## 8 Clermont Ave Proposed Dual Occupancy @ 8 Clermont Ave, RYDE NSW 2112

# Section 4.55 Issue - 20th June 2022

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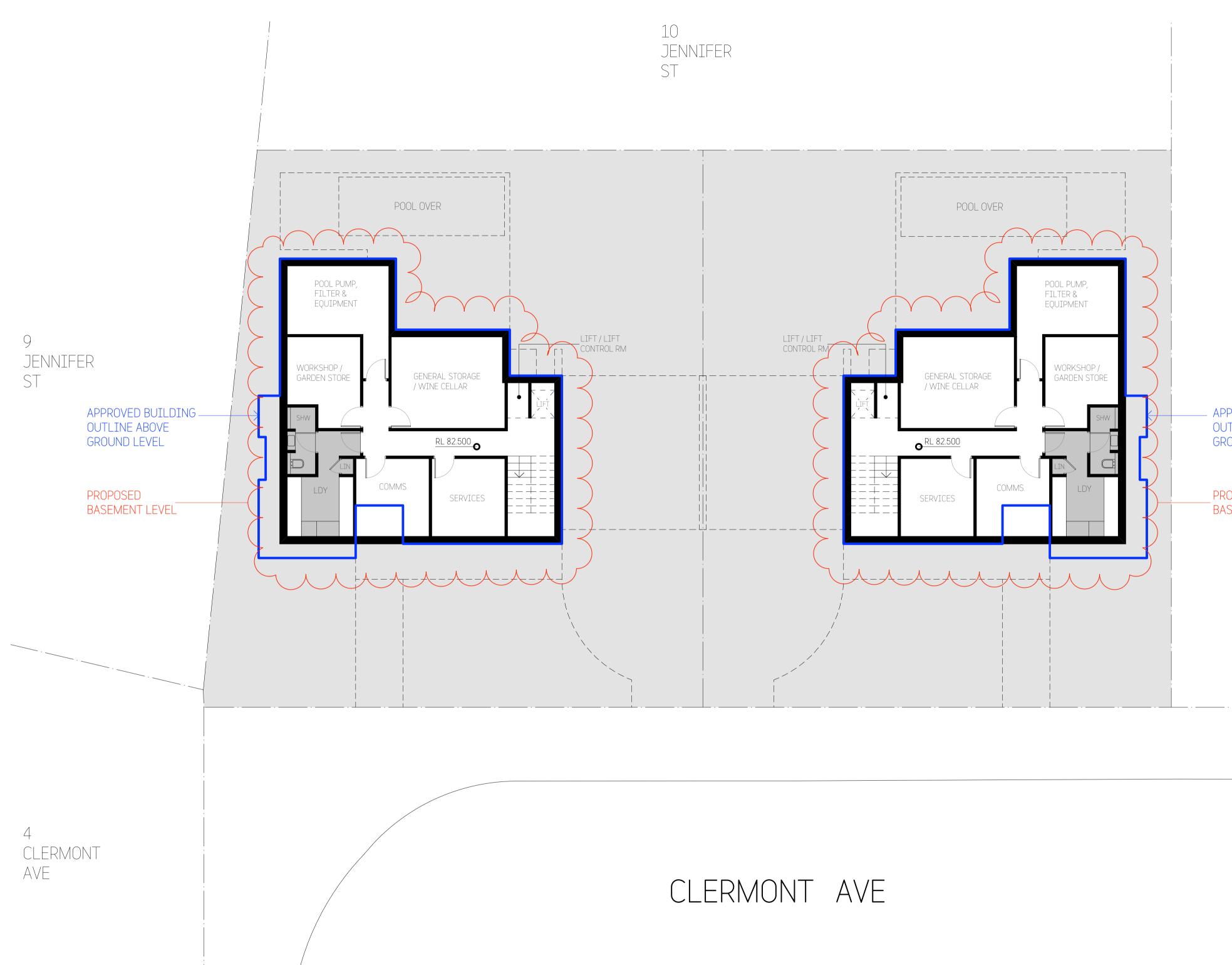


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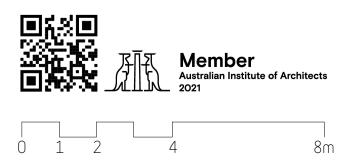
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Description	Ву	Date
Preliminary S4.55 Issue	BD	31/03/22
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Project: 8 CLERMONT AVE, RYDE

BASEMENT FLOOR PLAN

12 CLERMONT AVE

APPROVED BUILDING OUTLINE ABOVE GROUND LEVEL

PROPOSED BASEMENT LEVEL



Drawing No:

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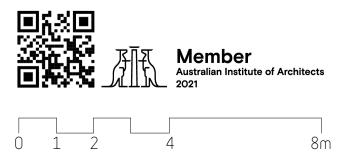
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Project: 8 CLERMONT AVE, RYDE

GROUND FLOOR PLAN

+ 63.80
PF
FP
DP
OSD
SWP
RWT

SITE LEVELS POOL FENCE OUTDOOR FIREPLACE DOWNPIPE ONSITE DETENTION TANK STORMWATER PIT RAINWATER TANK

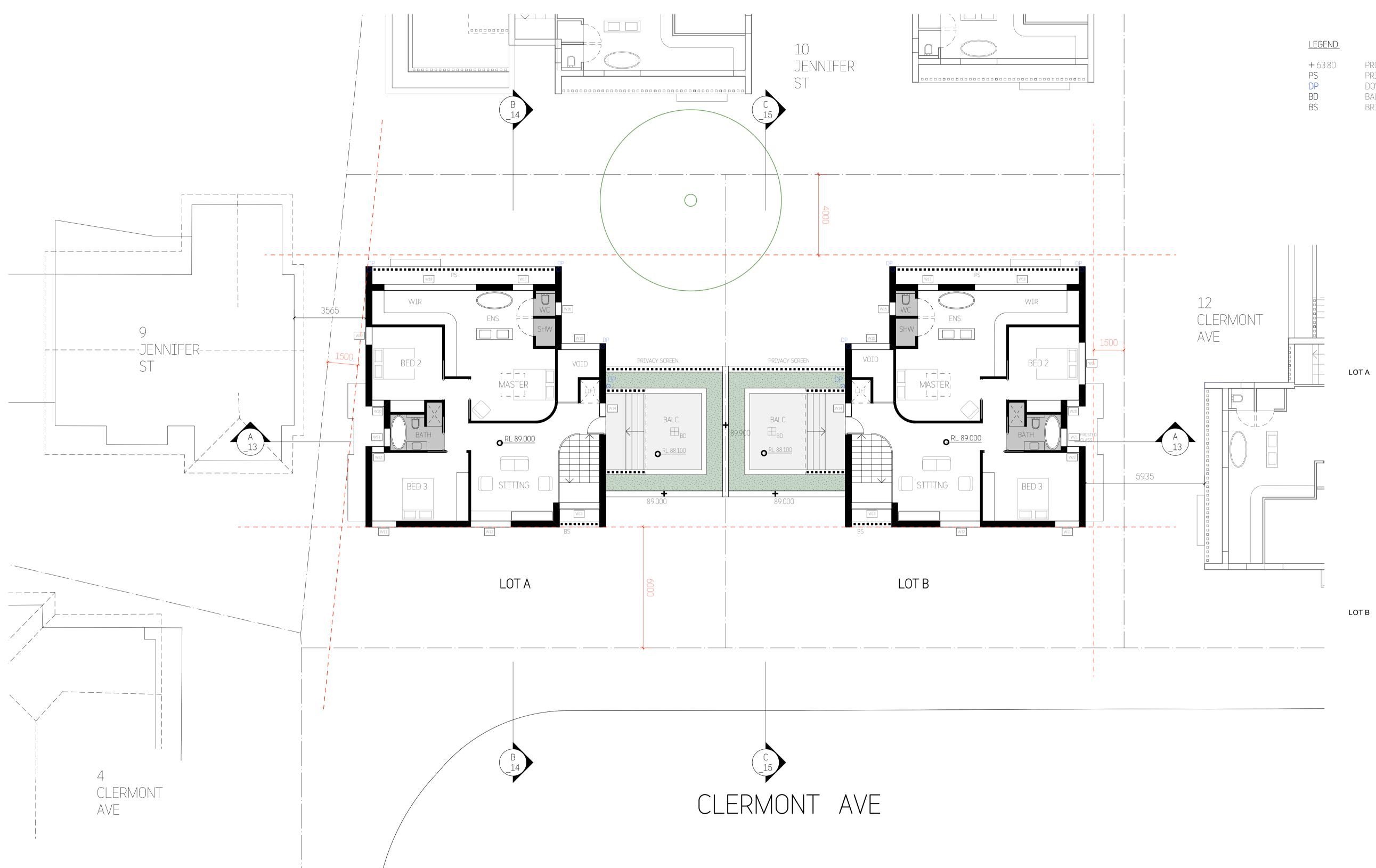
TREE'S APPROVED TO BE REMOVED LDA 2021/0148

