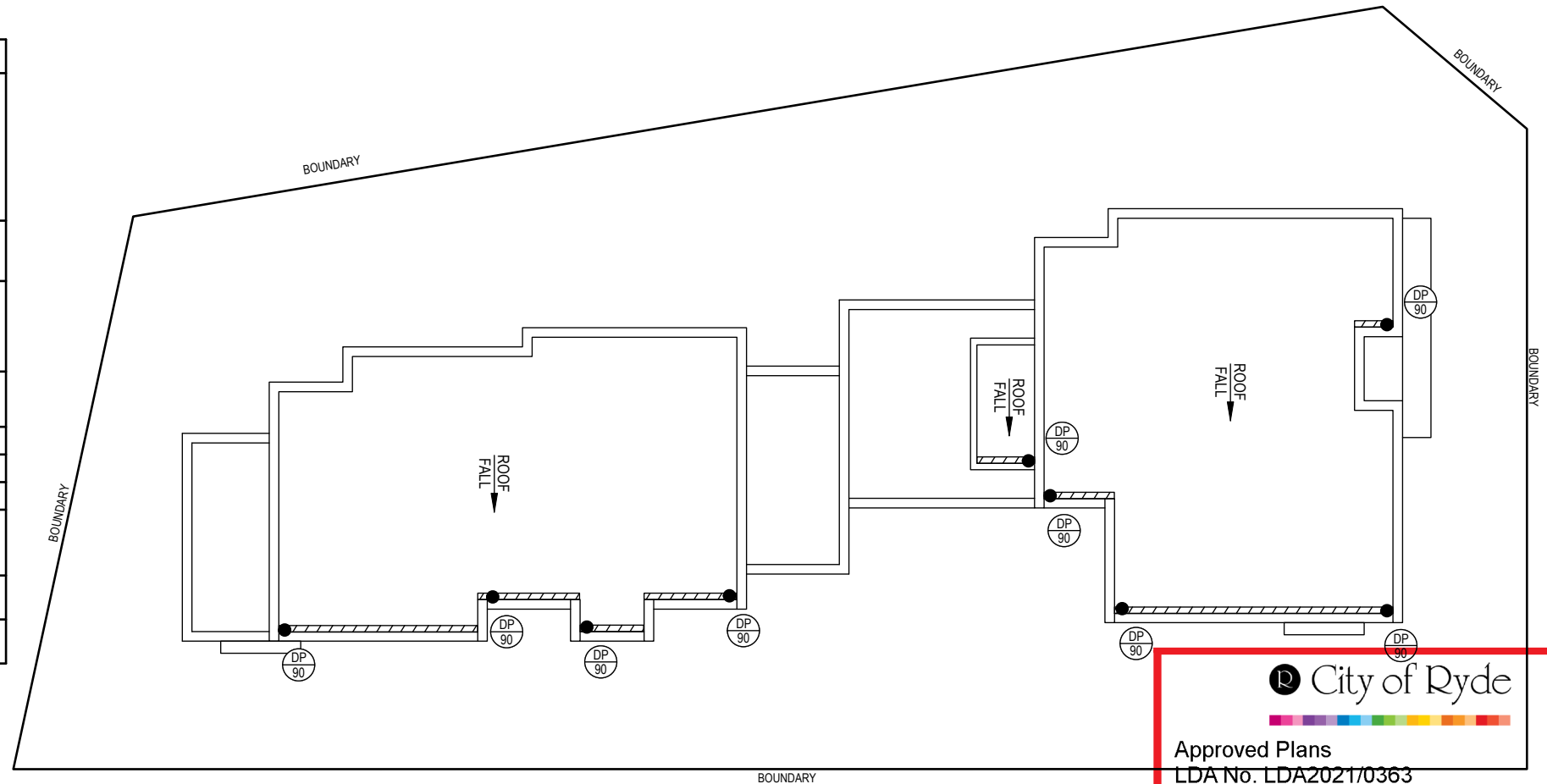


SUMP DETAIL

NTS

ROOF DRAINAGE	
• GUTTERING	- BOX GUTTER 121 DEEP x 300 WIDE
• DOWN PIPES	- 90mm DIA PVC OR COLORBOND
NOTE: ROOF DESIGNED TO 1% AEP INTENSITY 237 mm/hr	

