

# 8 Clermont Ave

Proposed Dual Occupancy @  
8 Clermont Ave, RYDE NSW 2112

## Section 4.55 Issue - 20th June 2022

STUDIO\_BD  
ARCHITECTURE  
& INTERIORS  
-

## CLERMONT

R E S I D E N C E S

BY YOUNES PROPERTY

### CONTENTS

#### Architecturals

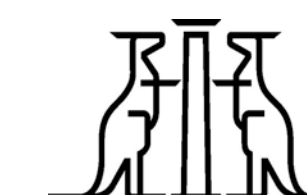
781DA_A_01	Cover Sheet
781DA_A_04	Basement Floor Plan
781DA_A_05	Ground Floor Plan
781DA_A_06	First Floor Plan
781DA_A_07	Roof Plan
781DA_A_09	South Elevation
781DA_A_10	West Elevation
781DA_A_11	North Elevation
781DA_A_12	East Elevation
781DA_A_13	Sections (Part 1)
781DA_A_14	Sections (Part 2)
781DA_A_15	Sections (Part 3)
781DA_A_16	Shadow Diagrams
781DA_A_18	Area Schedule
781DA_A_19	Notification Plans

#### Additional Information

Statement of Environmental Effects (Robinson Urban Planning)  
Stormwater Drainage Plans (NY Civil Engineering)  
Geotechnical Assessment (Douglas Partners)  
Urban Design Addendum Report (Audax Urban)

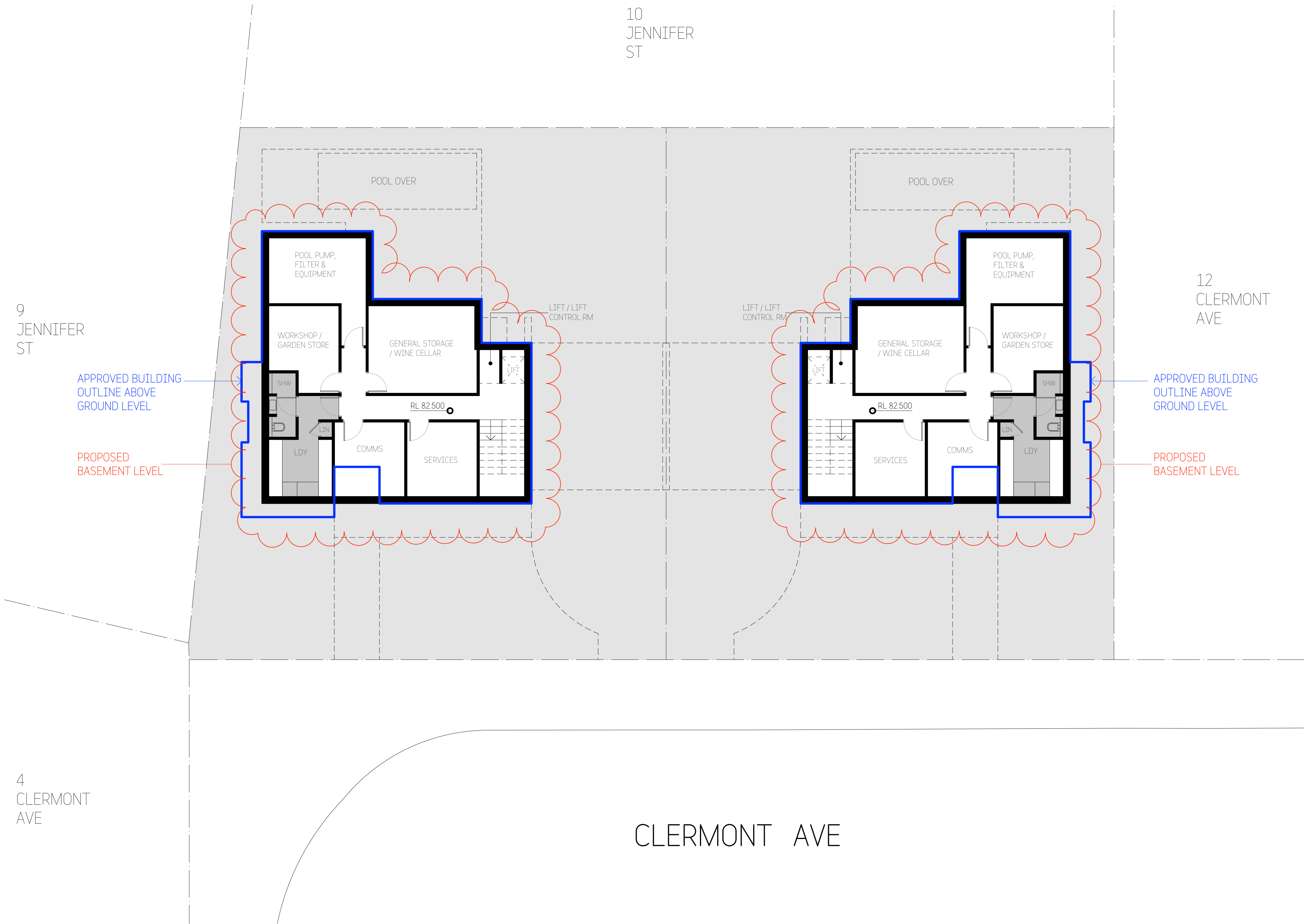


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2021

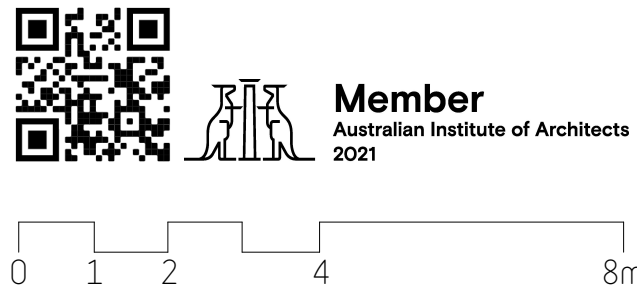




Revisions:			
No	Description	By	Date
B	Preliminary S4.55 Issue	BD	31/03/22
C	Preliminary S4.55 Issue - 2	BD	31/05/22
D	Preliminary S4.55 Issue - 3	BD	17/06/22
E	Section 4.55 Issue	BD	20/06/22

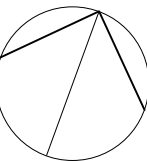
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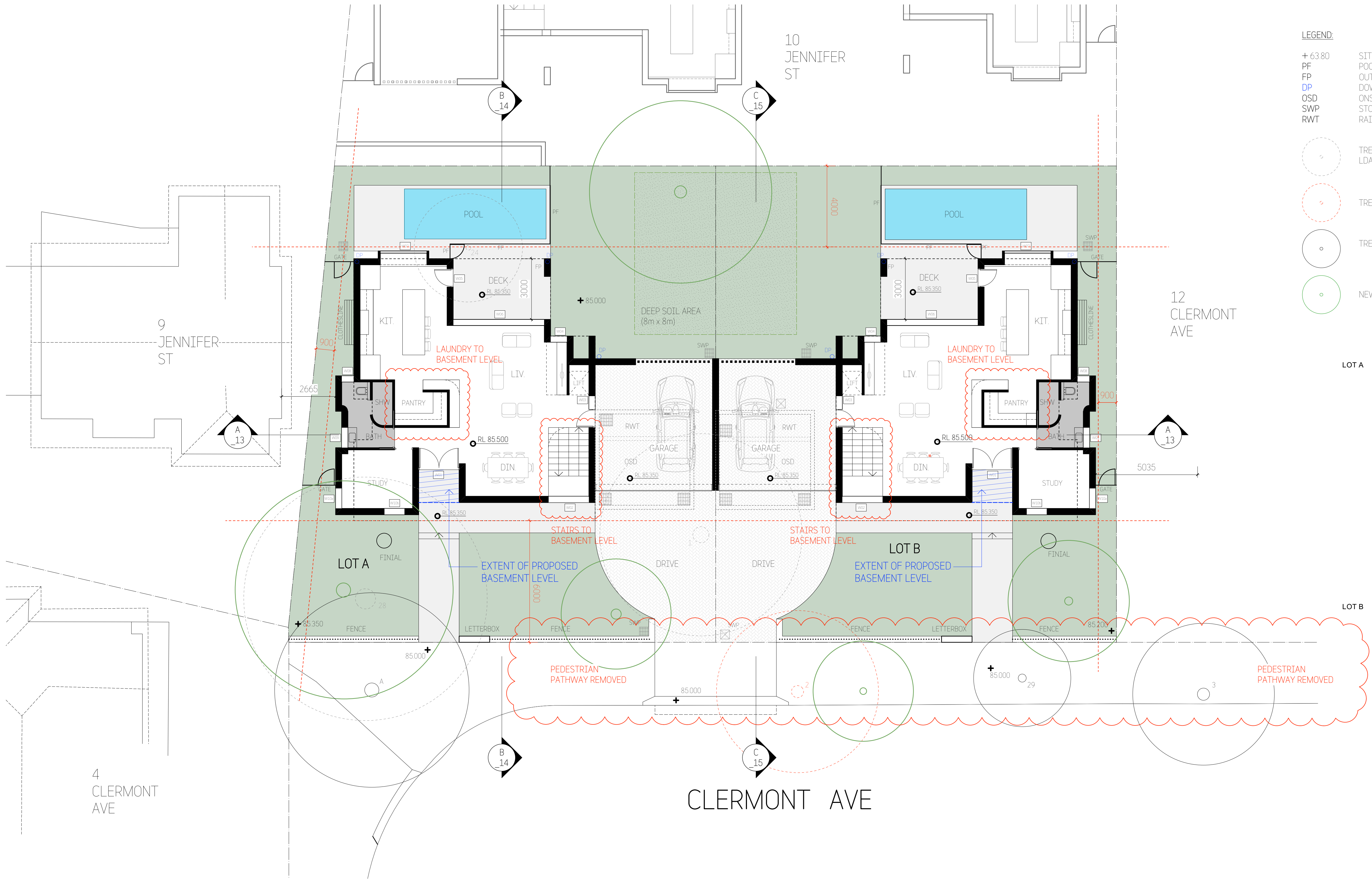
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w: studiodbd.com.au  
abr: 74 219 560 787

Project:		8 CLERMONT AVE, RYDE	
Title:		BASEMENT FLOOR PLAN	
Drawn:	BD	Date:	20/07/21
Checked:	BD	Scale:	1:200@A3 1:100@A1
Job No:	781DA_A_	Sheet Size:	A3/A1
Drawing No:	04	Rev:	E





- LEGEND:
- + 63.80 SITE LEVELS
  - PF POOL FENCE
  - FP OUTDOOR FIREPLACE
  - DP DOWNPIPE
  - OSD ONSITE DETENTION TANK
  - SWP STORMWATER PIT
  - RWT RAINWATER TANK
- TREE'S APPROVED TO BE REMOVED LDA 2021 / 0148
  - TREE'S TO BE REMOVED
  - TREE'S TO BE RETAINED
  - NEW TREE'S

LOT A		
WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	1000
W18	2400	4600
W19	2400	900
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200
LOT B		
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	100
W18	2400	4600
W19	600	2100
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200