TREE'S TO BE REMOVED

TREE'S TO BE RETAINED

WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W02	2400	700
W03	2400	800
W04	2400	900
W05	2400	4500
W00	2000	2300
W07	2400	600
W08	2400	1000
W10A	2400	1000
W10A	2400	1000
VVIOD	2400	1000
W11	2400	1200
W112		2000
	2400 2400	2000
W13 W14	2400	700
W15 W16	2400 2400	1900
		700
W17	2400	1000
W18	2400	4600
W19	2400	900
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200
10/04	2400	2000
W01	2400	2000
W02	2400 2400	2000
W03		700
W04	2400 2400	800
W05		900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A W10B	2400	1000
WIUB	2400	1000
\\/1 1	2400	1200
W11	2400	1200
W12	2400	2000
W12 W13	2400 2400	2000 2000
W12 W13 W14	2400 2400 2400	2000 2000 700
W12 W13 W14 W15	2400 2400 2400 2400	2000 2000 700 1900
W12 W13 W14 W15 W16	2400 2400 2400 2400 2400	2000 2000 700 1900 700
W12 W13 W14 W15 W16 W17	2400 2400 2400 2400 2400 2400 2400	2000 2000 700 1900 700 100
W12 W13 W14 W15 W16 W17 W18	2400 2400 2400 2400 2400 2400 2400 2400	2000 2000 700 1900 700 100 4600
W12 W13 W14 W15 W16 W17 W18 W19	2400 2400 2400 2400 2400 2400 2400 2400	2000 2000 700 1900 700 100 4600 2100
W12 W13 W14 W15 W16 W17 W18 W19 W20	2400 2400 2400 2400 2400 2400 2400 600 2400	2000 2000 700 1900 700 100 4600 2100 600
W12 W13 W14 W15 W16 W17 W18 W19 W20 W21	2400 2400 2400 2400 2400 2400 2400 600 2400 24	2000 2000 700 1900 700 100 4600 2100 600 900
W12 W13 W14 W15 W16 W17 W18 W19 W20	2400 2400 2400 2400 2400 2400 2400 600 2400	2000 2000 700 1900 700 100 4600 2100 600

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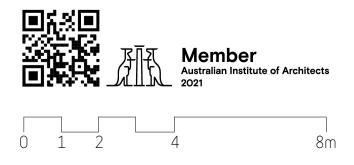
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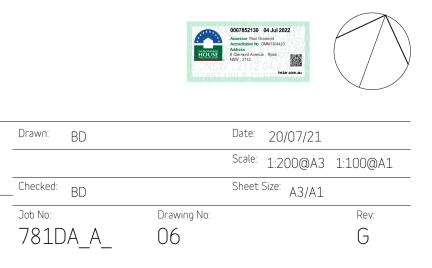
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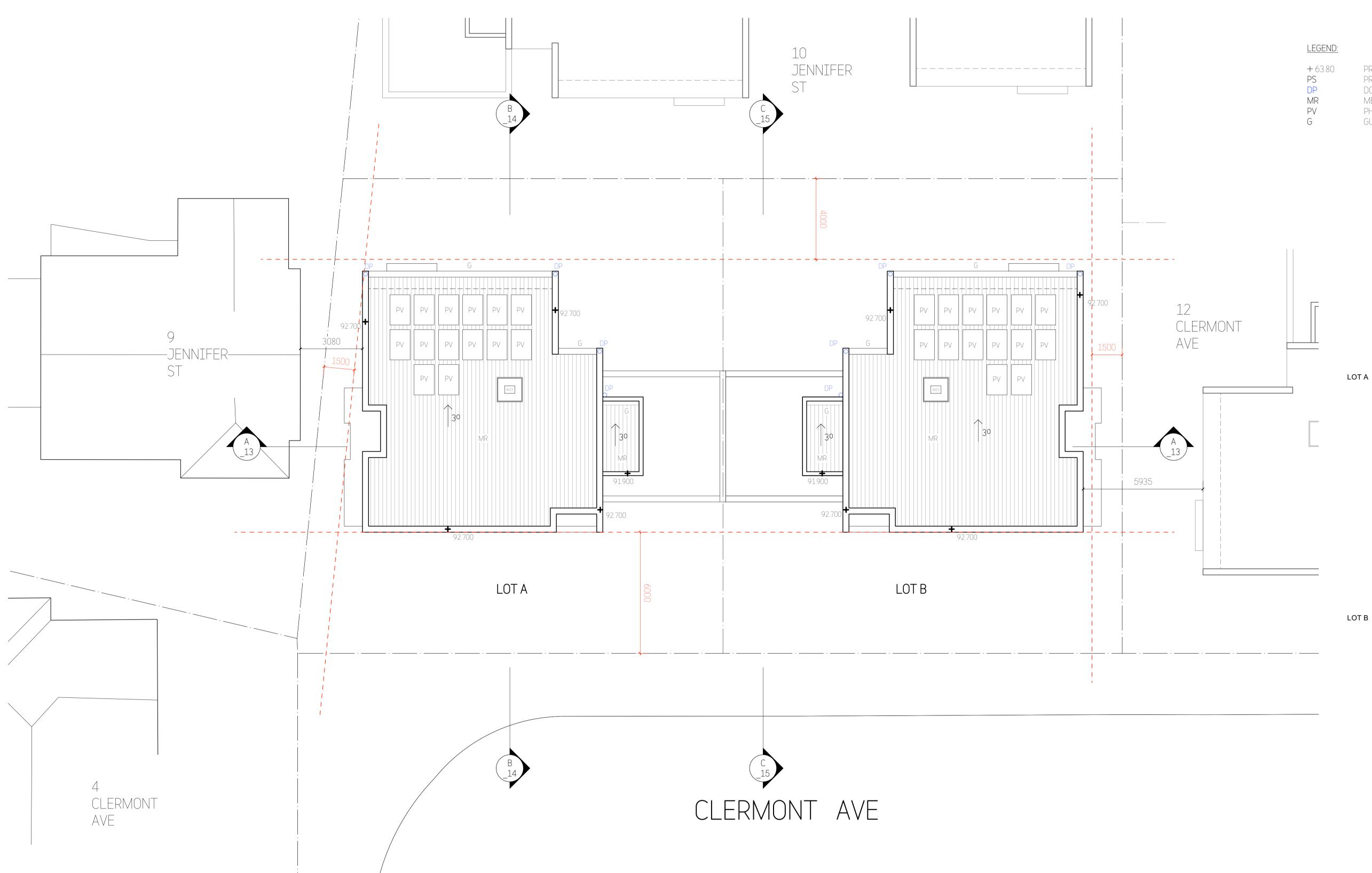
FIRST FLOOR PLAN



PROPOSED LEVELS PRIVACY SCREEN DOWNPIPE BALCONY DRAIN BRICKWORK SCREEN

WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
	2400	1000
W11	2400	1200
W12	2400	2000
W12	2400	2000
W13	2400	700
W14	2400	1900
W15	2400	700
W10	2400	1000
W18	2400	4600
W19	2400	900
W20	2400	600
W20	2400	900
W21	2400	600
W23	1200	1200
VV23	1200	1200
W01	2400	2000
W02	2400	2000
W02	2400	700
W03	2400	800
W05	2400	900
W06	2400	4500
W00	2000	2300
W07	2400	600
W09	2400	1000
W10A	2400	1000
W10A W10B	2400	1000
VV10D	2400	1000
W11	2400	1200
W11 W12	2400	2000
W12 W13	2400	2000
	2400	700
W14 W15	2400	1900
W15 W16	2400	700
W18	2400	100
W18	2400	4600
W19	600	2100
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200





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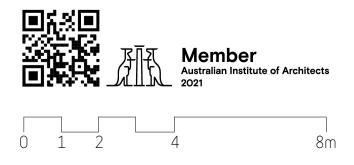
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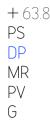
 Nominated Architect Boris Dragas NSW ARB #7658
 t: 0414 866 065
 e: boris@studiobd.com.au

 ROOD
 us studiobd.com.au
 ROOD

 w: studiobd.com.au abn: 74 219 560 787

Project: 8 CLERMONT AVE, RYDE

ROOF PLAN



PROPOSED LEVELS PRIVACY SCREEN DOWNPIPE METAL ROOFING PHOTO VOLTAIC PANELS GUTTER

WINDOW #	HEIGHT	WIDTH	
W01	2400	2000	
W02	2400	2000	
W03	2400	700	
W04	2400	800	
W05	2400	900	
W06	2400	4500	
W07	2000	2300	
W08	2400	600	
W09	2400	1000	
W10A	2400	1000	
W10B	2400	1000	
W11	2400	1200	
W12	2400	2000	
W13	2400	2000	
W14	2400	700	
W15	2400	1900	
W16	2400	700	
W17	2400	1000	
W18	2400	4600	
W19	2400	900	
W20	2400	600	
W21	2400	900	
W22	2400	600	
W23	1200	1200	
V01	2400	2000	
W02	2400	2000	
W03	2400	700	
W04	2400	800	
W05	2400	900	
W06	2400	4500	
W07	2000	2300	
W08	2400	600	
W09	2400	1000	
W10A	2400	1000	
W10B	2400	1000	
10/4 4	0.400	4000	
W11	2400	1200	
W12	2400	2000	
W13	2400	2000	
W14	2400	700	
W15	2400	1900	
W16	2400	700	
W17	2400	100	
W18	2400	4600	
W19	600	2100	
W20	2400	600	
W21	2400	900	
W22	2400	600	
W23	1200	1200	