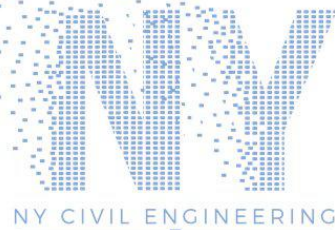
AS3500.3:2021 BOX GUTTER REQUIREMENTS				
MATERIALS	BASE METAL THICKNESS (mm)	MAXIMUM LENGTH BETWEEN EXPANSION JOINTS (m)		MINIMUM EXPANSION SPACE (mm)
		ONE END FIXED AND ONE END FREE TO MOVE	BOTH ENDS FREE TO MOVE	
ALUMINIUM	0.90	12	24	50
	1.00	12	24	
COPPER	0.60	9	18	50
	0.80	15	30	
STEEL	1.00	26	52	50
	0.55	20	40	
STAINLESS STEEL	0.75	25	50	50
PVC	0.55	20	40	50
ZINC	0.55	20	40	50
LAP JOINTS: FOR METAL GUTTERS WITH LAPS BETWEEN 20 mm TO 25 mm THE LAP SHALL BE FULLY SEALED. WIDER LAPS SHALL BE SEALED AND FASTENED AT EACH END OF THE LAP RATHER THAN FILLING THE TOTAL AREA.				
GRADIENTS: GRADIENTS SHALL BE NOT FLATTER THAN 1:200 FOR SOLE WIDTHS EQUAL TO OR LESS THAN 600 mm WIDE. DEVIATIONS FROM THESE GRADIENTS SHALL BE SMOOTH AND NOT CAUSE PERMANENT PONDING.				
OUTLETS: OUTLETS SHALL DISCHARGE THROUGH EITHER A RAINDROP OR A SUMP.				



City of Ryde  
Development Engineering Service  
Approved Engineering Plans  
Application Number: MOD2022/0128  
Council Officer: Emily Lu  
Date: 09/09/2022

City of Ryde  
Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

PLANS ARE FOR CONCEPT ONLY  
AND NOT FOR CONSTRUCTION

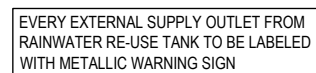


APPROVED BY  
NADER ZAKI  
MIEAust CPEng NER  
  
T 0416 334 977  
E admin@nycivilengineering.com.au  
W www.nycivilengineering.com.au

REVISION	DRAWN	DESCRIPTION	DATE
A	MR	ISSUED FOR DA	29.09.2021
B	SR	ISSUED FOR S4.55	22.06.2022
C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022

DRAWING TITLE  
**STORMWATER MANAGEMENT  
ROOF PLAN**  
PROJECT TITLE  
**PROPOSED DUAL OCCUPANCY  
No.12 CLERMONT AVENUE  
RYDE**

SHEET SIZE	A3	JOB REFERENCE	E210095
DESIGNED	NZ	DRAWING No.	D5
CHECKED	NZ	No. IN SET	11
ISSUE	C		
SCALE	1:200		




Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent



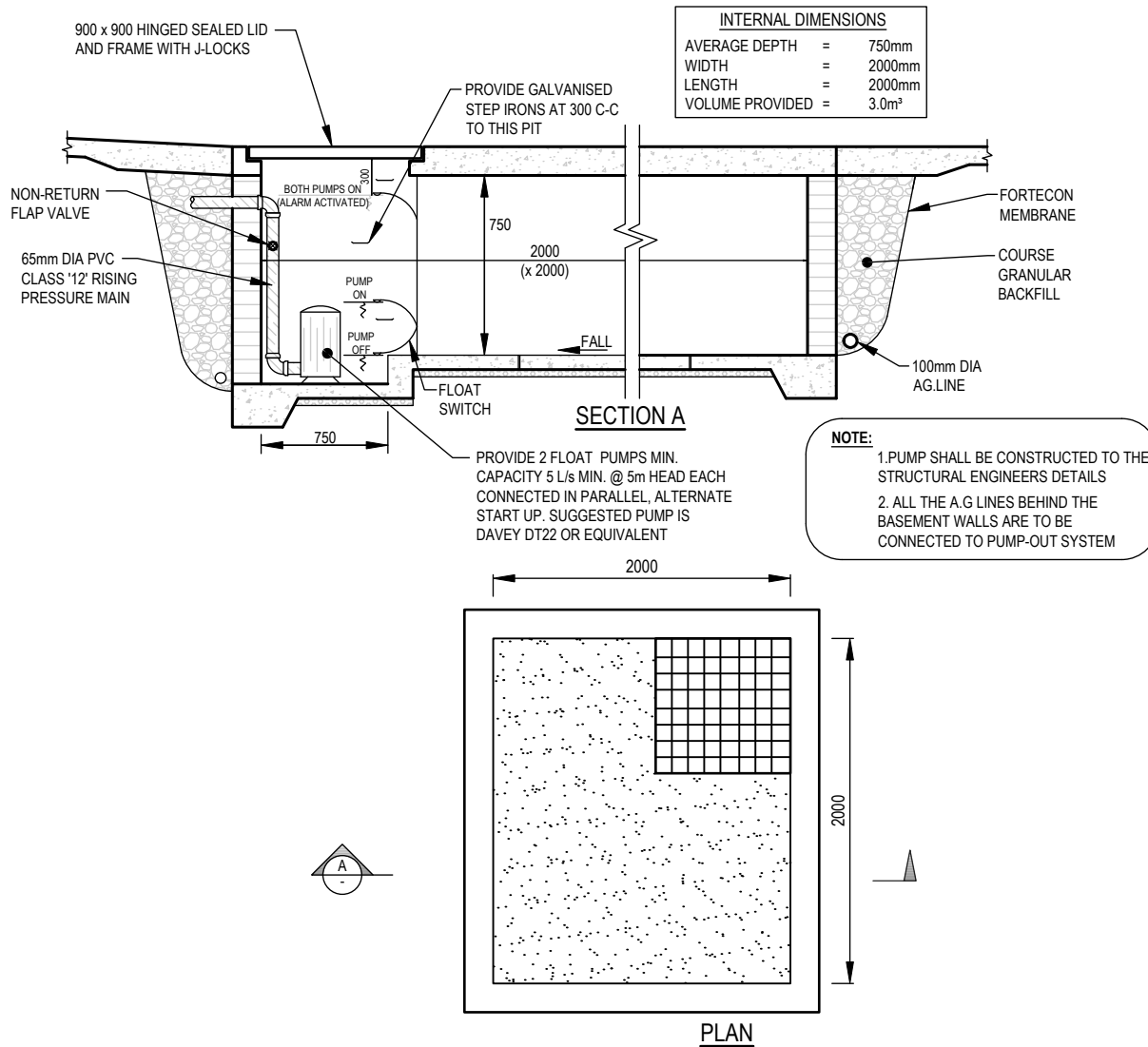
NOTE:  
ALL PROPOSED SITE PITS ARE TO BE  
CONSTRUCTED IN CONCRETE CAST IN SITU.  
PLASTIC OR BRICK PITS ARE NOT ACCEPTABLE.  
HOWEVER, 'COUNCIL MAY CONSIDER PRE-CAST  
UNITS IF THE UNITS ARE PLACED ON A SOLID  
BASE OF GRAVEL OR CONCRETE OF 75mm  
THICK AND BACKFILL UP TO HALF THE DEPTH  
OF THE PIT SURROUND WITH CONCRETE.