Revisions:			
No	Description	By	Date
D	Draft DA Issue - 2	BD	13/09/21
E	Development Application Issue	BD	28/09/21
F	Revised Development Application Issue	BD	28/01/22
G	Section 4.55 Issue	BD	20/06/22

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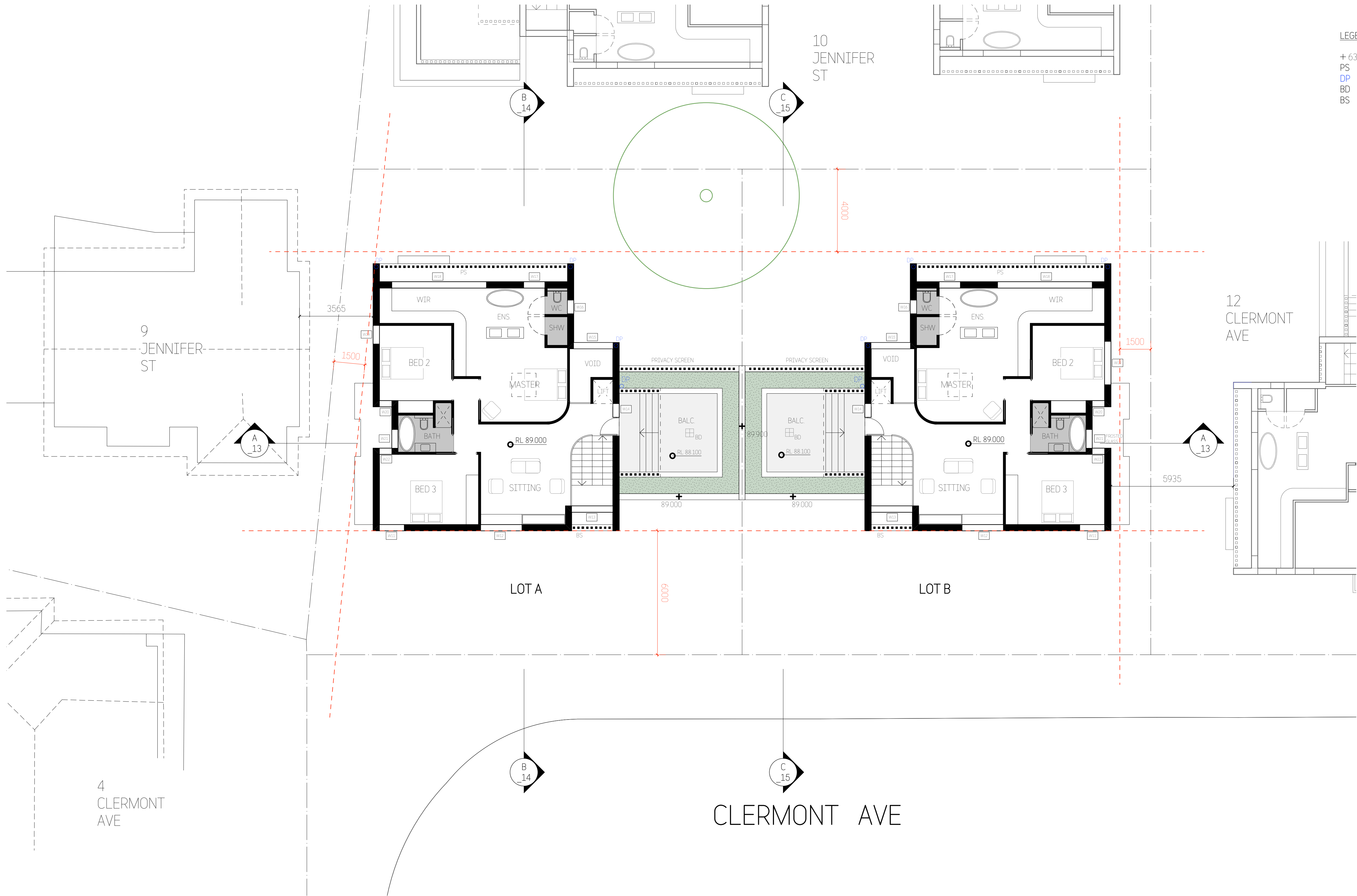


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abr: 74 219 560 787

Project:	8 CLERMONT AVE, RYDE		Drawn:	BD	Date:	20/07/21
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			Job No:	781DA_A_	Drawing No:	05
					Rev:	G







- LEGEND:
- + 63.80
  - PS
  - DP
  - BD
  - BS
- PROPOSED LEVELS  
PRIVACY SCREEN  
DOWNPIPE  
BALCONY DRAIN  
BRICKWORK SCREEN

WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	1000
W18	2400	4600
W19	2400	900
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	100
W18	2400	4600
W19	600	2100
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200

Revisions:			
No	Description	By	Date
D	Draft DA Issue - 2	BD	13/09/21
E	Development Application Issue	BD	28/09/21
F	Revised Development Application Issue	BD	28/02/22
G	Section 4.55 Issue	BD	20/06/22

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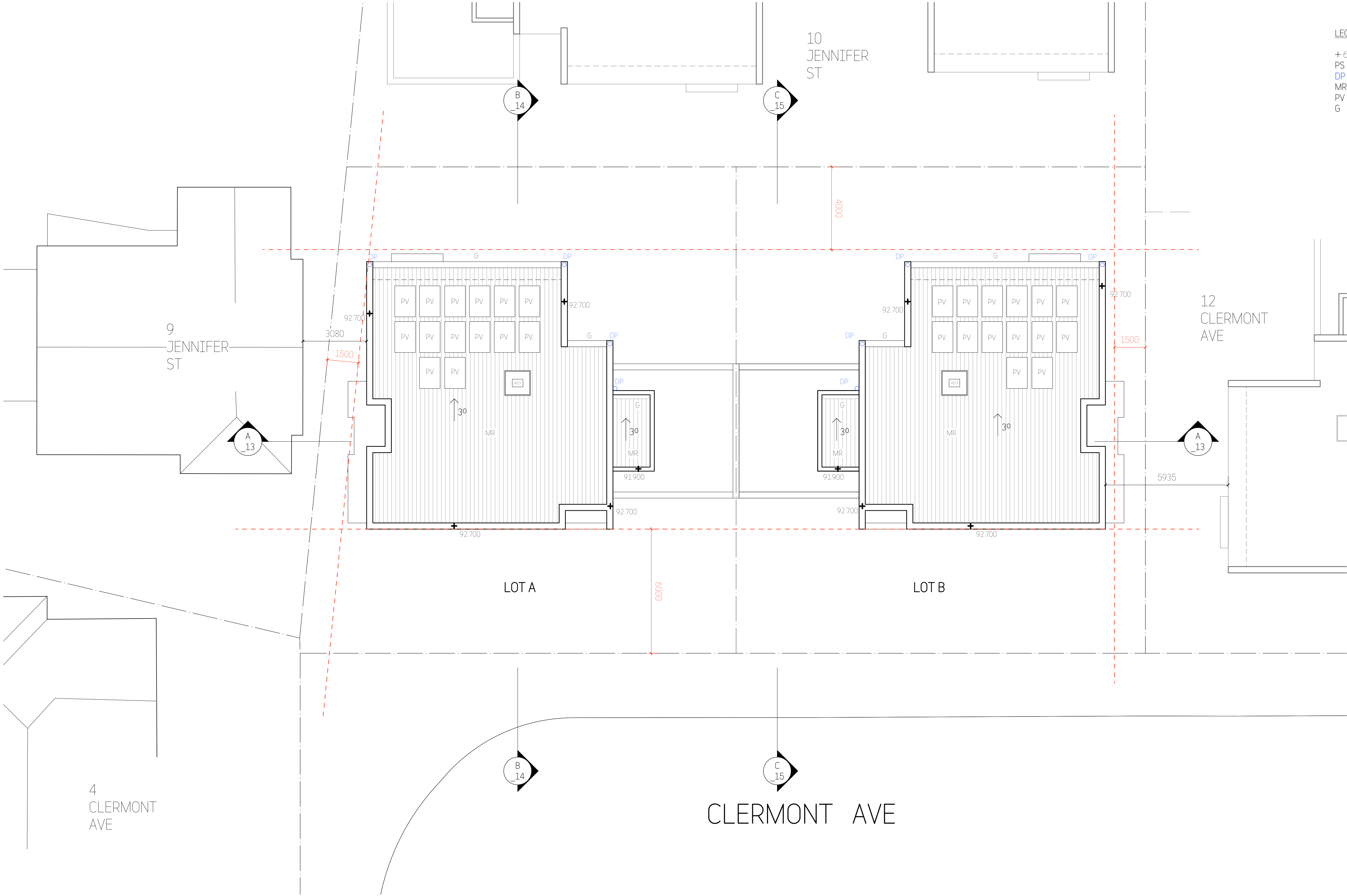
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Project:	8 CLERMONT AVE, RYDE	Drawn:	BD	Date:	20/07/21
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Title:	FIRST FLOOR PLAN	Checked:	BD	Sheet Size:	A3/A1
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				Rev:	G





- LEGEND:
- + 63.80
  - PS
  - DP
  - MR
  - PV
  - G
- PROPOSED LEVELS  
PRIVACY SCREEN  
DOWNPIPE  
METAL ROOFING  
PHOTO VOLTAIC PANELS  
GUTTER

LOT A

LOT B

WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	1000
W18	2400	4600
W19	2400	900
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	100
W18	2400	4600
W19	600	2100
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200

Revisions:			
No	Description	By	Date
C	Draft DA Issue - 2	BD	13/09/21
D	Development Application Issue	BD	28/09/21
E	Revised Development Application Issue	BD	28/01/22
F	Section 4.55 Issue	BD	20/06/22