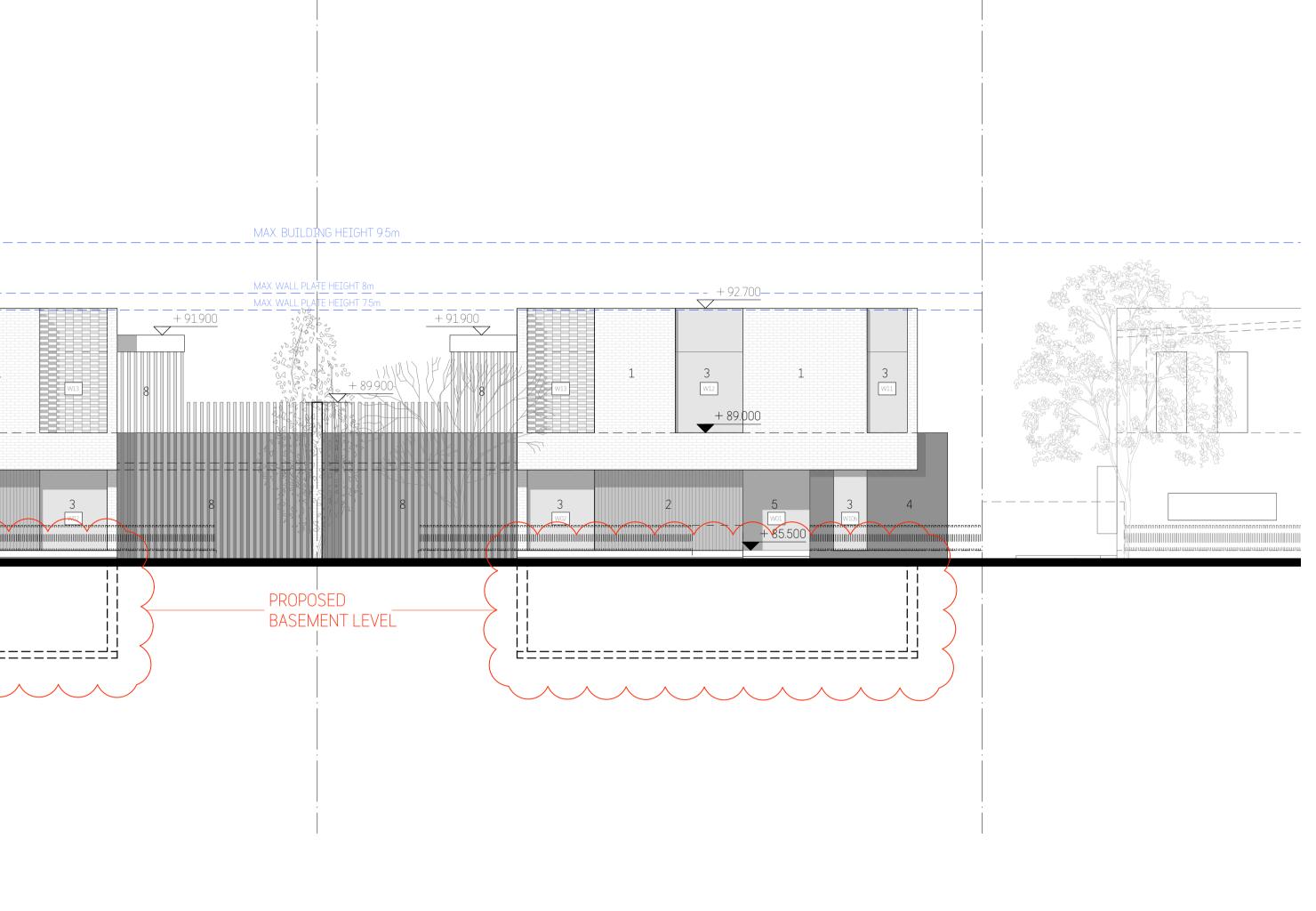
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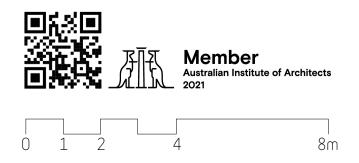
	WINDOW #	HEIGHT	WIDTH				
LOT A	W01 W02	2400 2400	2000 2000				
	W02	2400	700				
	W04	2400	800				
	W05 W06	2400 2400	900 4500				
	W00	2000	2300				
	W08	2400	600				
	W09 W10A	2400 2400	1000 1000				
	W10A W10B	2400	1000				
	W11	2400	1200				
	W12 W13	2400 2400	2000 2000				
	W14	2400	700				
	W15	2400	1900				
	W16 W17	2400 2400	700 1000				
	W17	2400	4600				
	W19	2400	900				
	W20	2400	600				
	W21 W22	2400 2400	900 600				
	W23	1200	1200				
a = -							
LOT B	W01 W02	2400 2400	2000 2000				
	W02	2400	700				
	W04	2400	800				
	W05	2400	900				
	W06 W07	2400 2000	4500 2300				
	W08	2400	600				
	W09	2400	1000				
	W10A	2400	1000				
	W10B	2400	1000				
	W11	2400	1200				
	W12	2400	2000				
	W13 W14	2400 2400	2000 700				
	W14 W15	2400	1900				
	W16	2400	700				
	W17	2400	100				
	W18 W19	2400 600	4600 2100			2.0	
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	W21	2400	_900				
	W22 W23	2400 1200	600 1200		The share		
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 Nominated Architect Boris Dragas NSW ARB #7658
 t: 0414 866 065
 e: boris@studiobd.com.au
 SOL

 w: studiobd.com.au abn: 74 219 560 787

Project: 8 CLERMONT AVE, RYDE

SOUTH ELEVATION

## MATERIALS LEGEND:

Refer to External Finishes Schedule

- 1 BRICKWORKS WALLS PAINTED
- 2 EXPOSED CONCRETE WALLS 3 ALUMINIUM FRAMED WINDOWS
- 4 TEXTURED CLADDING
- 5 GLASS ENTRY DOOR
- 6 METAL ROOFING 7 EXTERNAL WALLS - PAINTED
- 8 VERTICAL BATTENS

12 CLERMONT AVE



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	WINDOW #	HEIGHT	WIDTH
LOT A	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10R	2400	1000
	WIGD	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	1000
	W18	2400	4600
	W19	2400	900
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200
LOT B	W01	2400	2000
LOTB	W01	2400	2000
	W02	2400	700
	W03	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	100
	W18	2400	4600
	W19	600	2100
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200

EXTENT OF POOL SHOWN DASHED

10 JENNIFER ST

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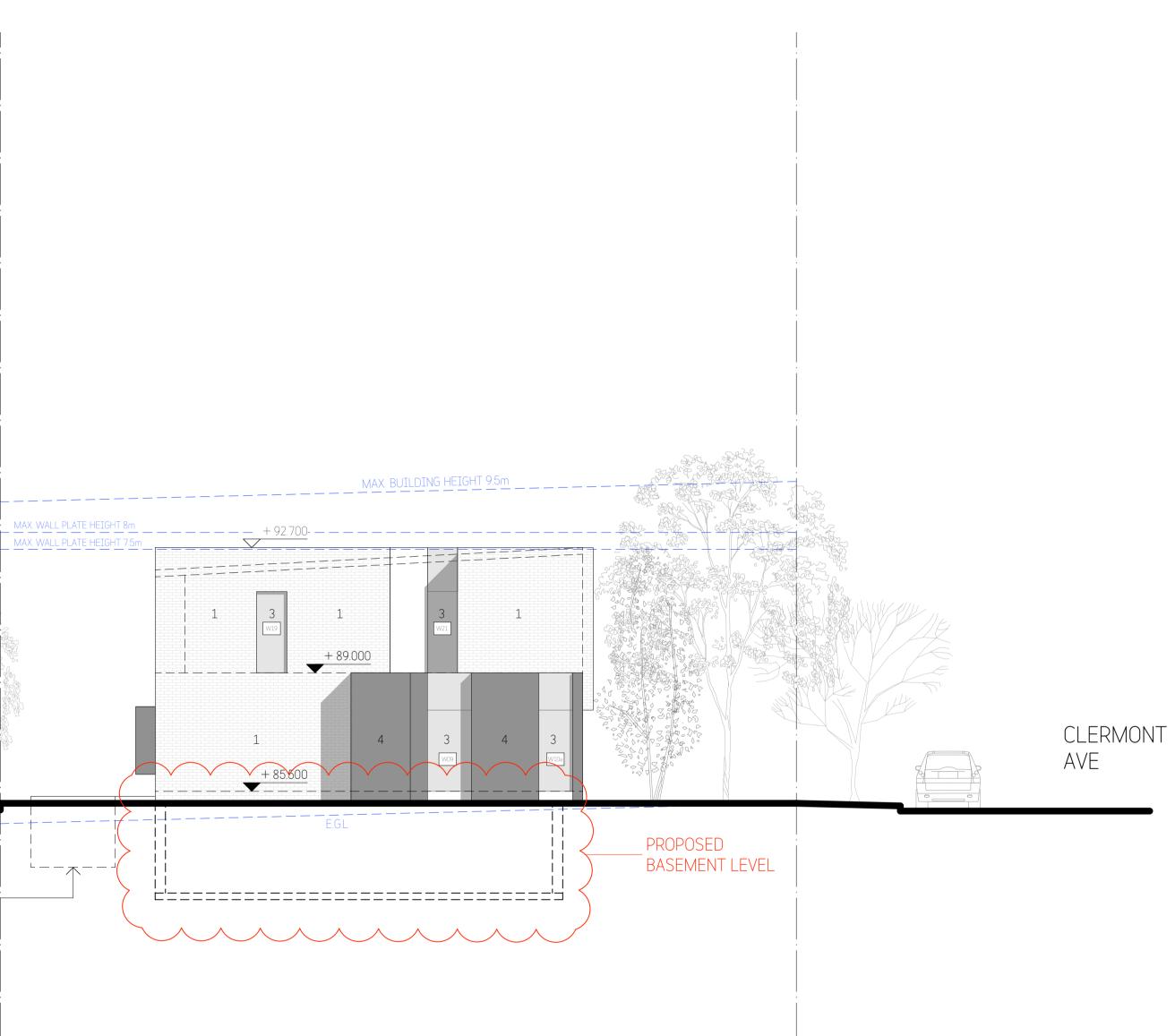
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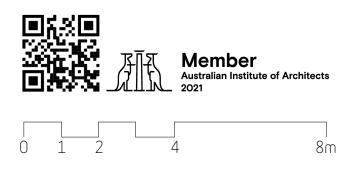
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 t: 0414 866 065
 e: boris@studiobd.com.au
 WE