Application Number:MOD2022/0128  
Council Officer:Emily Lu  
Date: 09/09/2022

APPROVED BY		REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE		SHEET SIZE		A3	JOB REFERENCE														
<div>NADER ZAKI MIEAust CPEng NER</div> <div></div> <div>T 0416 334 977 E admin@nvcivilengineering.com.au W www.nvcivilengineering.com.au</div>		A	MR	ISSUED FOR DA	29.09.2021	STORMWATER DETAILS		DESIGNED		NZ	DRAWING No. D6														
		B	SR	ISSUED FOR S4.55	22.06.2022			PROJECT TITLE		PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE			CHECKED		NZ										
		C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022	ISSUE						C					No. IN SET								
																			SCALE		AS NOTED		11		



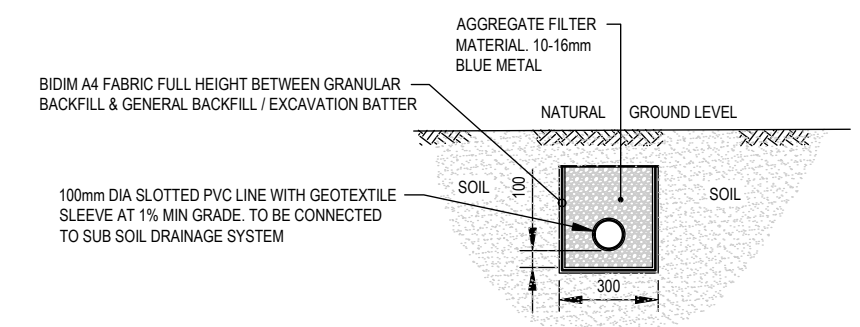


**PUMP HOLDING TANK (TYPICAL)**  
NTS

**STANDARD PUMP OUT DESIGN NOTES:**


- THE PUMP OUT SYSTEM SHALL BE DESIGNED TO OPERATE IN THE FOLLOWING MANNER-
- THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY SO AS TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
  - A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THE FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS.
  - A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL, WHEREBY ONE OF THE PUMPS WILL OPERATE AND DRAIN THE TANK TO THE LEVEL OF THE LOW-LEVEL FLOAT.
  - A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
  - AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.

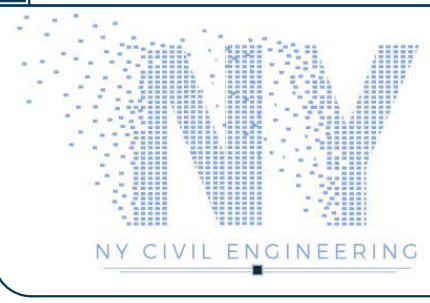
**City of Ryde**  
Development Engineering Service  
Approved Engineering Plans  
Application Number: MOD2022/0128  
Council Officer: Emily Lu  
Date: 09/09/2022