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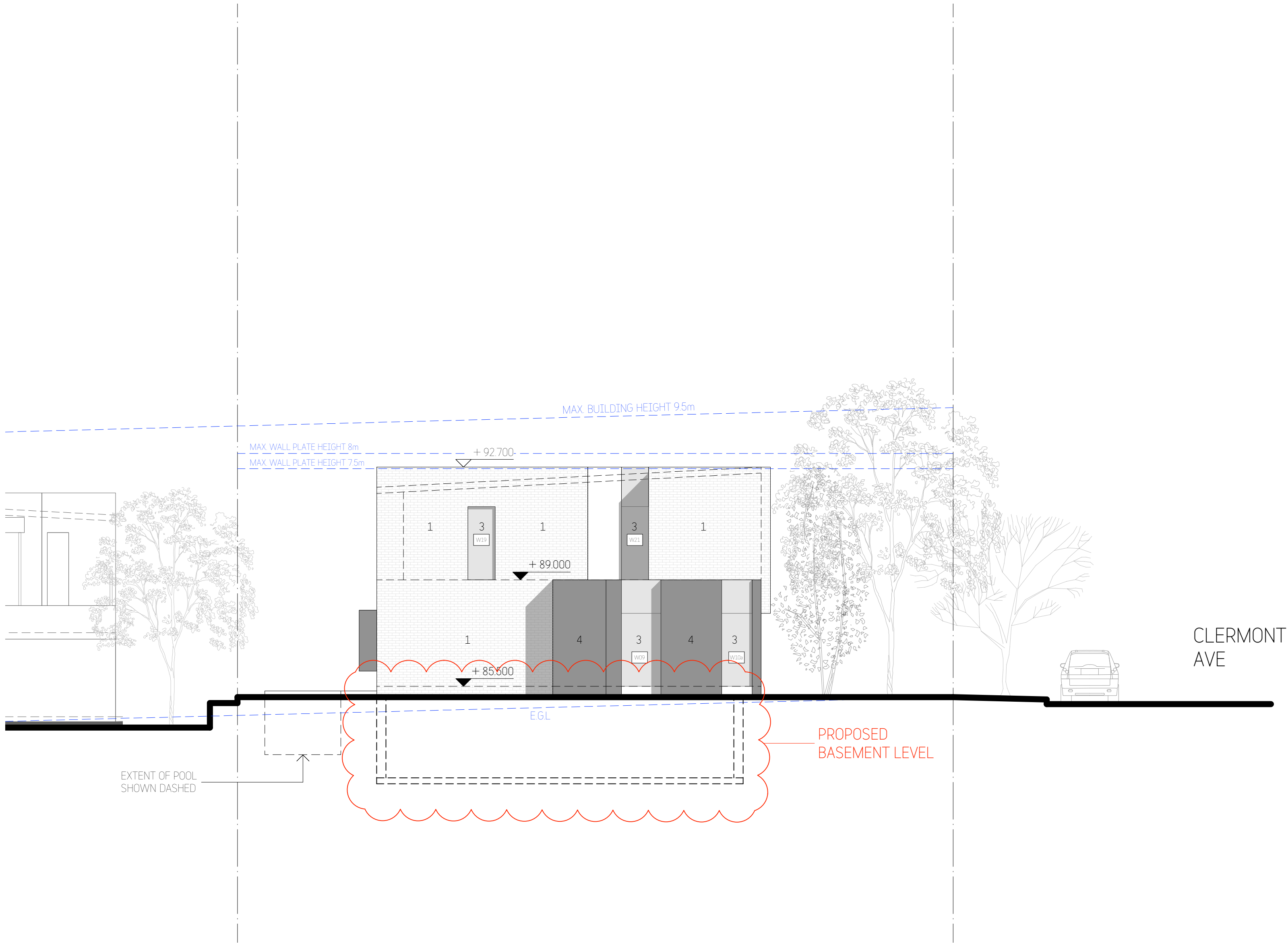
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Job No:	781DA_A_	Drawing No:	07	Rev:	F





LOT A	WINDOW #	HEIGHT	WIDTH
	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	1000
	W18	2400	4600
	W19	2400	900
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200
LOT B			
	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	100
	W18	2400	4600
	W19	600	2100
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200

10  
JENNIFER  
ST



**MATERIALS LEGEND:**

Refer to External Finishes Schedule

- 1 BRICKWORKS WALLS - PAINTED
- 2 EXPOSED CONCRETE WALLS
- 3 ALUMINIUM FRAMED WINDOWS
- 4 TEXTURED CLADDING
- 5 GLASS ENTRY DOOR
- 6 METAL ROOFING
- 7 EXTERNAL WALLS - PAINTED
- 8 VERTICAL BATTENS

Revisions:			
No	Description	By	Date
B	Draft DA Issue - 2	BD	13/09/21
C	Development Application Issue	BD	28/09/21
D	Revised Development Application Issue	BD	28/01/22
E	Section 4.55 Issue	BD	20/06/22

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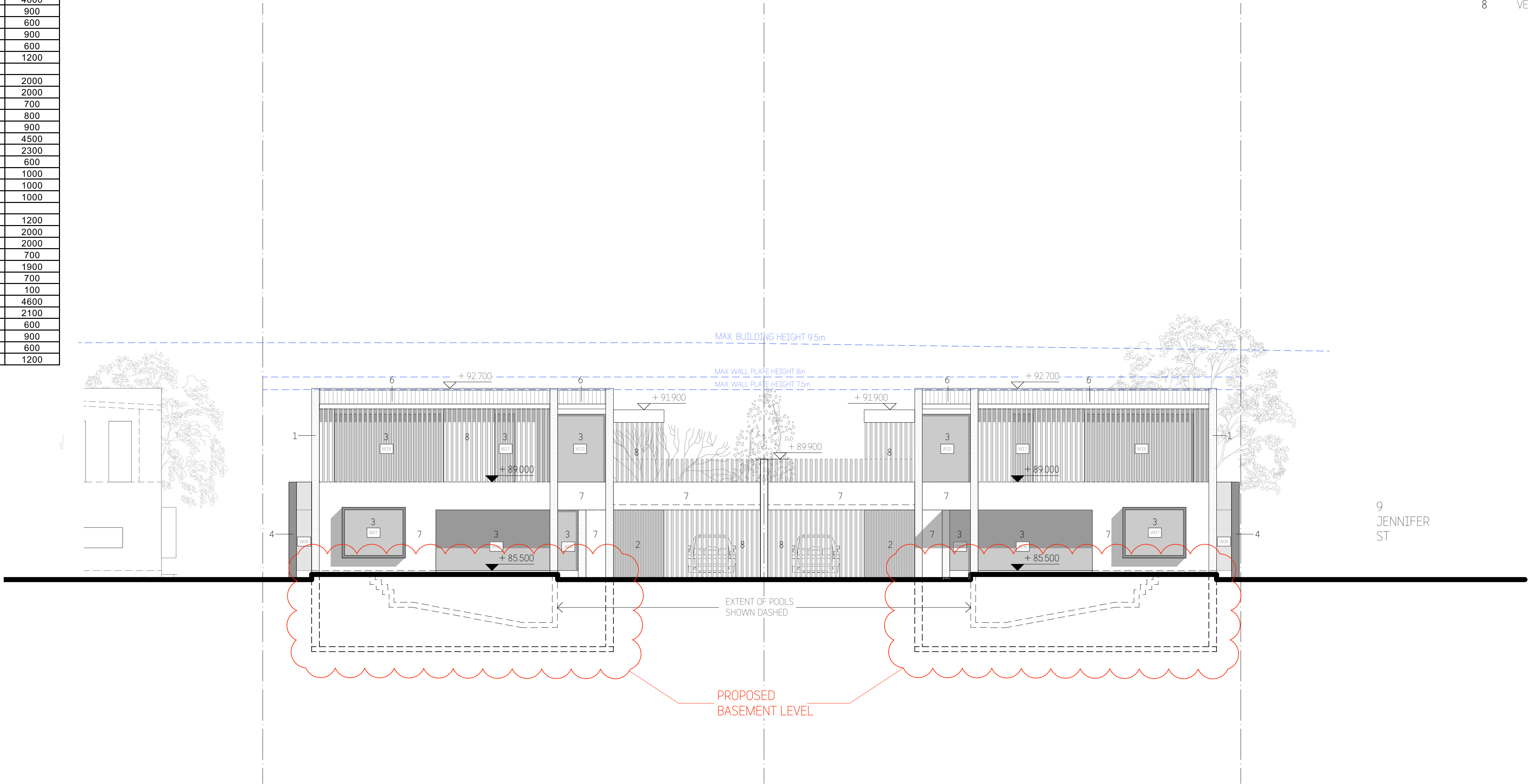
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Title:	WEST ELEVATION	Checked:	BD	Sheet Size:	A3/A1
		Job No:	781DA_A_	Drawing No:	10
				Rev:	E



LOT A	WINDOW #	HEIGHT	WIDTH
	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	1000
	W18	2400	4600
	W19	2400	900
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200
LOT B	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	100
	W18	2400	4600
	W19	600	2100
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200

MATERIALS LEGEND:  
Refer to External Finishes Schedule

- 1 BRICKWORKS WALLS - PAINTED
- 2 EXPOSED CONCRETE WALLS
- 3 ALUMINIUM FRAMED WINDOWS
- 4 TEXTURED CLADDING
- 5 GLASS ENTRY DOOR
- 6 METAL ROOFING
- 7 EXTERNAL WALLS - PAINTED
- 8 VERTICAL BATTENS



Revisions:			
No	Description	By	Date
B	Draft DA Issue - 2	BD	13/09/21
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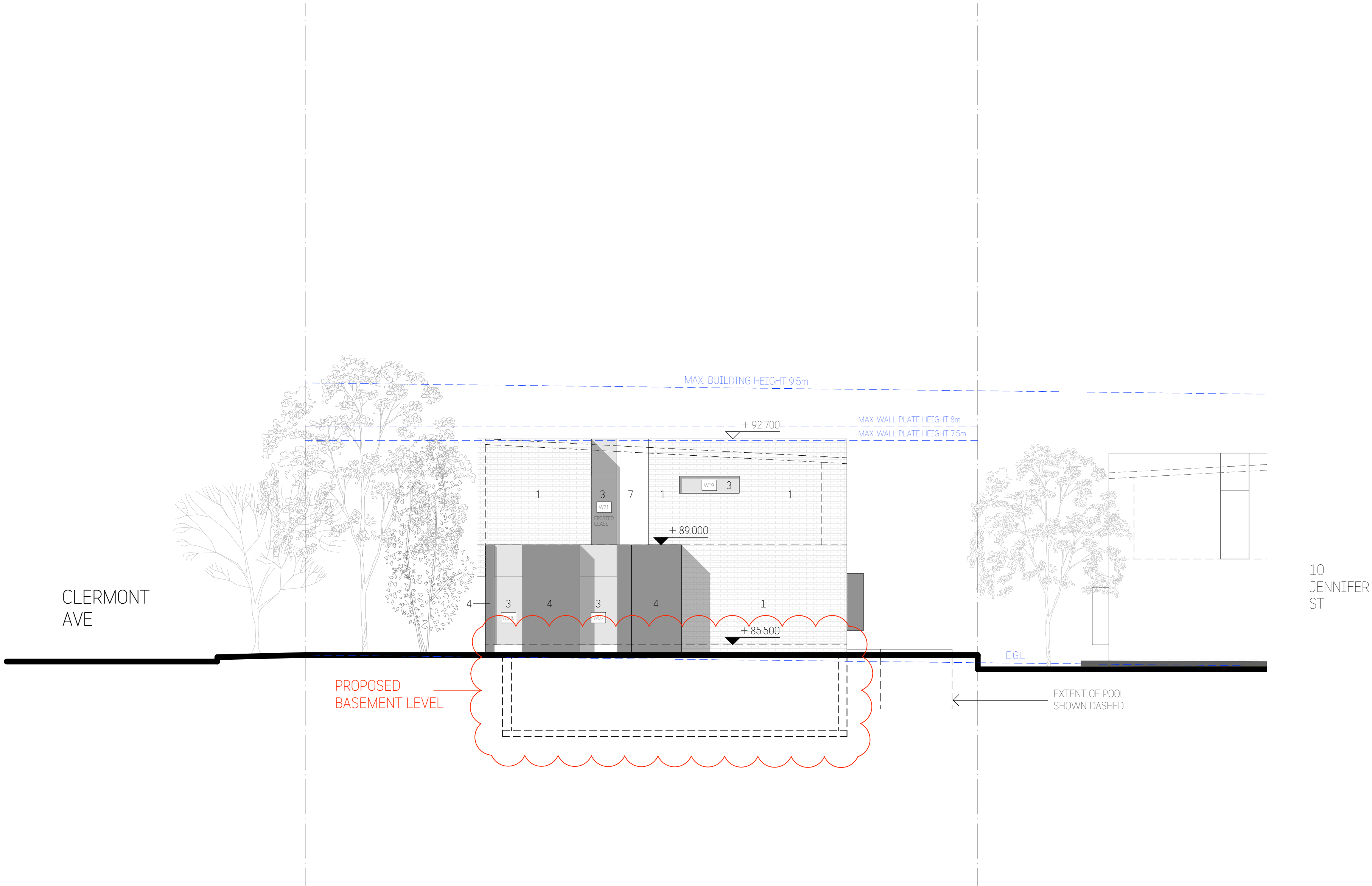
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abr: 74 219 560 787