 w: studiobd.com.au abn: 74 219 560 787

Project: 8 CLERMONT AVE, RYDE

WEST ELEVATION

MATERIALS LEGEND: Refer to External Finishes Schedule

- 1 BRICKWORKS WALLS PAINTED
- 2 EXPOSED CONCRETE WALLS ALUMINIUM FRAMED WINDOWS 3
- TEXTURED CLADDING 4
- GLASS ENTRY DOOR 5
- METAL ROOFING 6
- EXTERNAL WALLS PAINTED 7
- VERTICAL BATTENS 8





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<sup>Date:</sup> 20/07/21

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WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W02	2400	700
W03	2400	800
W04	2400	900
W06	2400	4500
W07	2000	2300
W07	2000	600
W08	2400	1000
	2400	1000
W10A W10B	2400	1000
VIUD	2400	1000
W11	2400	1200
W12	2400	1200 2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	1000
W18	2400	4600
W19	2400	900
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200
W01	2400	2000
W01	2400	2000
W02	2400	700
W03	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W07	2400	600
W09	2400	1000
W10A	2400	1000
W10/X	2400	1000
WIOD	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	100
W18	2400	4600
W19	600	2100
W20	2400	600
W20	2400	900
W21	2400	600
W23	1200	1200
1120	1200	1200

LOT A

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12 CLERMONT AVE

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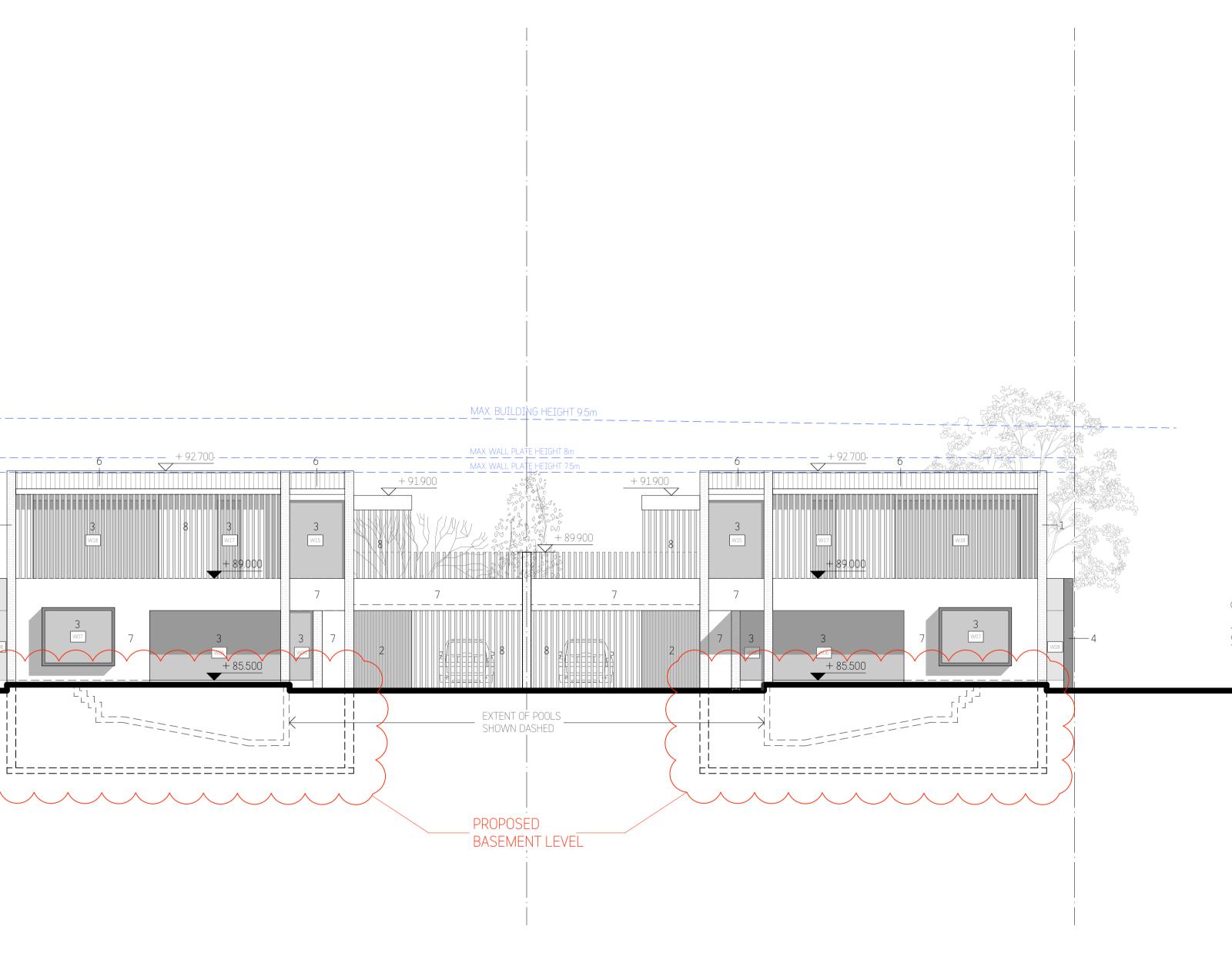
W18

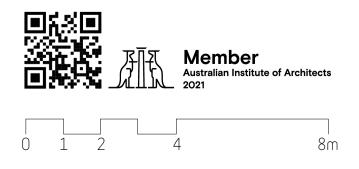
1----

VERIFICATION

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Project: 8 CLERMONT AVE, RYDE

NORTH ELEVATION

## MATERIALS LEGEND:

Refer to External Finishes Schedule

- BRICKWORKS WALLS PAINTED
- EXPOSED CONCRETE WALLS ALUMINIUM FRAMED WINDOWS 3
- TEXTURED CLADDING 4
- GLASS ENTRY DOOR 5
- METAL ROOFING 6 EXTERNAL WALLS - PAINTED 7
- VERTICAL BATTENS 8

9 JENNIFER ST



Rev:

Date: 20/07/21

Sheet Size: A3/A1

Drawing No:

11

Scale: 1:200@A3 1:100@A1

Drawn: BD

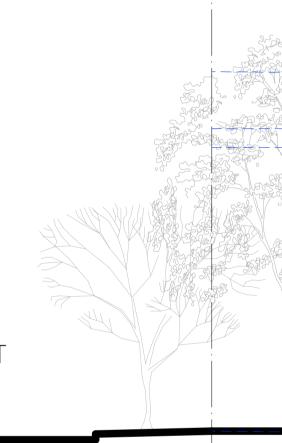
Checked: BD

781DA\_A\_

Job No:

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	WINDOW #	HEIGHT	WIDTH
LOT A	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	1000
	W18	2400	4600
	W19	2400	900
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200
	14/0.4	0.400	0000
LOT B	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04 W05	2400 2400	800 900
	W05	2400	4500
		2400	2300
	W07	2000	600
	W08	2400	1000
	W10A	2400	1000
	W10A	2400	1000
	VVIUD	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	100
	W18	2400	4600
	W19	600	2100
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200