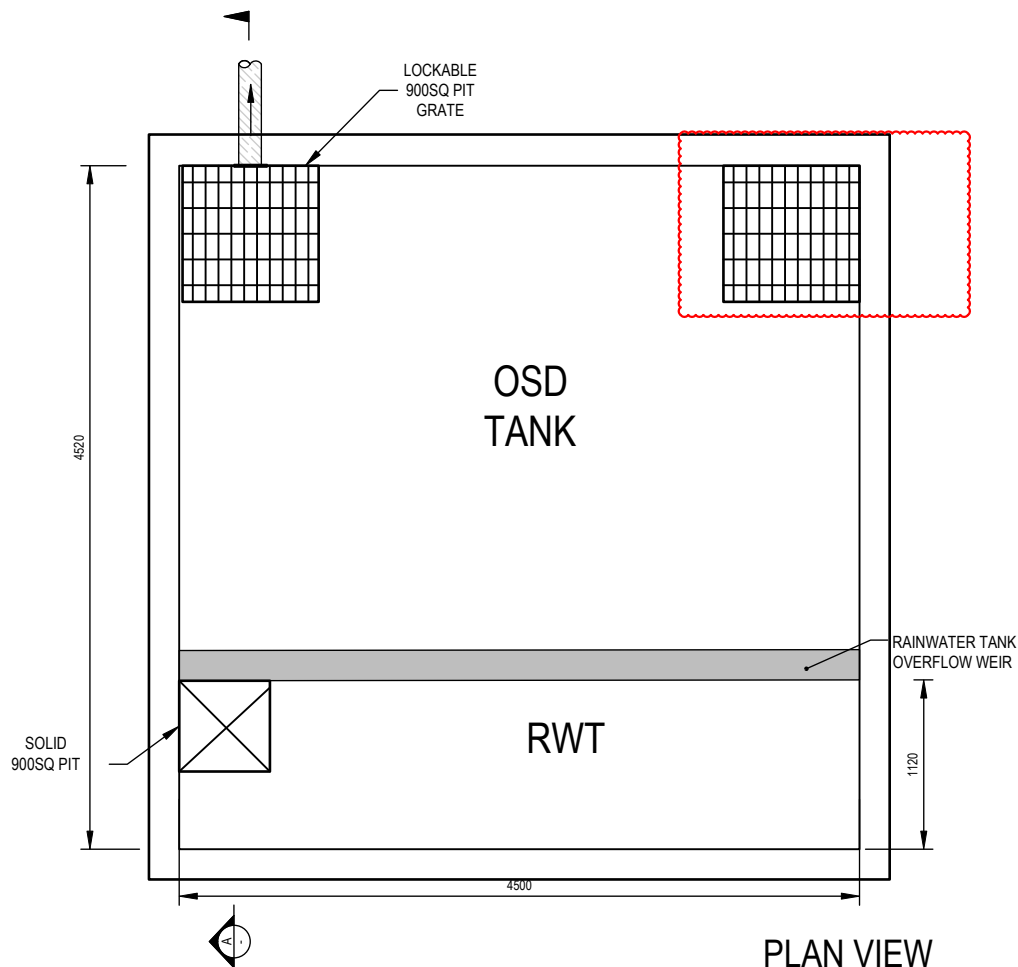
**SUB-SOIL DRAINAGE (AG.LNE)**  
NTS

**City of Ryde**  
Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

APPROVED BY		REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE		SHEET SIZE	A3	JOB REFERENCE	
<b>NADER ZAKI</b> MIEAust CPEng NER 		A	MR	ISSUED FOR DA	29.09.2021	<b>STORMWATER DETAILS</b>		DESIGNED	NZ	<b>E210095</b>	
		B	SR	ISSUED FOR S4.55	22.06.2022			CHECKED	NZ		
		C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022			ISSUE	C		
						PROJECT TITLE		SCALE	AS NOTED	DRAWING No.	
						<b>PROPOSED DUAL OCCUPANCY</b> <b>No.12 CLERMONT AVENUE</b> <b>RYDE</b>				<b>D7</b>	
										No. IN SET	
										11	



T 0416 334 977  
E admin@nvcivilengineering.com.au  
W www.nvcivilengineering.com.au