Project:	8 CLERMONT AVE, RYDE	Drawn:	BD	Date:	20/07/21
		Scale:	1:200@A3 1:100@A1		
Title:	NORTH ELEVATION	Checked:	BD	Sheet Size:	A3/A1
Job No:	781DA_A_	Drawing No:	11	Rev:	E





LOT A	WINDOW #	HEIGHT	WIDTH
	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	1000
	W18	2400	4600
	W19	2400	900
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200
LOT B	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	100
	W18	2400	4600
	W19	600	2100
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200



#### MATERIALS LEGEND:

Refer to External Finishes Schedule

- 1 BRICKWORKS WALLS - PAINTED
- 2 EXPOSED CONCRETE WALLS
- 3 ALUMINIUM FRAMED WINDOWS
- 4 TEXTURED CLADDING
- 5 GLASS ENTRY DOOR
- 6 METAL ROOFING
- 7 EXTERNAL WALLS - PAINTED
- 8 VERTICAL BATTENS

Revisions:			
No	Description	By	Date
B	Draft DA Issue - 2	BD	13/09/21
C	Development Application Issue	BD	28/09/21
D	Revised Development Application Issue	BD	28/01/22
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abr: 74 219 560 787

Project:	8 CLERMONT AVE, RYDE	Drawn:	BD	Date:	20/07/21
				Scale:	1:200@A3 1:100@A1
Title:	EAST ELEVATION	Checked:	BD	Sheet Size:	A3/A1
Job No:	781DA_A_	Drawing No:	12	Rev:	E

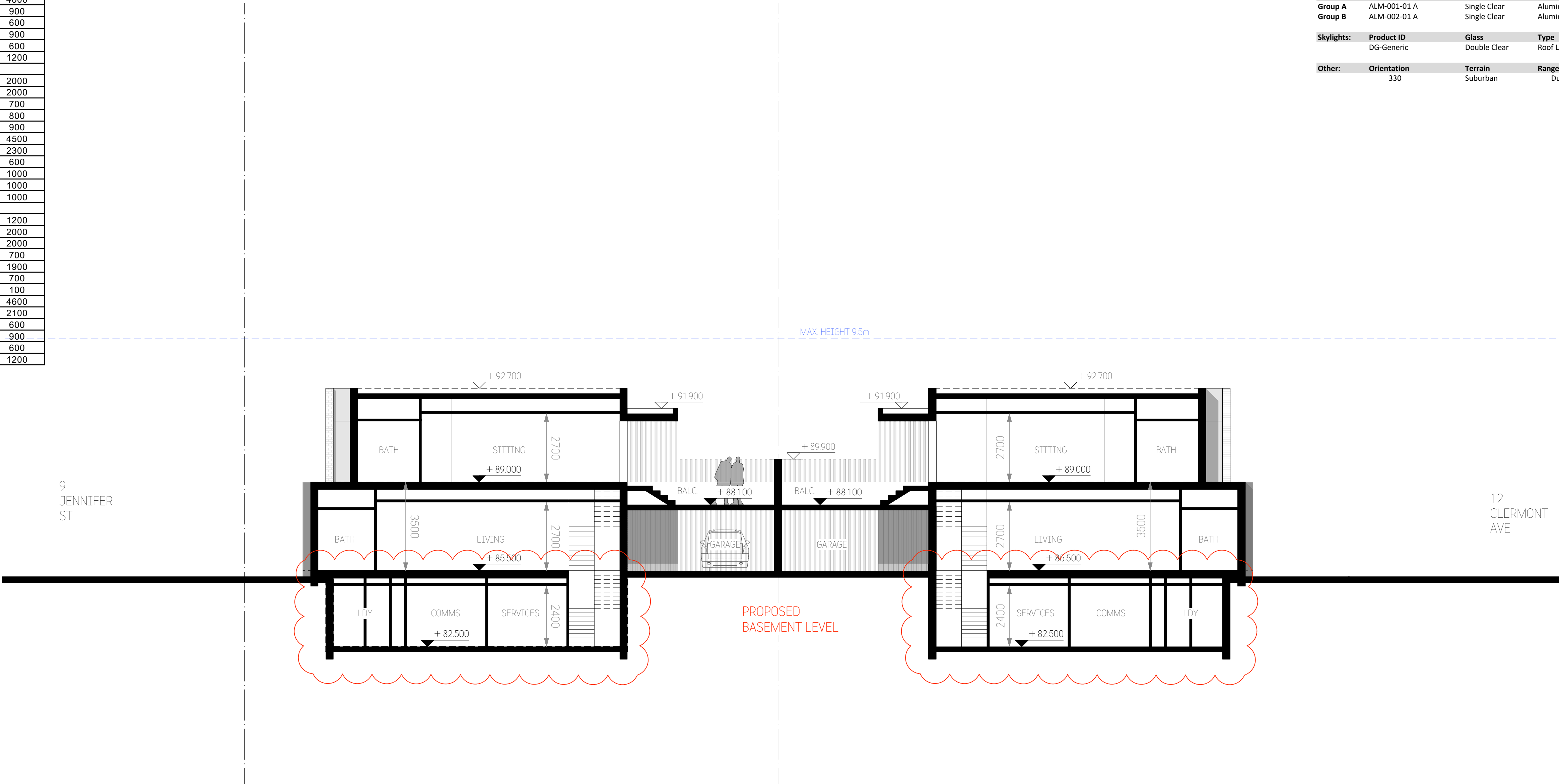


LOT A

WINDOW #	HEIGHT	WIDTH
W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	1000
W18	2400	4600
W19	2400	900
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200

LOT B

W01	2400	2000
W02	2400	2000
W03	2400	700
W04	2400	800
W05	2400	900
W06	2400	4500
W07	2000	2300
W08	2400	600
W09	2400	1000
W10A	2400	1000
W10B	2400	1000
W11	2400	1200
W12	2400	2000
W13	2400	2000
W14	2400	700
W15	2400	1900
W16	2400	700
W17	2400	100
W18	2400	4600
W19	600	2100
W20	2400	600
W21	2400	900
W22	2400	600
W23	1200	1200



1 SECTION A-A

Project:	Address:	8 Clermont Avenue Ryde NSW 2112			File Ref:	HEC0845
Applicant:	Name:	Ray Younes			Designer:	Younes Property
Assessor:	Name:	Paul Gradwell			Company:	House Energy Certified
	Address:	PO BOX 3136 Tamarama NSW 2026			Number:	DMN/18/4423
	Contact:	02 9130 2068			Email:	paul@houseenergycertified.com
Ext. Walls:	Construction	Insulation	Colour	Details		
	Cavity Brick	25mm Kooltherm K8 or equiv (R1.2)	Medium	As per plans		
Int. Walls:	Construction	Insulation	Details			
	Concrete with Plasterboard	None	To stairs/lift			
	Single Brick	R2.0 added	To garage			
	Brick with Plasterboard	None	Intertenancy			
Floors:	Construction	Insulation	Details			
	Concrete	R1.4 added	Where open below			
Ceilings:	Construction	Insulation	Details			
	Plasterboard	R2.5 added	Below metal deck roof			
Roof:	Construction	Insulation	Colour	Details		
	Concrete	50mm PIR or equiv (R2.5)	Medium	Above Kitchen, GF Bathroom, Study, Garage		
	Metal Deck	60mm Anticon (R1.3)	Light	To top roof		
Windows:	Product ID	Glass	Frame	Uw/SHGCw	Details	
Group A	ALM-001-01 A	Single Clear	Aluminium	6.7/0.57	Casement, Entry Door	
Group B	ALM-002-01 A	Single Clear	Aluminium	6.7/0.70	Fixed, Sliding, Double Hung	
Skylights:	Product ID	Glass	Type	Uw/SHGCw	Details	
	DG-Generic	Double Clear	Roof Light	4.2/0.72	As per plans	
Other:	Orientation	Terrain	Rangehood	Recessed Downlights	Software Version	
	330	Suburban	Ducted	No	Bers Pro 4.4	

Revisions:			
No	Description	By	Date
A	Draft DA Issue - 2	BD	13/09/21
B	Development Application Issue	BD	28/09/21
C	Revised Development Application Issue	BD	28/01/22
D	Section 4.55 Issue	BD	20/06/22

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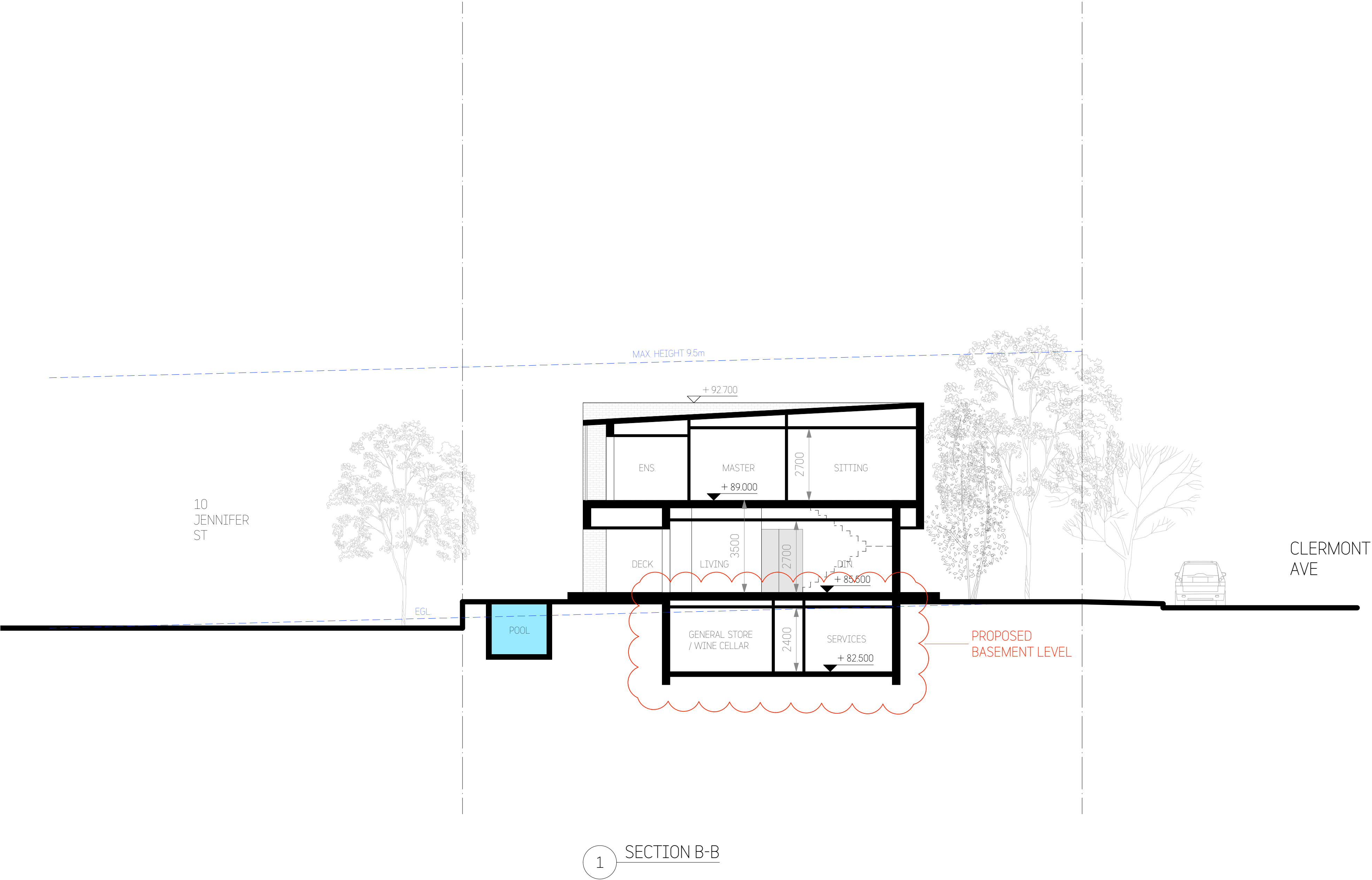
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abr: 74 219 560 787