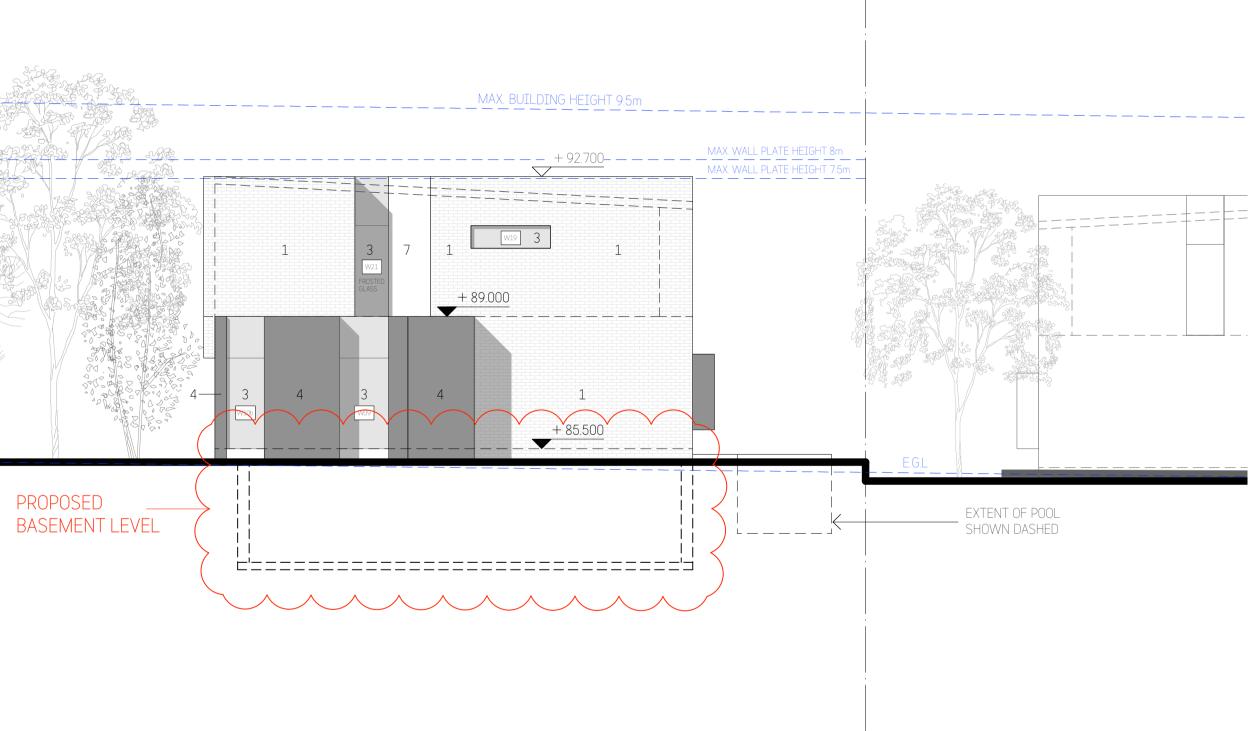
CLERMONT AVE

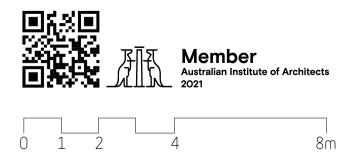
Revisi	ons:		
No	Description	Ву	Date
В	Draft DA Issue - 2	BD	13/09/21
С	Development Application Issue	BD	28/09/21
D	Revised Development Application Issue	BD	28/01/22
E	Section 4.55 Issue	BD	20/06/22

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 STUDIO\_BD ARCHITECTURE & INTERIORS
 Title:

 Nominated Architect Boris Dragas NSW ARB #7658
 t: 0414 866 065
 e: boris@studiobd.com.au
 EAS

 w: studiobd.com.au abn: 74 219 560 787

Project: 8 CLERMONT AVE, RYDE

EAST ELEVATION

## MATERIALS LEGEND:

Refer to External Finishes Schedule

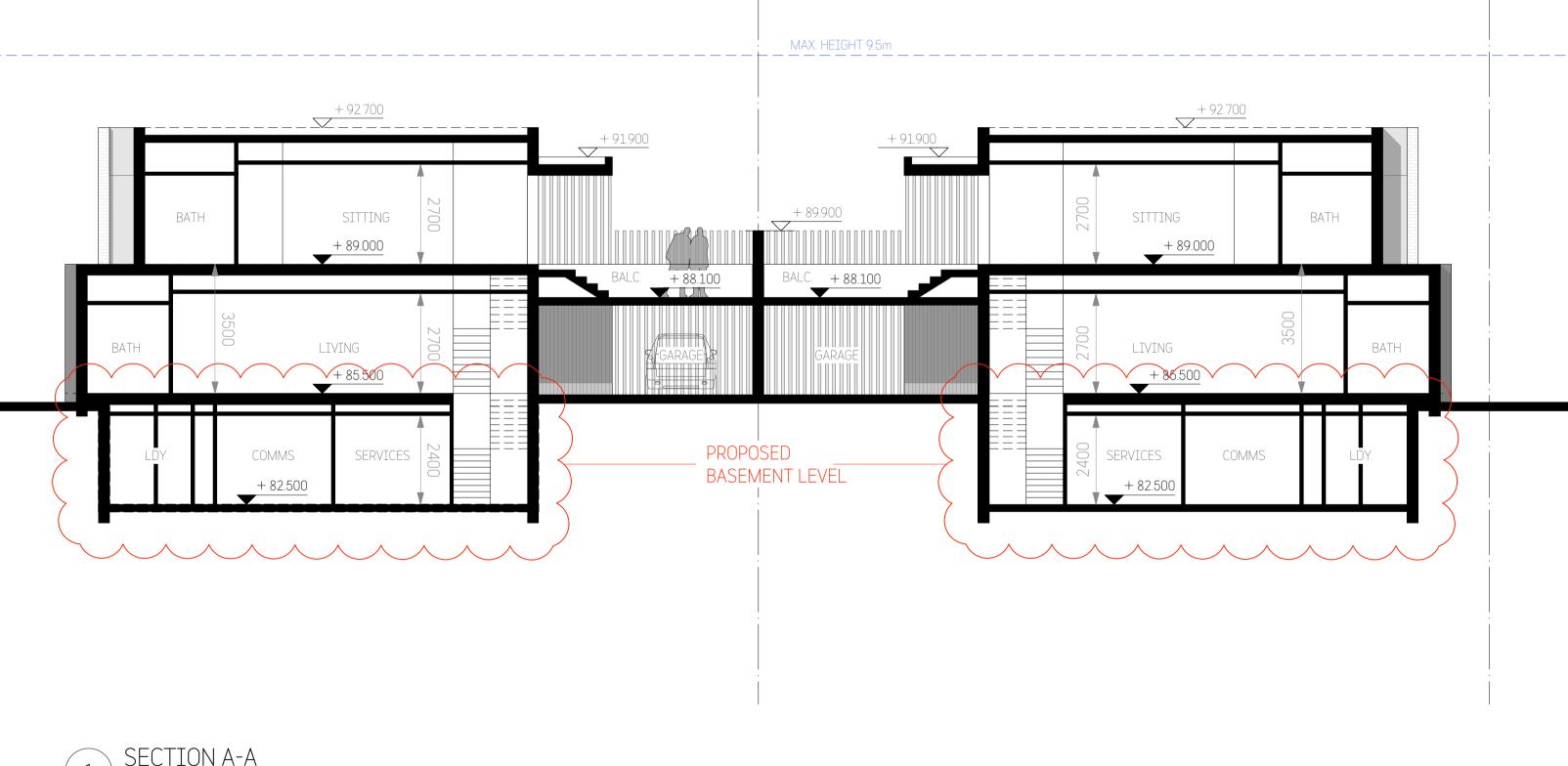
- 1 BRICKWORKS WALLS PAINTED
- 2 EXPOSED CONCRETE WALLS ALUMINIUM FRAMED WINDOWS 3
- TEXTURED CLADDING 4
- GLASS ENTRY DOOR 5
- METAL ROOFING 6
- EXTERNAL WALLS PAINTED 7 VERTICAL BATTENS 8

10 JENNIFER ST



Drawn:	BD		Date:	20/07/21	
			Scale:	1:200@A3	1:100@A1
Checked:	BD		Sheet	<sup>Size:</sup> A3/A1	
Job No:		Drawing No:			Rev:
781D	A_A_	12			Е

	WINDOW #	HEIGHT	WIDTH
LOT A	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	1000
	W18	2400	4600
	W19	2400	900
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200
LOT B	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	100
	W18	2400	4600
	W19	600	2100
	W20	2400	600
	W21	2400	_900
	W22	2400	600
	W23	1200	1200



$\left( 1\right)$	SECTION	A-A

Revisi	ONS:		
No	Description	Ву	Date
А	Draft DA Issue - 2	BD	13/09/21
В	Development Application Issue	BD	28/09/21
С	Revised Development Application Issue	BD	28/01/22
D	Section 4.55 Issue	BD	20/06/22

9

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Project:

Applicant

Ext. Walls:

Int. Walls:

Floors:

Ceilings:

Roof:

Windows Group A

Group B Skylights:

Other:

Member Australian Institute of Architects 2021 0 1 2 4 ا 8m



 STUDIO\_BD ARCHITECTURE & INTERIORS
 Title:

 Nominated Architect Boris Dragas NSW ARB #7658
 t: 0414 866 065
 e: boris@studiobd.com.au
 SFC.

 w: studiobd.com.au abn: 74 219 560 787

Project: 8 CLERMONT AVE, RYDE

SECTIONS - 1

	Address:	8 Clermont	Avenue Ryde NSW 2	112		File Ref:		HEC0845
nt:	Name:	Ray Younes			Designer:	Younes Property		
r:	Name:	Paul Gradw			Company:	House Energy Certified		
	Address:	PO BOX 313	36 Tamarama NSW 20	026	Number:	DMN/18/4423		
	Contact:	02 9130 200	68		Email:	paul@houseenergyce	rtified.co	m
ls:	Construction		Insulation		Colour	Details		
	Cavity Brick		25mm Kooltherm K8	3 or equiv (R1.2)	Medium	As per plans		
ls:	Construction		Insulation			Details		
	Concrete with F	Plasterboard	None			To stairs/lift		
	Single Brick		R2.0 added			To garage		
	Brick with Plast	erboard	None			Intertenancy		
	Construction		Insulation			Details		
	Concrete		R1.4 added			Where open below		
	Construction		Insulation			Details		
	Plasterboard		R2.5 added			Below metal deck roof		
	Construction		Insulation		Colour	Details		
	Concrete		50mm PIR or equiv (	R2.5)	Medium	Above Kitchen, GF Bathr	room, Stud	ly, Garage
	Metal Deck		60mm Anticon (R1.3	3)	Light	To top roof		
s:	Product ID		Glass	Frame	Uw/SHGCw	Details		
	ALM-001-01 A		Single Clear	Aluminium	6.7/0.57	Casement, Entry Door		
	ALM-002-01 A		Single Clear	Aluminium	6.7/0.70	Fixed, Sliding, Double Hu	ung	
s:	Product ID		Glass	Туре	Uw/SHGCw	Details		
	DG-Generic		Double Clear	Roof Light	4.2/0.72	As per plans		
	Orientation		Terrain	Rangehood	Recessed	Downlights	Software	Version
	330		Suburban	Ducted	٢	lo	Bers Pr	o 4.4

12 CLERMONT AVE



Drawn:	BD		Date:	20/07/21	
			Scale:	1:200@A3	1:100@A1
 Checked:	BD		Sheet	<sup>Size:</sup> A3/A1	
Job No:		Drawing No:			Rev:
781D	A_A_	13			D

WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	1000
W18	2400	4600
W19	2400	900
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200
1120	1200	1200
W01	2400	2000
W01	2400	2000
W02	2400	700
	2400	800
	2400	900
	2400	4500
	2400	2300
 W08	2000	600
	2400	1000
	2400	1000
W10A W10B	2400	1000
VVIUD	2400	1000
W11	2400	1200
	2400 2400	1200 2000
	2400	
	2400	2000 700
W15	2400	1900
W16	2400	700
W17	2400	100
W18	2400	4600
W19	600	2100
W20	2400	600
W21	2400	900
W22	2400	600

W23 1200 1200

LOT B

LOT A

10 JENNIFER ST

No	Description	Ву	Date
А	Draft DA Issue - 2	BD	13/09/21
В	Development Application Issue	BD	28/09/21
С	Revised Development Application Issue	BD	28/01/22
D	Section 4.55 Issue	BD	20/06/22

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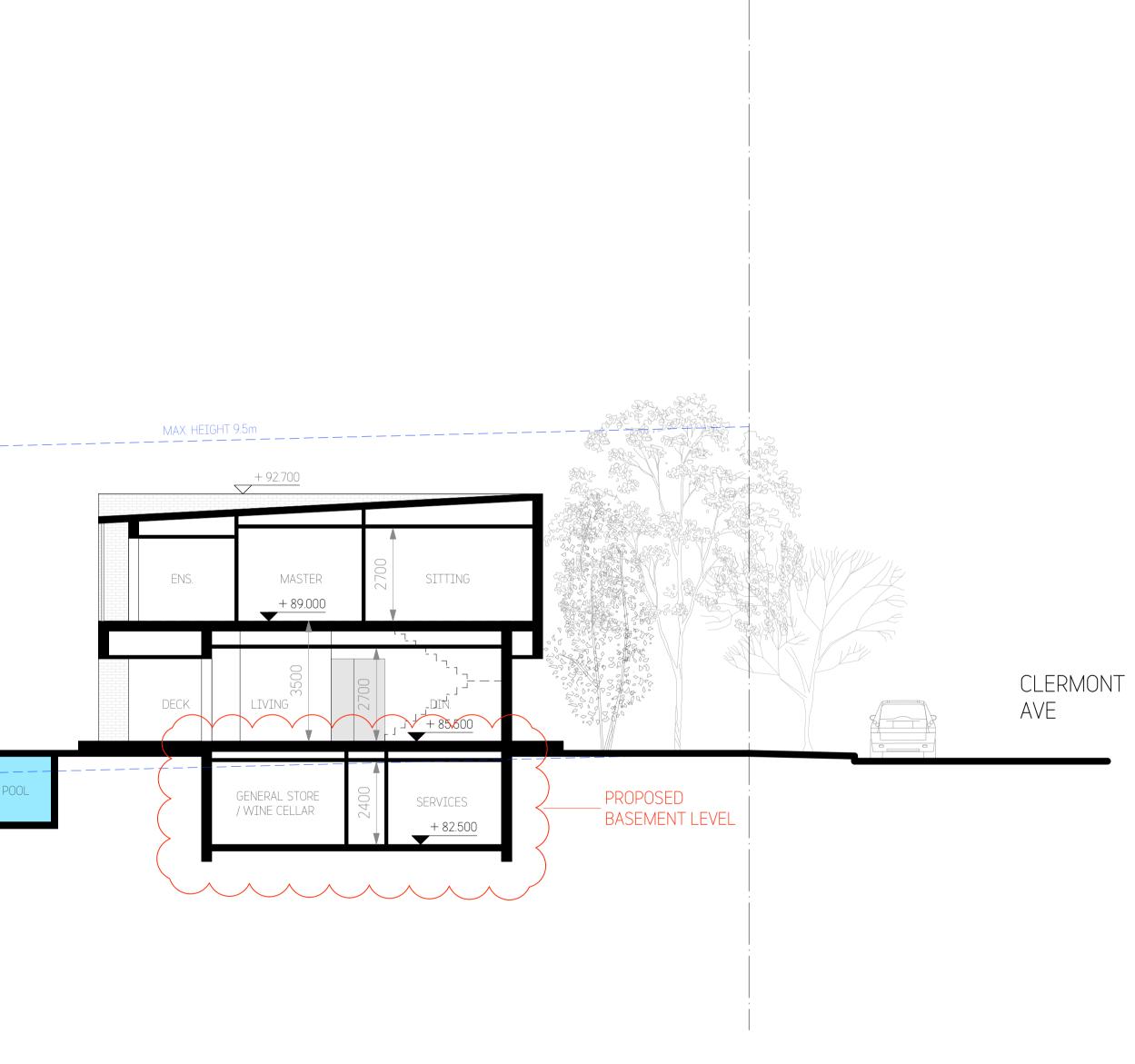
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1 SECTION B-B





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 Nominated Architect Boris Dragas NSW ARB #7658
 t: 0414 866 065 e: boris@studiobd.com.au

 SFC.

 w: studiobd.com.au abn: 74 219 560 787

Project: 8 CLERMONT AVE, RYDE

SECTIONS - 2

Drawn:	BD		Date:	20/07/21	
			Scale:	1:200@A3	1:100@A1
 Checked:	BD		Sheet	<sup>Size:</sup> A3/A1	
Job No:		Drawing No:			Rev:
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WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10R	2400	1000
WIOD	2400	1000
W11	2400	1200
W12	2400	2000
W12	2400	2000
W13	2400	700
W14 W15	2400	1900
W15 W16	2400	700
W18	2400	1000
W17	2400	4600
W18 W19	2400	
W19 W20		900
	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200
W01	2400	2000
W01	2400 2400	2000 2000
W02		
	2400	700
W04 W05	2400 2400	800
		900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
\\//1.4	2400	1200
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	100
W18	2400	4600
W19	600	2100
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200

LOT B

LOT A

10 JENNIFER ST

Revisions:				
No	Description	Ву	Date	
А	Draft DA Issue - 2	BD	13/09/21	
В	Development Application Issue	BD	28/09/21	
С	Revised Development Application Issue	BD	28/01/22	
D	Section 4.55 Issue	BD	20/06/22	