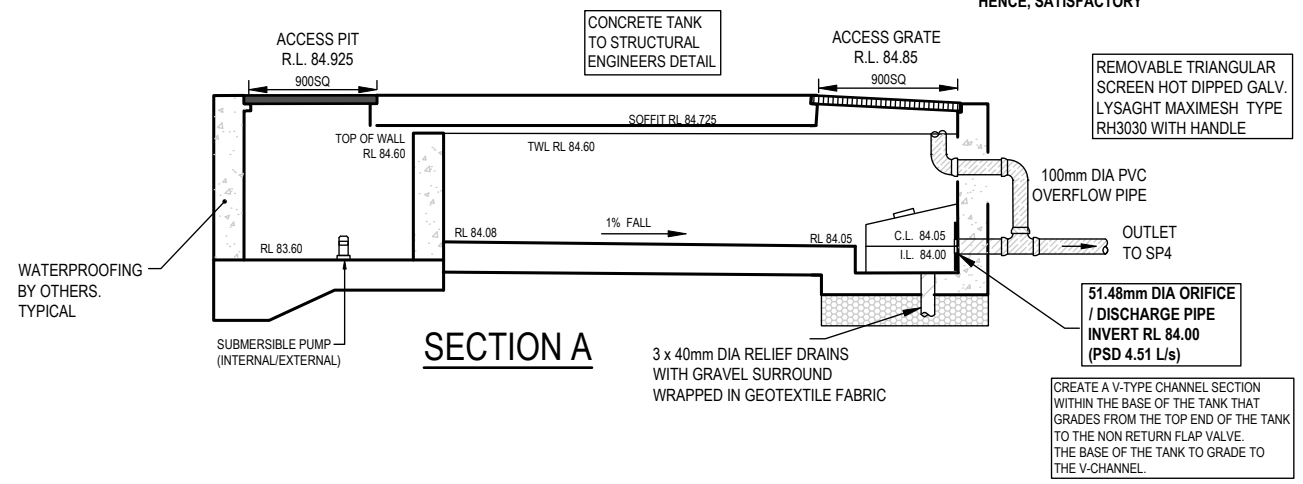


PLAN VIEW

CALCULATIONS (WEIR ON RWT):

AREA DETAINED TO DETENTION TANK = 466 m<sup>2</sup>  
MAX FLOW TO DETENTION TANK (0.86 x 237mm/hr x 0.0466Ha/360) = 0.027 m<sup>3</sup>/s  
CAPACITY OF WEIR (1.67 x 4.5 x 0.05<sup>1.5</sup>) = 0.084 m<sup>3</sup>/s

HENCE, SATISFACTORY



OSD TANK (DWELLING 1)

1:50



CONFINED SPACE DANGER SIGN

COLOURS:- "DANGER" AND BACKGROUND - WHITE  
ELLIPTICAL AREA - RED  
RECTANGLE CONTAINING ELLIPSE - RED  
OTHER LETTERING AND BORDER - BLACK

- A) A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANK/S CONFINED SPACE.
- B) MINIMUM DIMENSIONS OF THE SIGN  
- 300mm x 450mm (LARGE ENTRIES, SUCH AS DOORS)  
- 250mm x 180mm (SMALL ENTRIES SUCH AS GRATES AND MANHOLES)
- C) THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINUM OR POLYPROPELENE.
- D) SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN.



OSD PLAQUE  
NTS

City of Ryde  
Development Engineering Service  
Approved Engineering Plans  
Application Number: MOD2022/0128  
Council Officer: Emily Lu  
Date: 09/09/2022

City of Ryde  
Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent



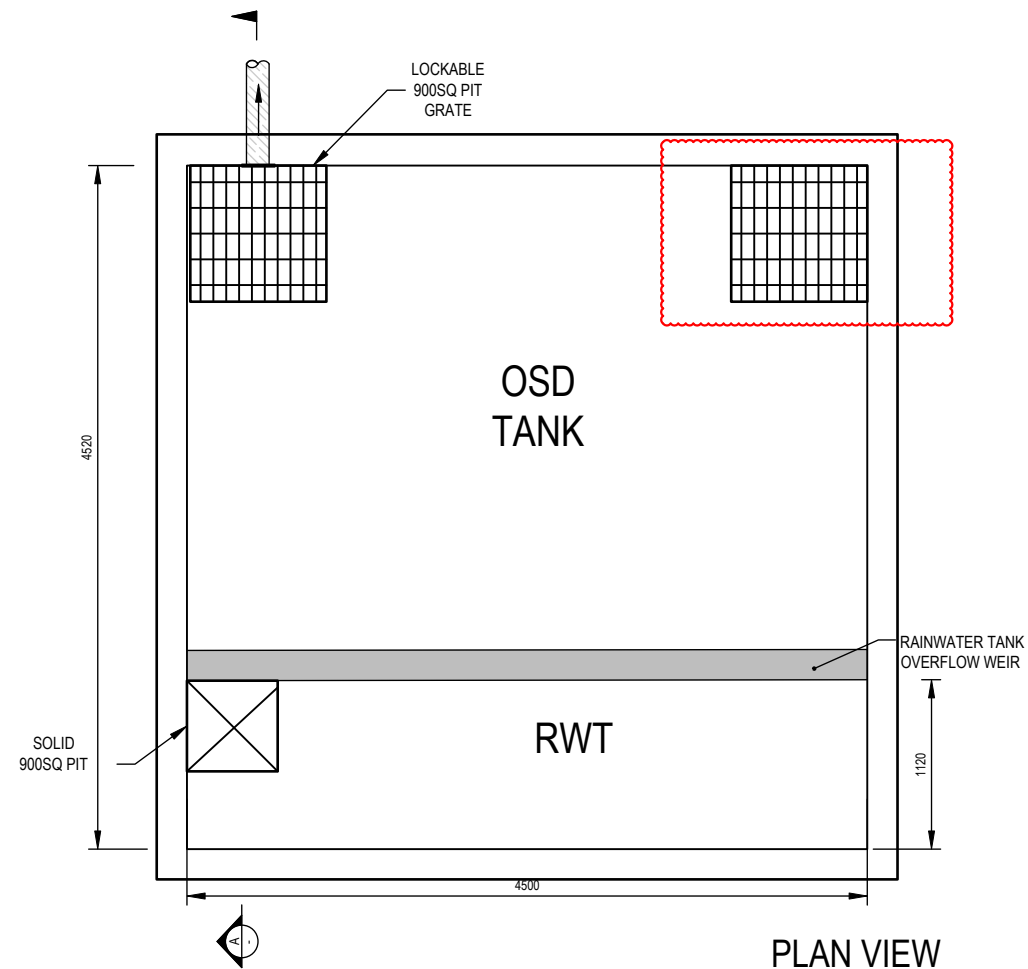
APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE
NADER ZAKI MIEAust CPEng NER 	A	MR	ISSUED FOR DA	29.09.2021
	B	SR	ISSUED FOR S4.55	22.06.2022
	C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022