Project:	8 CLERMONT AVE, RYDE	Drawn:	BD	Date:	20/07/21
		Checked:	BD	Scale:	1:200@A3 1:100@A1
Title:	SECTIONS - 1	Sheet Size:	A3/A1		
		Job No:	781DA_A_	Drawing No:	13
				Rev:	D





LOT A	WINDOW #	HEIGHT	WIDTH
	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	1000
	W18	2400	4600
	W19	2400	900
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200
LOT B	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	100
	W18	2400	4600
	W19	600	2100
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200



Revisions:			
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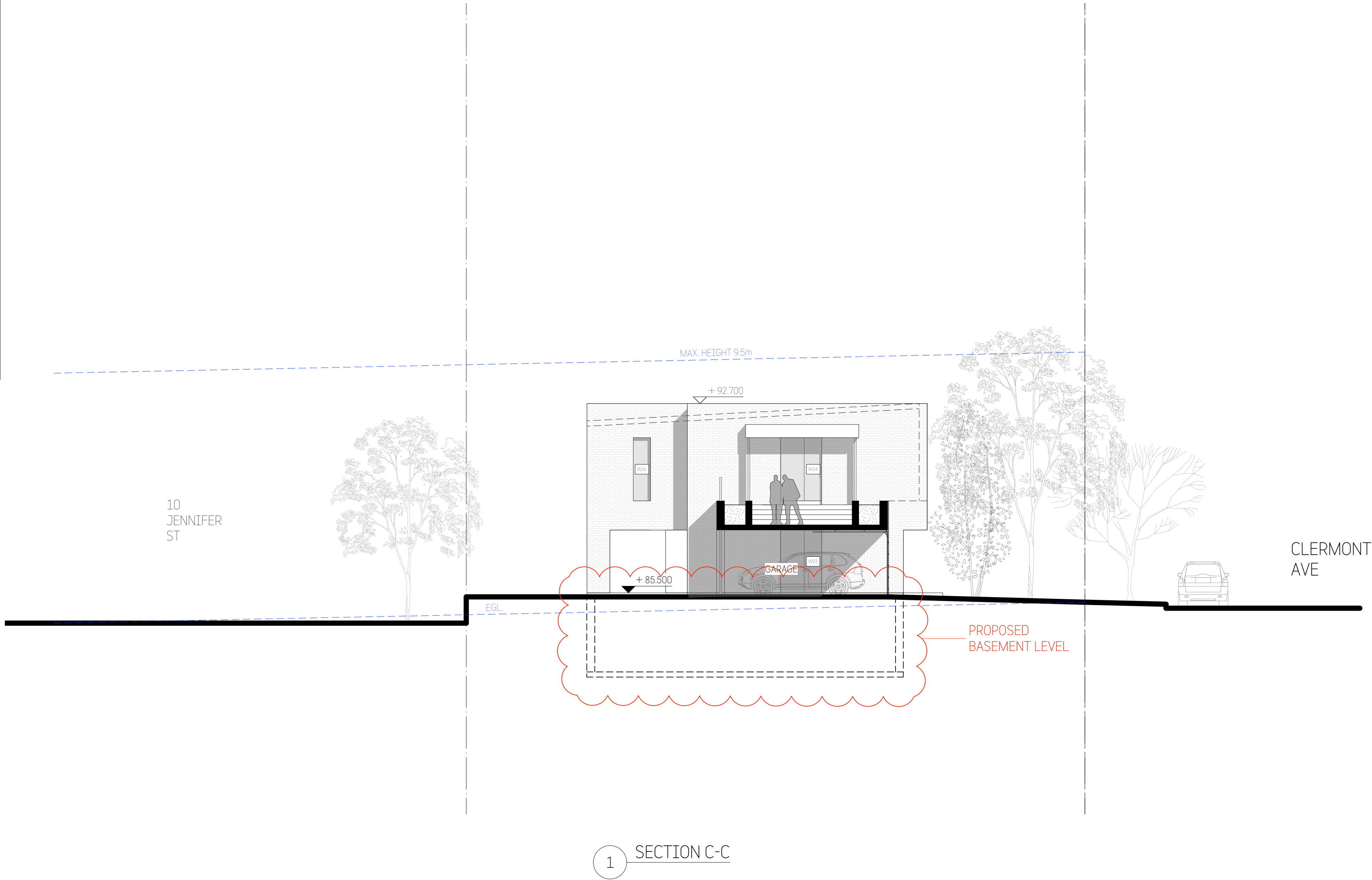


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Project:	8 CLERMONT AVE, RYDE	Drawn:	BD	Date:	20/07/21
				Scale:	1:200@A3 1:100@A1
Checked:	BD	Sheet Size:	A3/A1		
Job No:	781DA_A_	Drawing No:	14	Rev:	D



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	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	1000
	W18	2400	4600
	W19	2400	900
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200
LOT B	W01	2400	2000
	W02	2400	2000
	W03	2400	700
	W04	2400	800
	W05	2400	900
	W06	2400	4500
	W07	2000	2300
	W08	2400	600
	W09	2400	1000
	W10A	2400	1000
	W10B	2400	1000
	W11	2400	1200
	W12	2400	2000
	W13	2400	2000
	W14	2400	700
	W15	2400	1900
	W16	2400	700
	W17	2400	100
	W18	2400	4600
	W19	600	2100
	W20	2400	600
	W21	2400	900
	W22	2400	600
	W23	1200	1200



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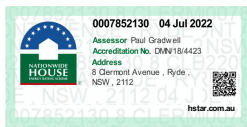
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8 CLERMONT AVE, RYDE				Scale:	1:200@A3 1:100@A1		
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Title:		Job No:	781DA_A_	Drawing No:	15	Rev:	D
SECTIONS - 3							