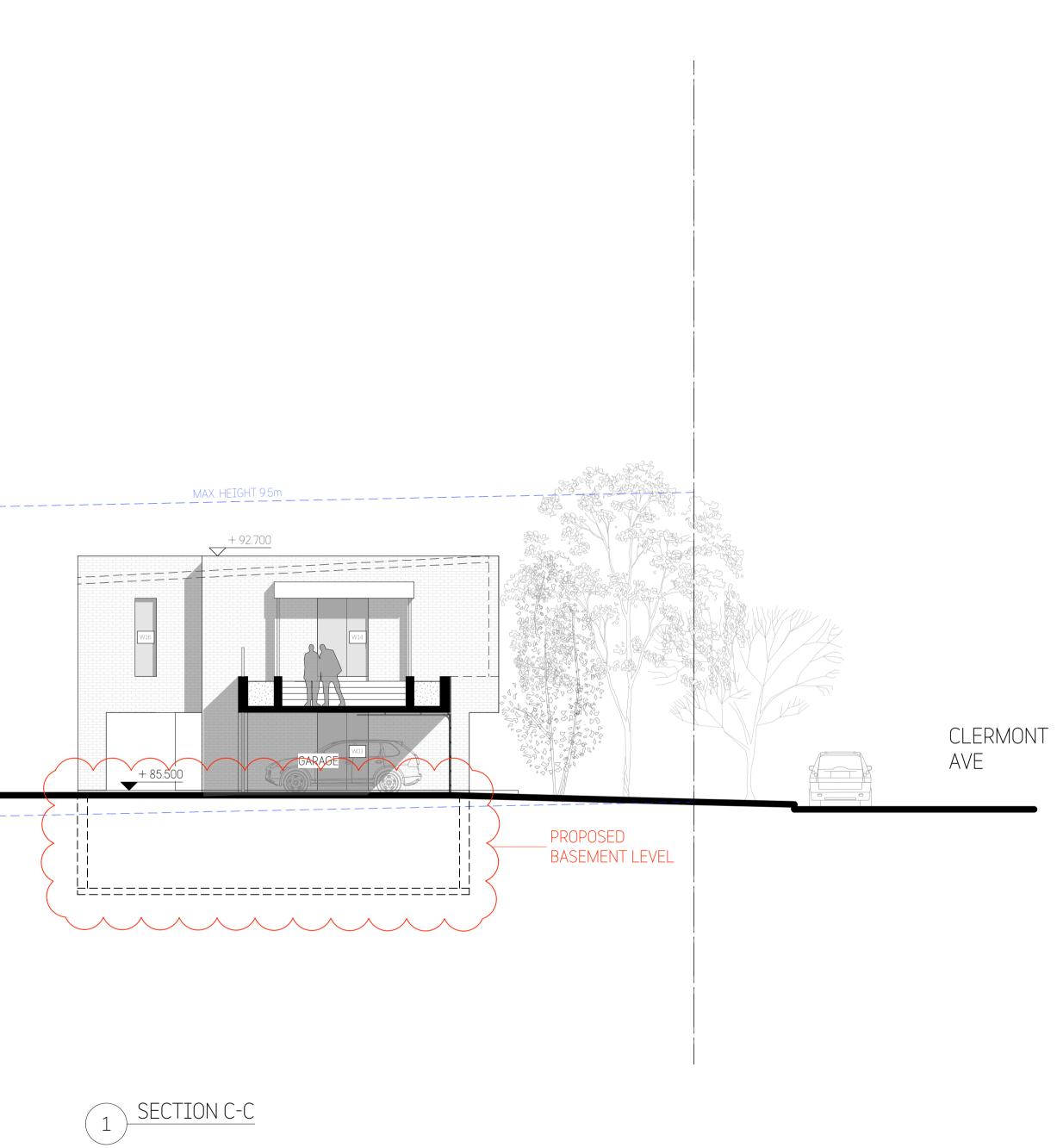
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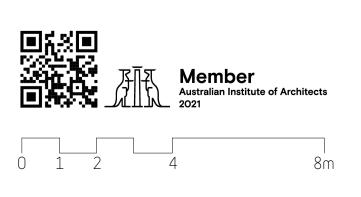
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 Title:

 Nominated Architect Boris Dragas NSW ARB #7658
 t: 0414 866 065 e: boris@studiobd.com.au
 SEC

 w: studiobd.com.au abn: 74 219 560 787

Project: 8 CLERMONT AVE, RYDE

SECTIONS - 3

Drawn:	BD		Date:	20/07/21	
			Scale:	1:200@A3	1:100@A1
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Job No:		Drawing No:			Rev:
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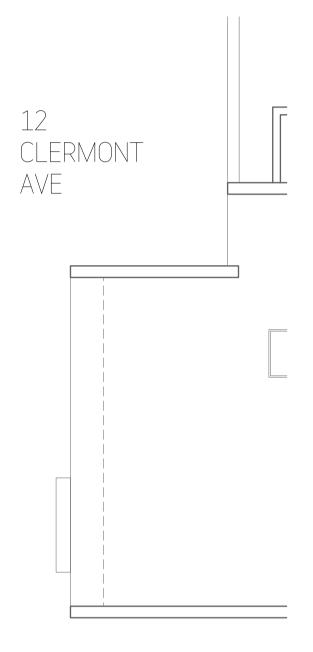
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0	Description	Ву	Date			
L.	Development Application Issue	BD	28/09/21			
	Revised Development Application Issue	BD	28/01/22			
	Section 4.55 Issue	BD	20/06/22			

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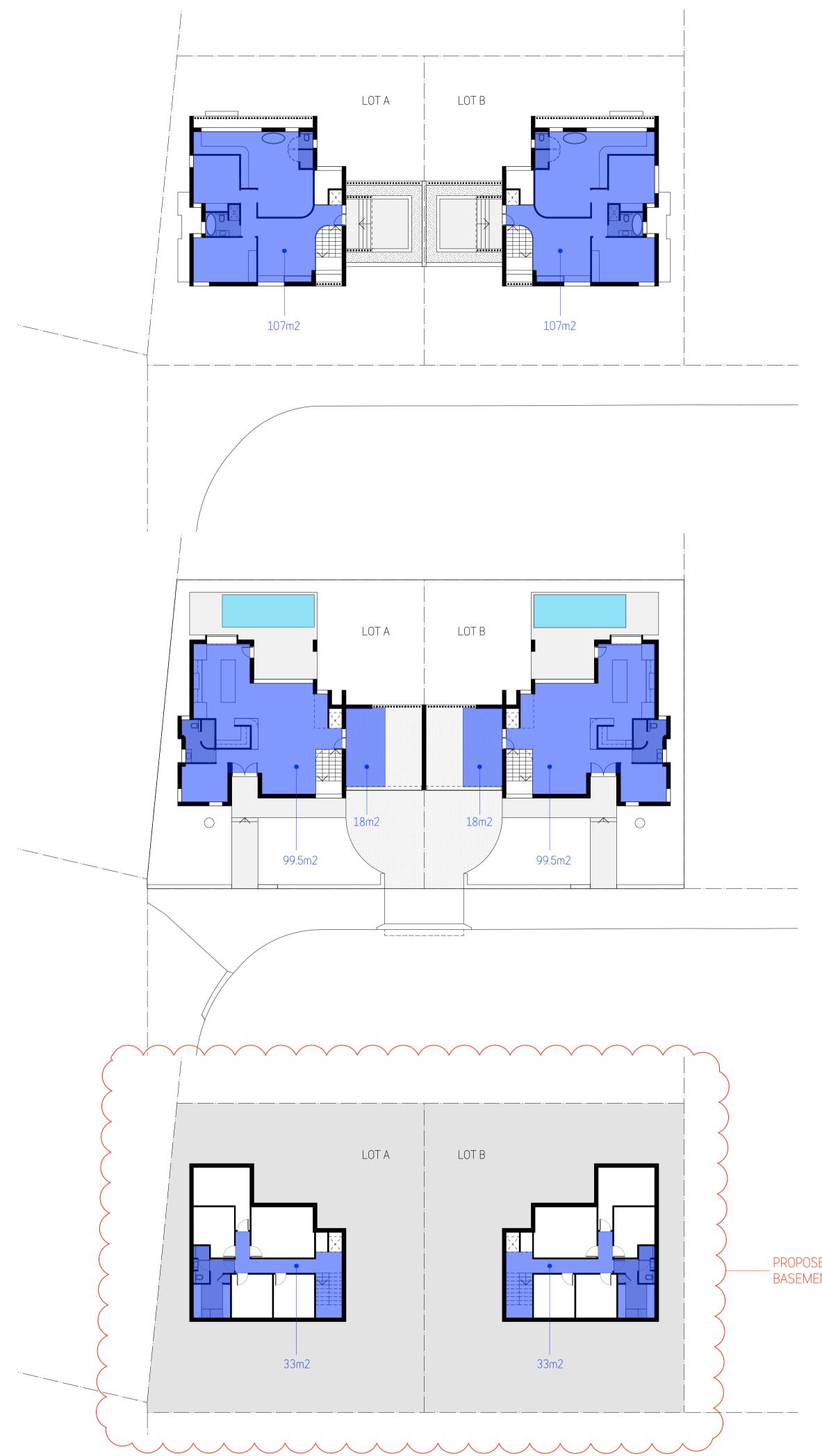
SHADOW DIAGRAMS - 21st June