T 0416 334 977  
E admin@nvcivilengineering.com.au  
W www.nvcivilengineering.com.au

DRAWING TITLE
STORMWATER DETAILS
PROJECT TITLE
PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE

SHEET SIZE	A3	JOB REFERENCE	E210095
DESIGNED	NZ	DRAWING No.	D8
CHECKED	NZ	No. IN SET	11
ISSUE	C		
SCALE	AS NOTED		



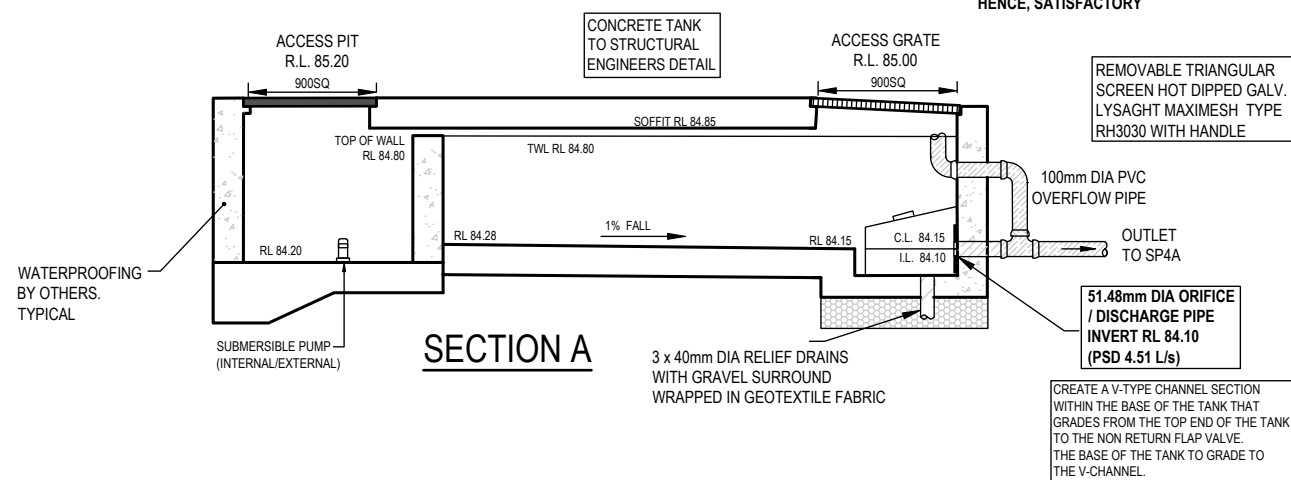


PLAN VIEW

**CALCULATIONS (WEIR ON RWT):**

AREA DETAINED TO DETENTION TANK = 466 m<sup>2</sup>  
 MAX FLOW TO DETENTION TANK (0.86 x 237mm/hr x 0.0466Ha/360) = 0.027 m<sup>3</sup>/s  
 CAPACITY OF WEIR (1.67 x 4.5 x 0.05<sup>1.5</sup>) = 0.084 m<sup>3</sup>/s

HENCE, SATISFACTORY



OSD TANK (DWELLING 2)

1:50



CONFINED SPACE DANGER SIGN

COLOURS:- "DANGER" AND BACKGROUND - WHITE  
 ELLIPTICAL AREA - RED  
 RECTANGLE CONTAINING ELLIPSE - RED  
 OTHER LETTERING AND BORDER - BLACK

- A) A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANK/S CONFINED SPACE.
- B) MINIMUM DIMENSIONS OF THE SIGN  
 - 300mm x 450mm (LARGE ENTRIES, SUCH AS DOORS)  
 - 250mm x 180mm (SMALL ENTRIES SUCH AS GRATES AND MANHOLES)
- C) THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINUM OR POLYPROPYLENE.
- D) SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN.