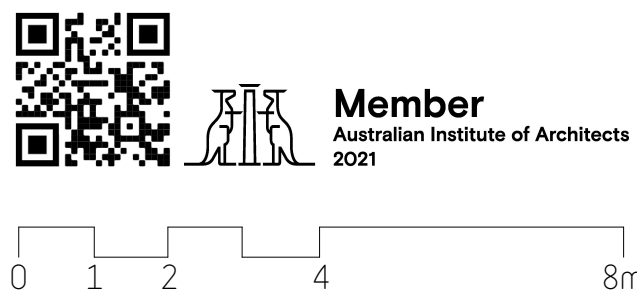




Revisions:			
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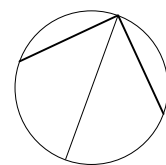
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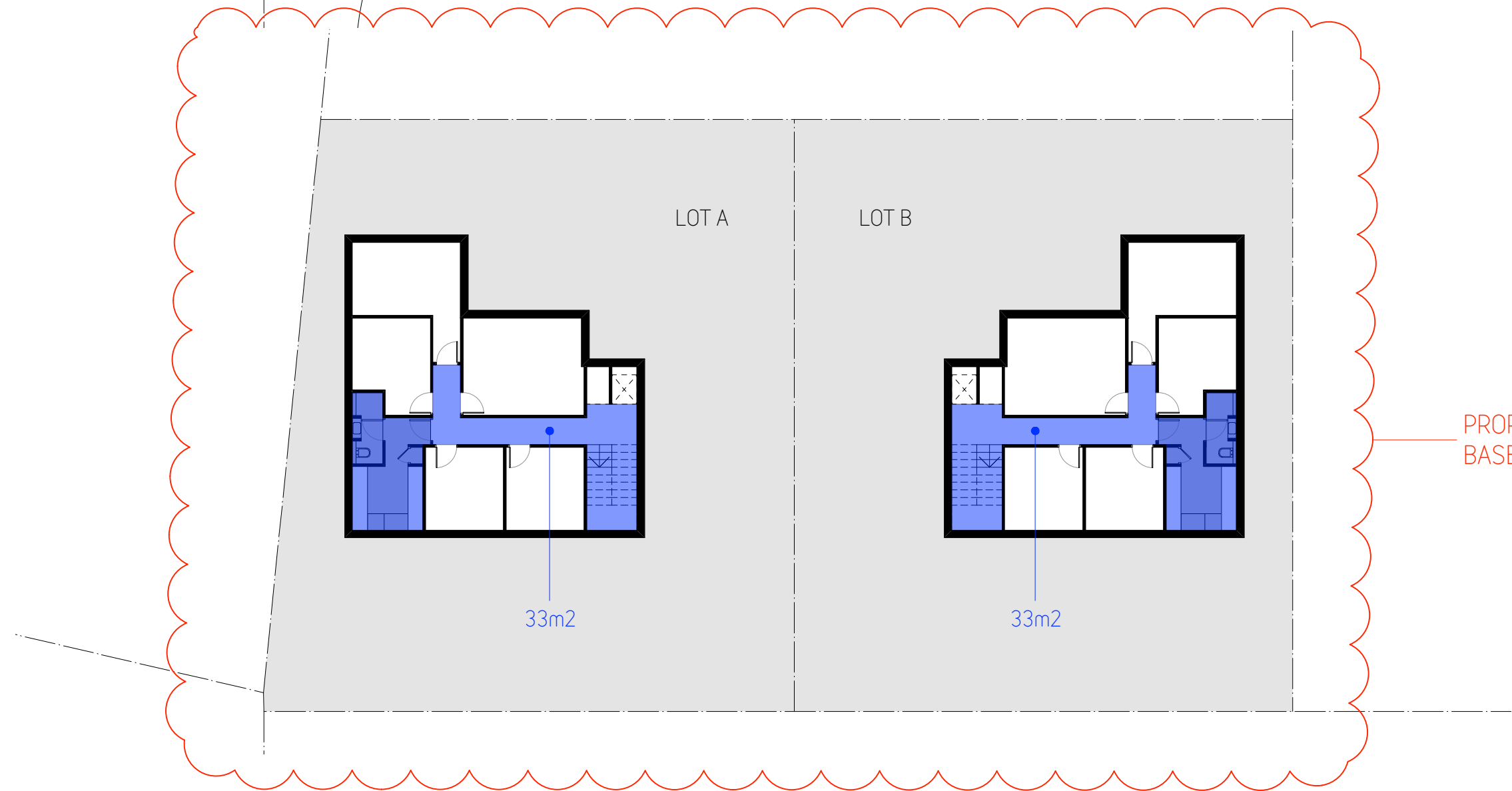
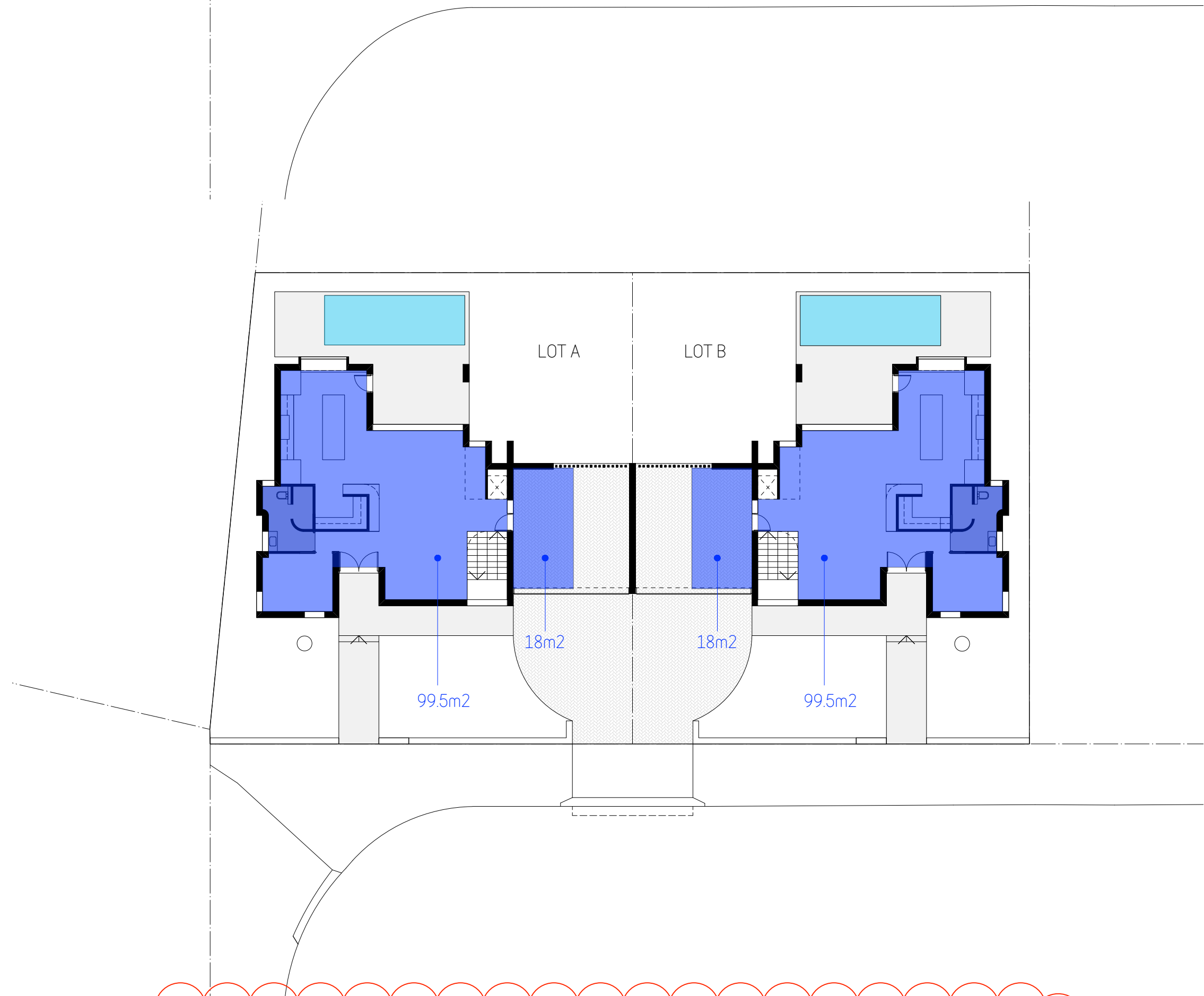
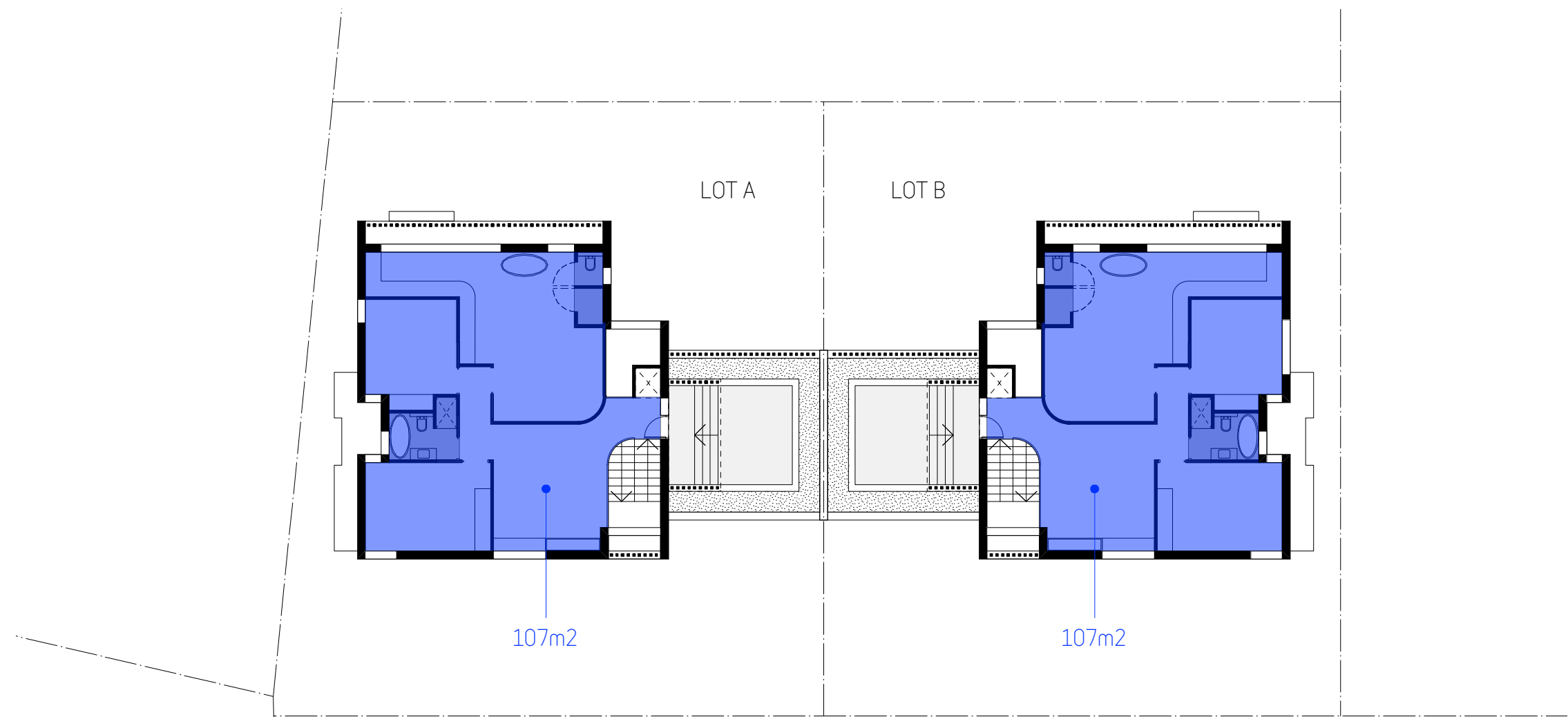
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Project:		Drawn:	BD	Date:	20/07/21
8 CLERMONT AVE, RYDE				Scale:	1:200@A3 1:100@A1
Title:		Checked:	BD	Sheet Size:	
SHADOW DIAGRAMS - 21st June				A3/A1	
Job No:	781DA_A_	Drawing No:	16	Rev:	C





PROPOSED  
BASEMENT LEVEL

SITE AREA = 935.38m2

LOT A = 257.5m2 gfa  
LOT B = 257.5m2 gfa  
= 515m2 gfa (0.55:1)



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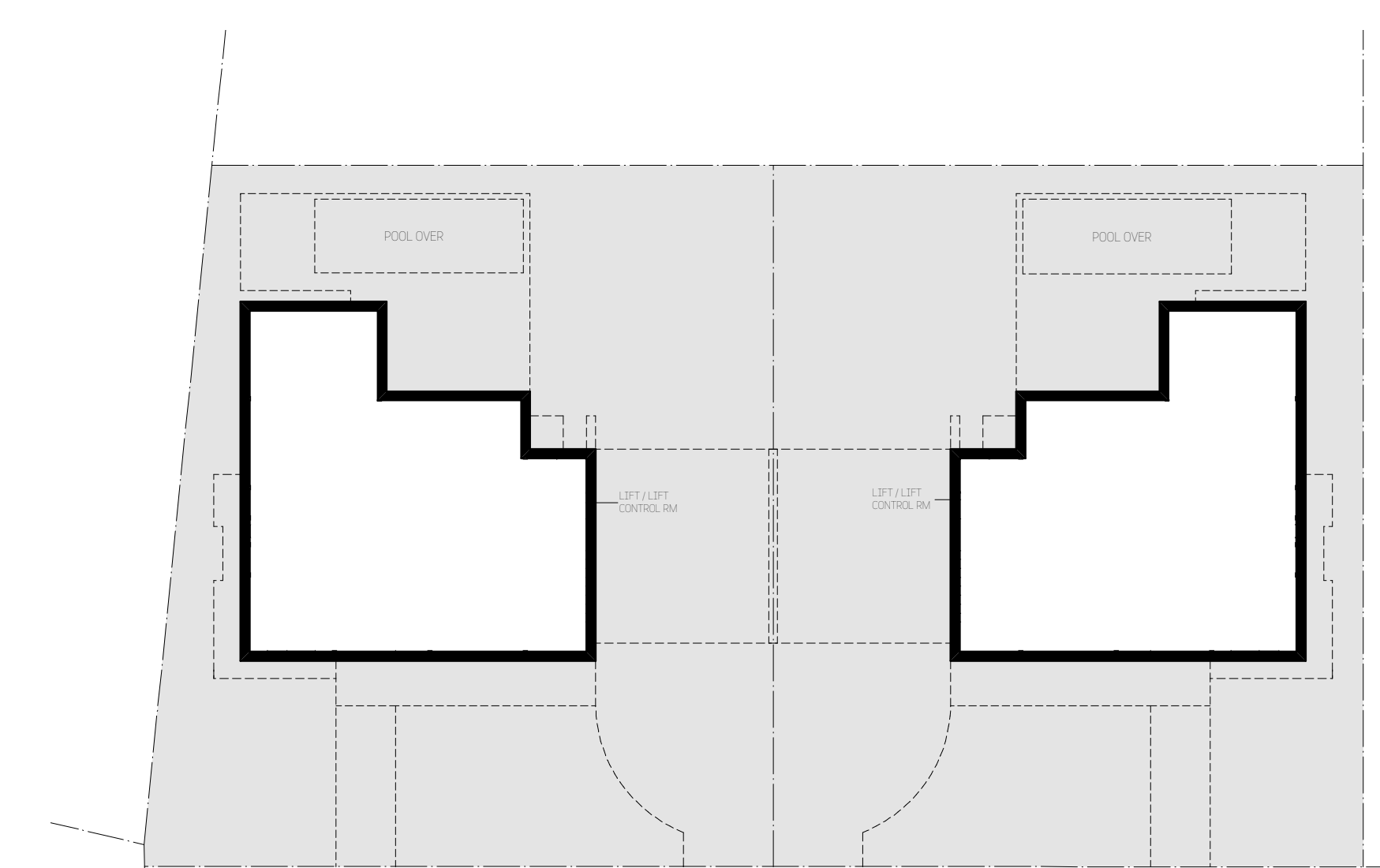
STUDIO\_BD ARCHITECTURE & INTERIORS  
Nominated Architect-Boris Dragas NSW ARB #76258  
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mob: 74 219 560 787