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Drawn:	<b>D</b> D		Data:	20/07/01	
DI avvil.	BD		Date.	20/07/21	
			Scale:	1:200@A3	1:100@A1
Checked:	BD		Sheet S	<sup>Size:</sup> A3/A1	
Job No:		Drawing No:			Rev:
781D	A_A_	16			С



PROPOSED BASEMENT LEVEL

Project:



 $\checkmark \checkmark \checkmark \checkmark \checkmark \checkmark \checkmark \checkmark$ 

LOT A = 257.5m2 gfa LOT B = 257.5m2 gfa = 515m2 gfa (0.55:1)

SITE AREA = 935.38m2

w: studiobd.com.au abn: 74 219 560 787

8 CLERMONT AVE, RYDE Title:

AREA SCHEDULE



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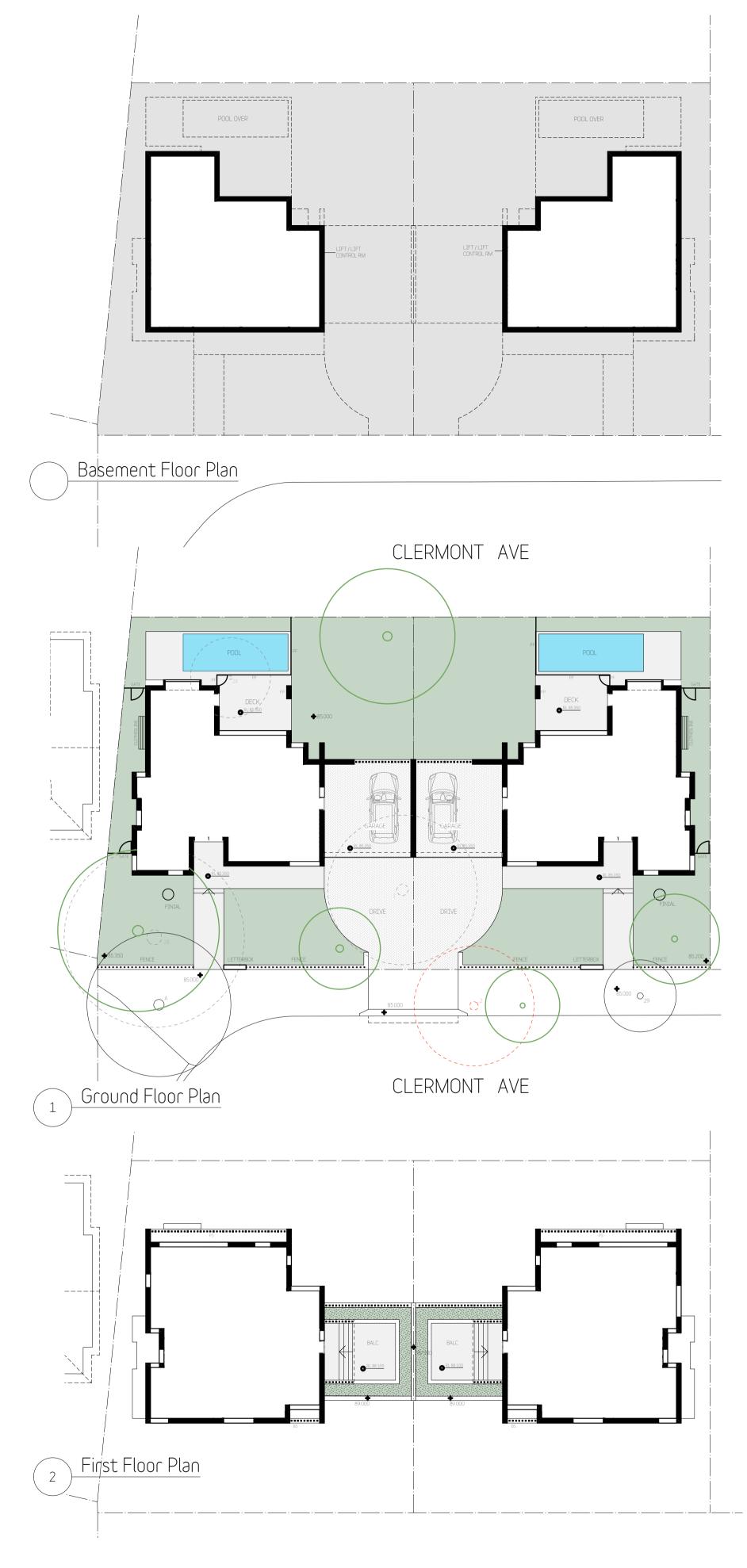
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Revisions:				
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A	Development Application Issue	BD	28/09/21	
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С	Section 4.55 Issue	BD	20/06/22	



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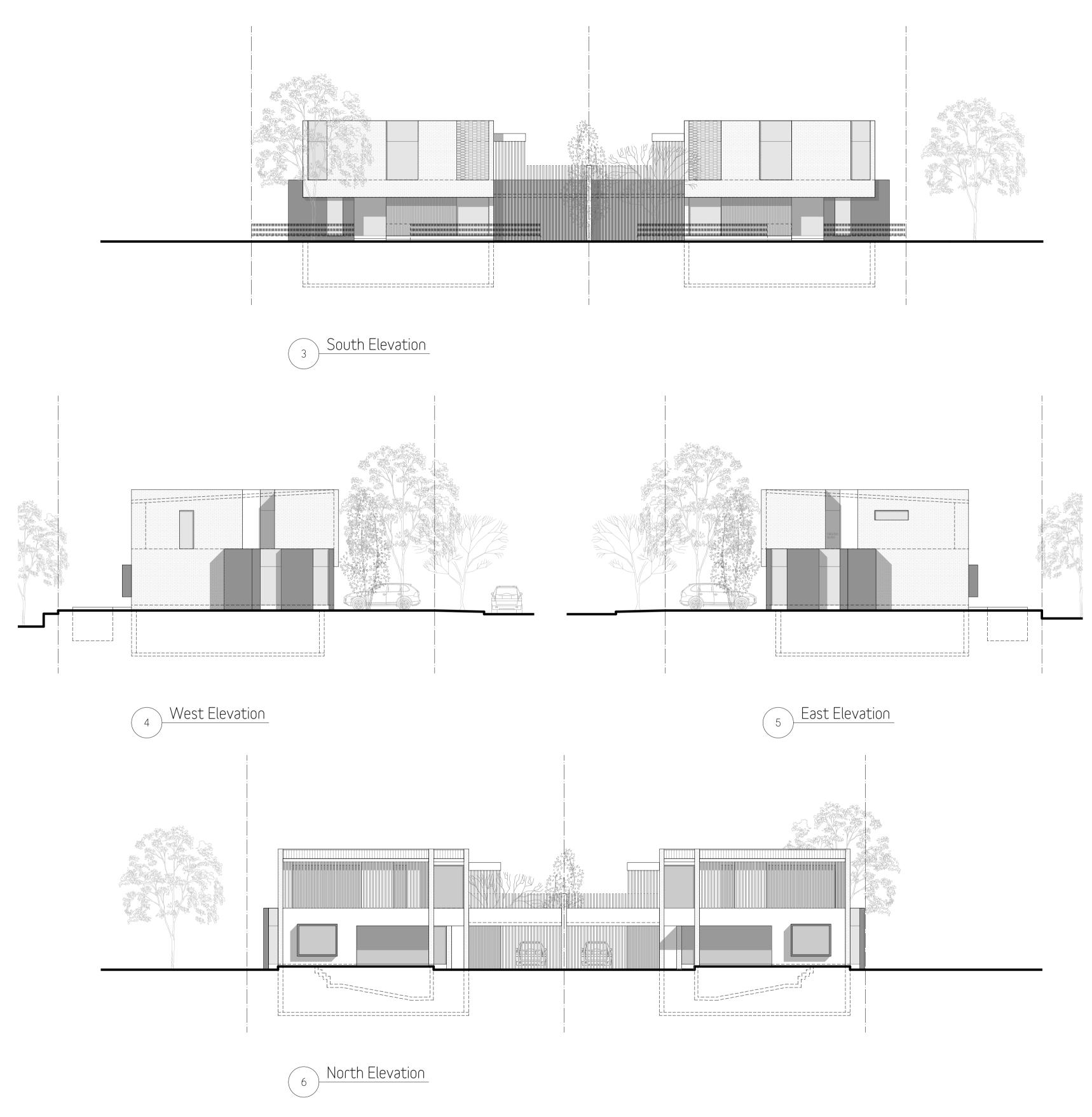
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		Scale: NTS	
Checked: BD		Sheet Size: A3/A1	
Job No:	Drawing No:		Rev:
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 Title:

 Nominated Architect Boris Dragas NSW ARB #7658
 t: 0414 866 065
 e: boris@studiobd.com.au

 NOT
 unstructioned architect
 NOT

 w: studiobd.com.au abn: 74 219 560 787

Project: 8 CLERMONT AVE, RYDE

NOTIFICATION PLANS



Drawn:	BD		Date: 15/07/21	
			<sup>Scale:</sup> NTS	
Checked:	BD		Sheet Size: A4	
Job No:		Drawing No:		Rev:
781C	)A_A_	19		В