OSD PLAQUE  
NTS



Approved Plans  
 LDA No. LDA2021/0363  
 MOD No. MOD2022/0128  
 Date: 29 September 2022  
 Council Officer: Holly Charalambous  
 Subject to conditions of consent



Development Engineering Service  
 Approved Engineering Plans  
 Application Number: MOD2022/0128  
 Council Officer: Emily Lu  
 Date: 09/09/2022



APPROVED BY  
 NADER ZAKI  
 MIEAust CPEng NER  
  
 T 0416 334 977  
 E admin@nvcivilengineering.com.au  
 W www.nvcivilengineering.com.au

REVISION	DRAWN	DESCRIPTION	DATE
A	MR	ISSUED FOR DA	29.09.2021
B	SR	ISSUED FOR S4.55	22.06.2022
C	NZ	UPDATED BASEMENT DRAINAGE	30.08.2022

DRAWING TITLE
STORMWATER DETAILS
PROJECT TITLE
PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE

SHEET SIZE A3	JOB REFERENCE E210095
DESIGNED NZ	
CHECKED NZ	DRAWING No. D9
ISSUE C	No. IN SET 11
SCALE AS NOTED	

**DUST CONTROL:**

- NOTE: DURING EXCAVATION, DEMOLITION AND CONSTRUCTION, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT DUST FROM AFFECTING THE AMENITY OF THE NEIGHBORHOOD.

THE FOLLOWING MEASURES MUST BE ADOPTED:

1. PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES TO PREVENT WIND DIRECTION OR SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND OR ACTIVITY FROM GENERATING DUST.
2. EARTHWORKS AND SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
3. ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
4. THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE BUT SHOULD NOT BE WET TO THE EXTENT THAT RUN-OFF OCCURS.
5. ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL AT ALL TIMES BE COVERED TO PREVENT THE ESCAPE OF DUST.
6. ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXISTING THE SITE USING MANUAL OR AUTOMATED SPRAYERS AND DRIVE - THROUGH WASHING BAYS.
7. GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS SHALL BE FITTED WITH SHADE CLOTH.
8. CLEANING OF FOOTPATHS AND ROADWAYS SHALL CARRIED OUT DAILY.
9. ALL BUILDERS REFUSE, SPOIL AND/OR MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE ON COMPLETION OF THE BUILDING WORKS.

**NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
2. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
3. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
4. ROADS AND FOOTPATH TO BE SWEEPED DAILY AS REQUIRED BY COUNCIL.
5. IF YOU DO NOT COMPLY WITH COUNCIL REQUIREMENTS & DOCUMENTATION, YOU MAY BE LIABLE TO PROSECUTION FROM GOVERNMENT AUTHORITIES .

**LEGEND:**

UNDISTURBED VEGETATION

SEDIMENT FENCE

STOCK PILES

## STABILIZED SITE ACCESS

MESH & GRAVEL INLET FILTER

WATER DIVERSION

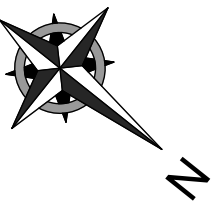
STORMWATER PIT WITH  
SEDIMENT BARRIER

PROVIDE SKIP BIN OR SIMILAR  
FOR CONSTRUCTION MATERIALS  
DURING CONSTRUCTION.

ERECT SEDIMENT FENCE,  
WHERE SHOWN, DURING  
CONSTRUCTION. REFER  
TO DETAIL


© City of Ryde

Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

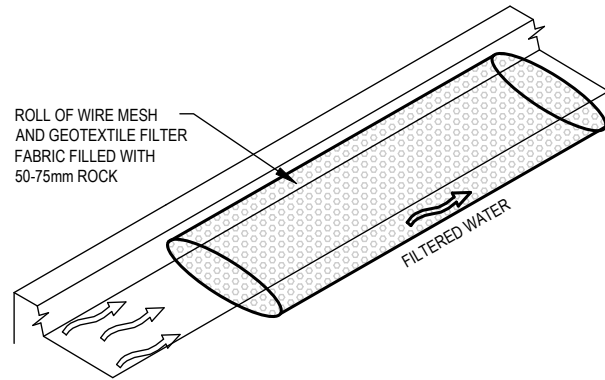
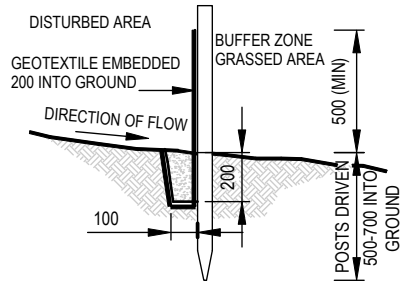
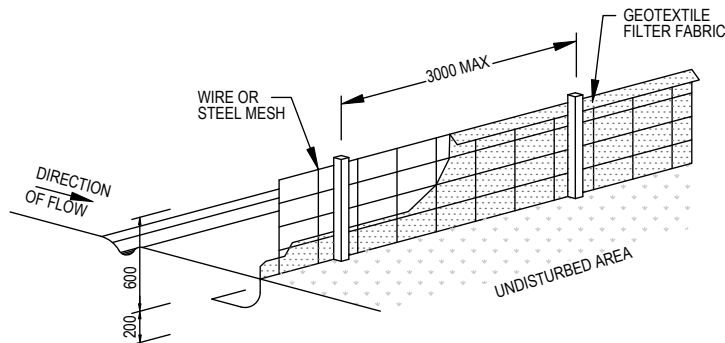