Project:  
8 CLERMONT AVE, RYDE

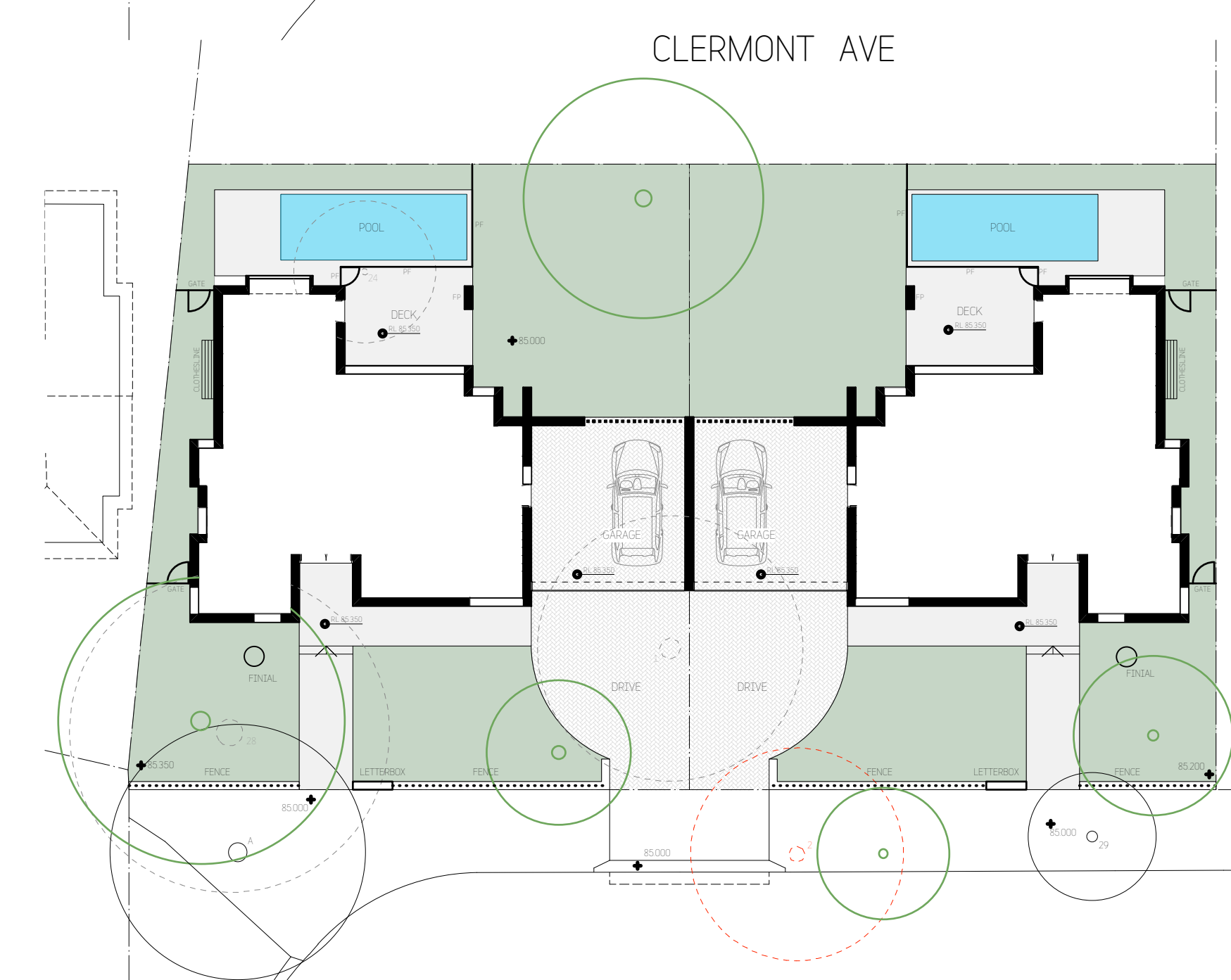
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AREA SCHEDULE

Drawn: BD Date: 20/07/21  
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Checked: BD Sheet Size: A3/A1  
Job No: 781DA\_A\_ Drawing No: 18 Rev: C