**PLANS ARE FOR CONCEPT ONLY  
AND NOT FOR CONSTRUCTION**



APPROVED BY		REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE		SHEET SIZE		A3	JOB REFERENCE
<div>NADER ZAKI</div> <div>MIEAust CPEng NER</div> <div></div> <div>T 0416 334 977</div> <div>E <a href="mailto:admin@nvcivilengineering.com.au">admin@nvcivilengineering.com.au</a></div> <div>W <a href="http://www.nvcivilengineering.com.au">www.nvcivilengineering.com.au</a></div>	A	MR	ISSUED FOR DA	29.09.2021	SEDIMENT CONTROL PLAN		DESIGNED	NZ	E210095		
	B	SR	ISSUED FOR S4.55	22.06.2022			CHECKED	NZ			
						PROJECT TITLE		ISSUE	B	DRAWING No.	
						PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE		SCALE	1:200	No. IN SET	
								11			





SEDIMENT FENCE DETAIL  
NTS

CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

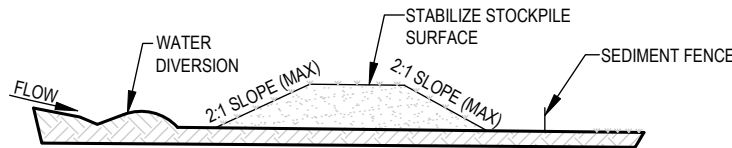


Approved Plans  
LDA No. LDA2021/0363  
MOD No. MOD2022/0128  
Date: 29 September 2022  
Council Officer: Holly Charalambous  
Subject to conditions of consent

MESH AND GRAVEL FILTER  
NTS

CONSTRUCTION NOTES:

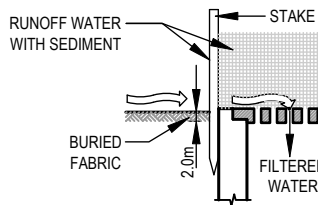
1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm(h) x 400mm(w).
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.



STOCKPILE  
NTS

NOTE:

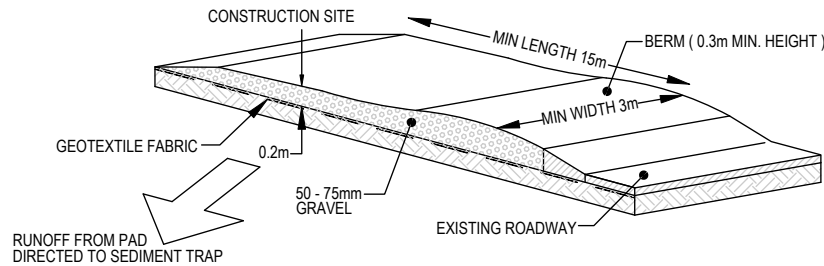
1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METERS FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METERS IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS (LOW FLOW) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METERS ON THE DOWNSLOPE.



SEDIMENT BARRIER AROUND PIT  
NTS

CONSTRUCTION NOTES:

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. FOLLOW STRAW FILTER AND SEDIMENT FENCE FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



STABILIZED SITE ACCESS  
NTS

CONSTRUCTION NOTES:

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASED OR 30mm AGGREGATE
4. ENSURE THE STRUCTURE IS AT LEAST 15m LONG OR TO BUILD ALIGNMENT AND AT LEAST 3 METERS WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.



APPROVED BY  
NADER ZAKI  
MIEAust CPEng NER  
  
T 0416 334 977  
E admin@nvcivilengineering.com.au  
W www.nvcivilengineering.com.au

REVISION	DRAWN	DESCRIPTION	DATE
A	MR	ISSUED FOR DA	29.09.2021
B	SR	ISSUED FOR S4.55	22.06.2022

DRAWING TITLE
SEDIMENT CONTROL DETAILS
PROJECT TITLE
PROPOSED DUAL OCCUPANCY No.12 CLERMONT AVENUE RYDE

SHEET SIZE	A3	JOB REFERENCE	E210095
DESIGNED	NZ	DRAWING No.	D11
CHECKED	NZ	No. IN SET	11
ISSUE	B		
SCALE	AS NOTED		