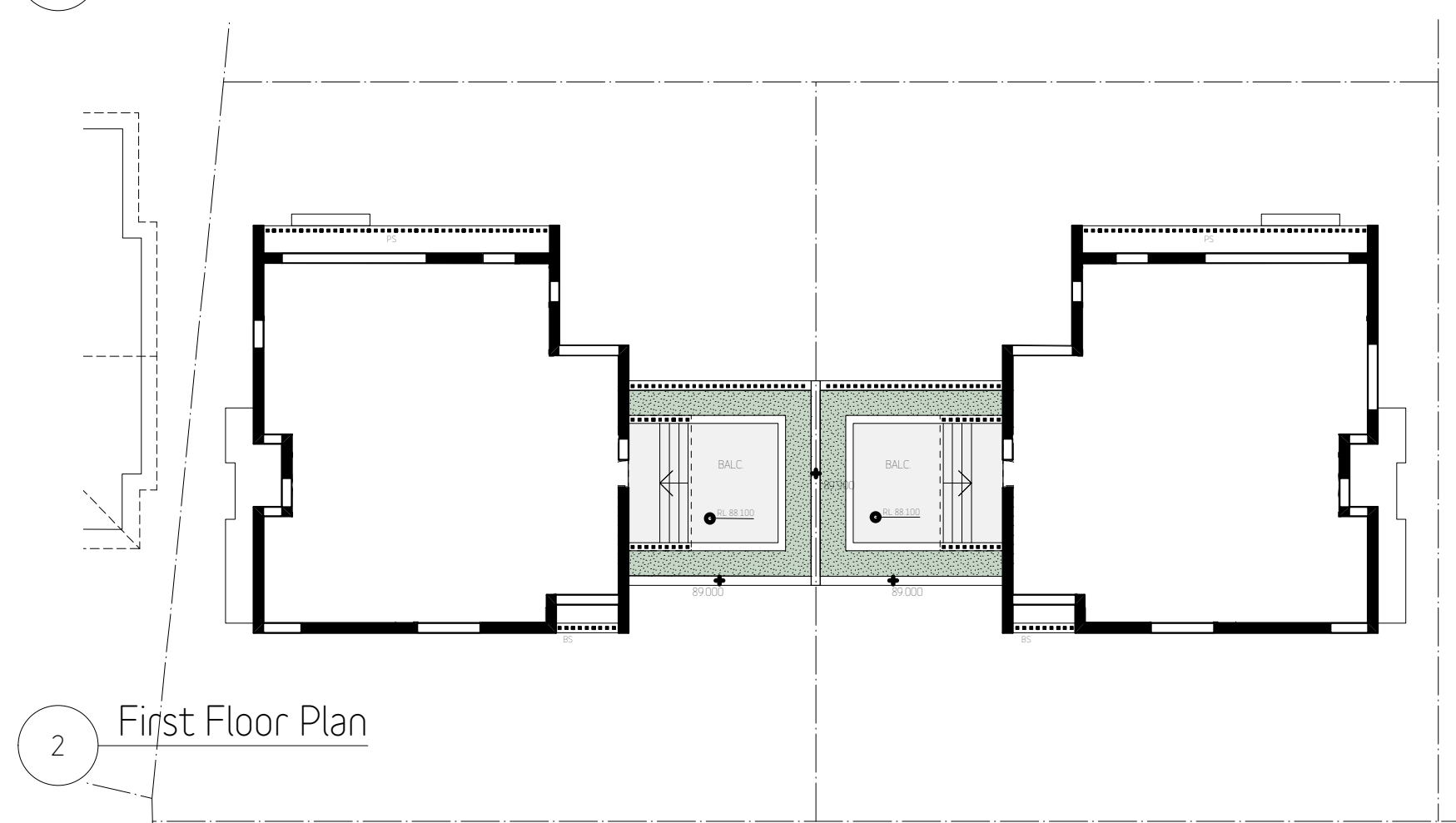




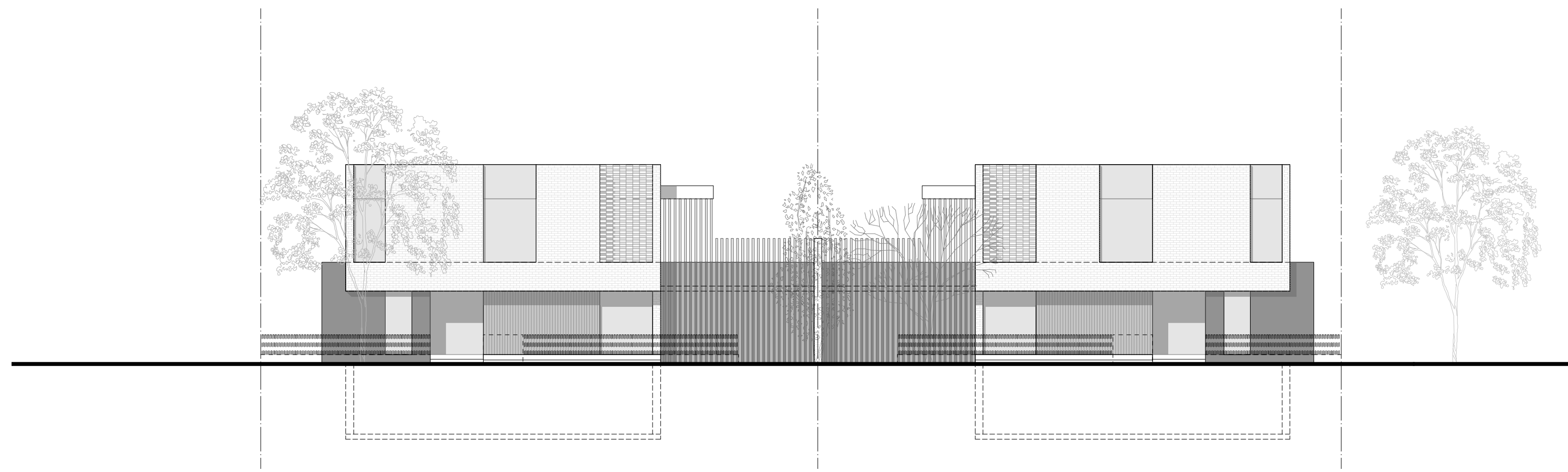
Basement Floor Plan



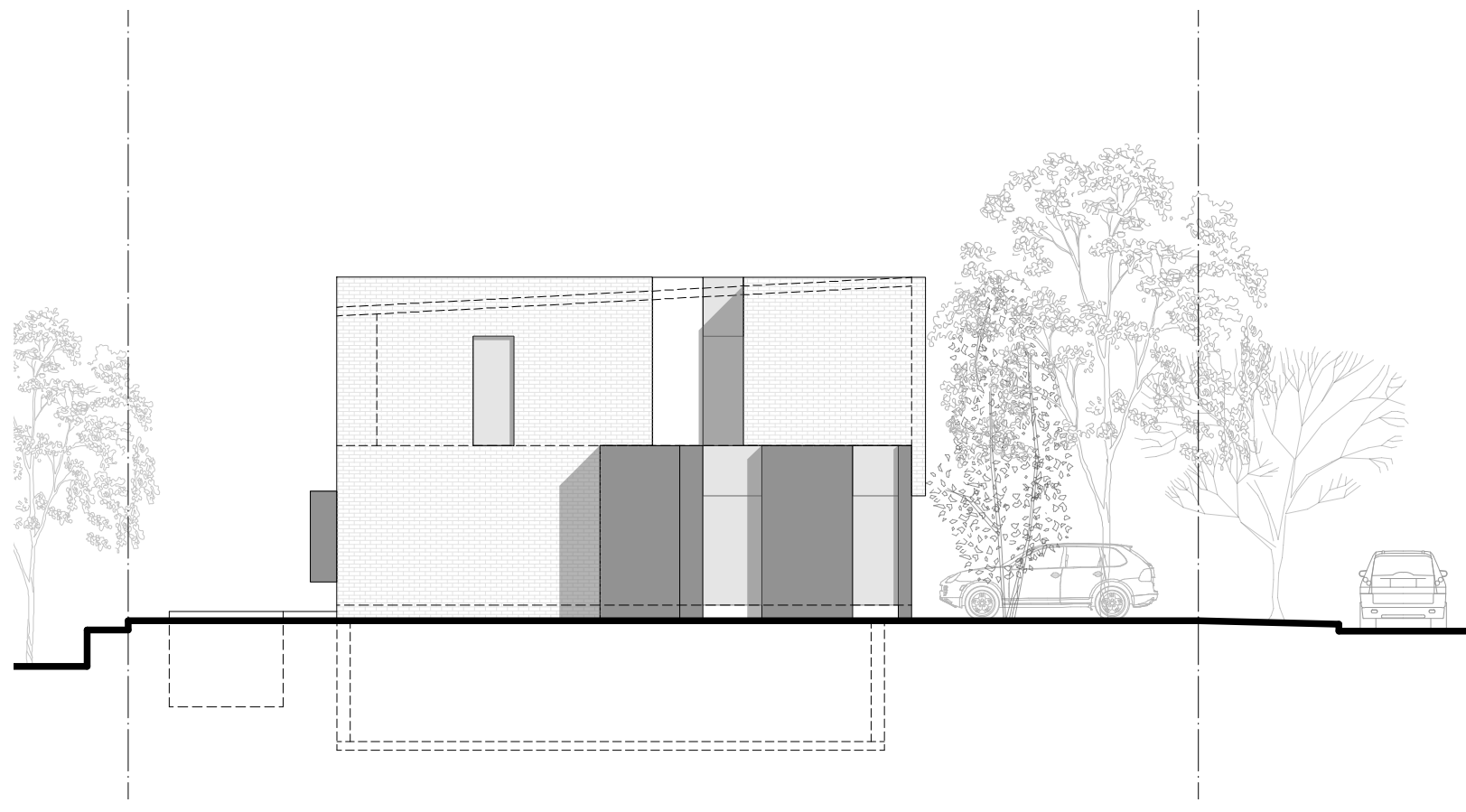
1 Ground Floor Plan



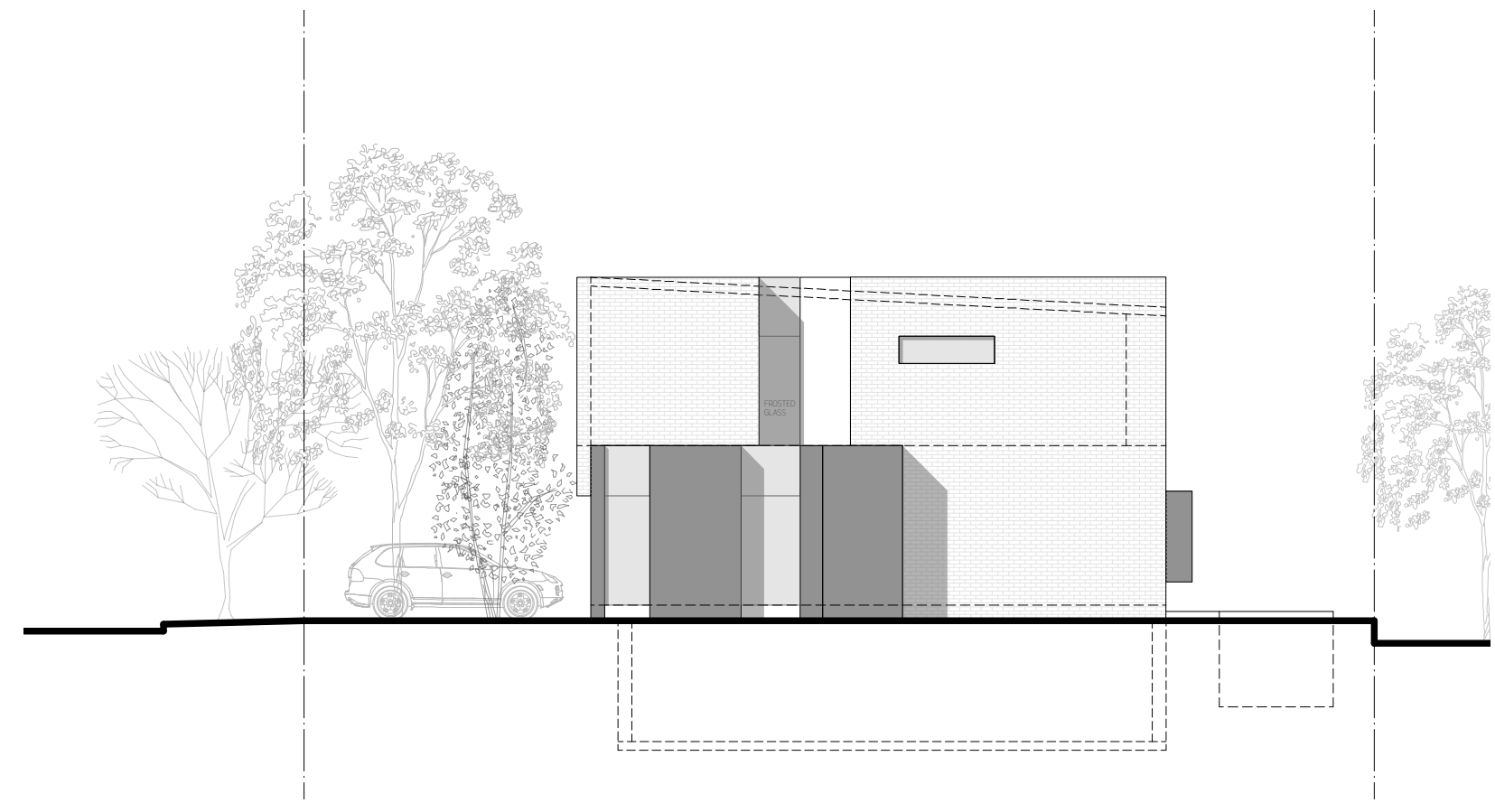
2 First Floor Plan



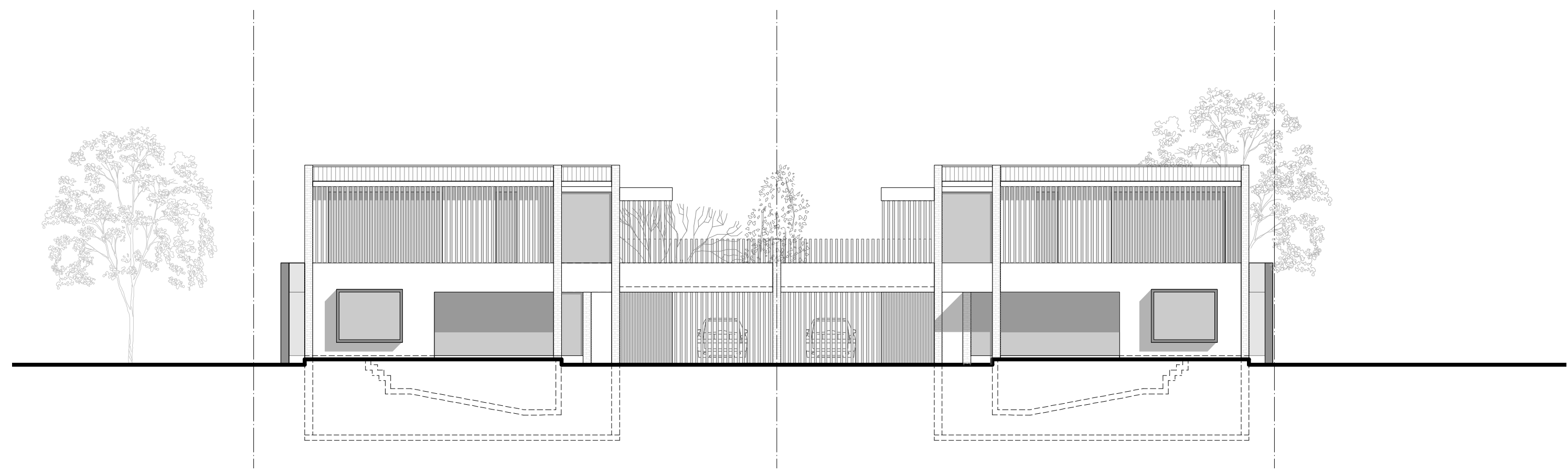
3 South Elevation



4 West Elevation



5 East Elevation



6 North Elevation

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No	Description	By	Date
A	Development Application Issue	BD	28/09/21
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Project:		8 CLERMONT AVE, RYDE
Title:		NOTIFICATION PLANS
Drawn:	BD	Date: 15/07/21
Checked:	BD	Scale: NTS
Job No:	781DA_A_	Sheet Size: A4
Drawing No:	19	Rev: B

