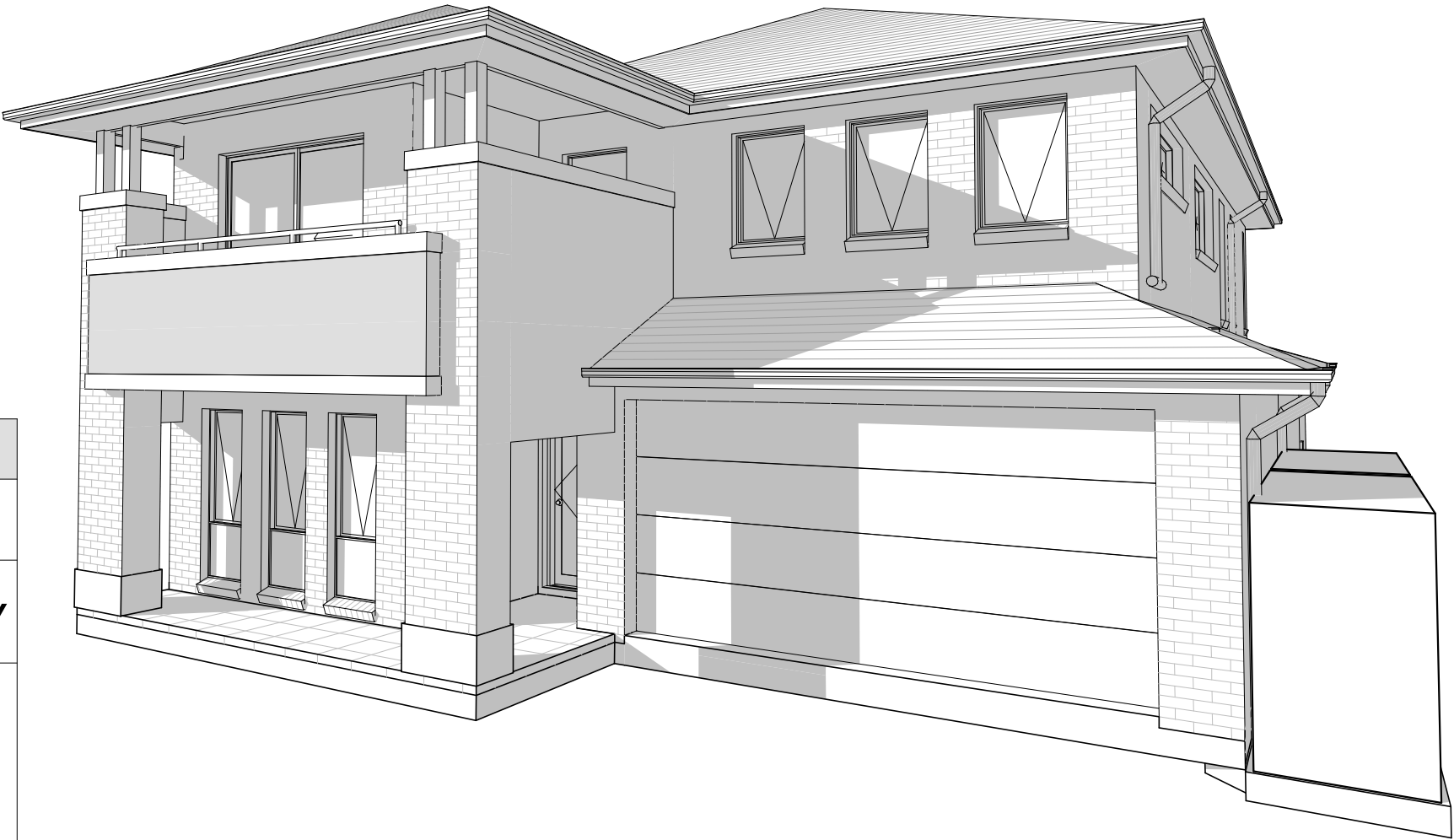


Ambassador 41  
Savannah (Covered  
Balcony)

Page	Drawing
2	SITE PLAN
3	BENCHING PLAN
4	GROUND FLOOR PLAN
5	FIRST FLOOR PLAN
6	ELEVATIONS
7	ELEVATIONS
8	SECTIONS
9	WINDOWS & DOORS SCHEDULE
10	SITE ANALYSIS PLAN
11	SHADOW DIAGRAMS JUNE 21ST
12	SHADOW DIAGRAMS DECEMBER 31ST
13	ZONE CALCULATIONS
14	FSR CALCULATIONS



FILE PATH: T:\\_WISDOM HOMES\2022\208777\_RASTOGI\208777 RASTOGI PILLAY SUBMISSION PLANS.pln

SIGNATURE ESSENTIALS



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PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:  
Mr G RASTOGI & Ms K K PILLAY  
ADDRESS:  
Lot 4 No. 22 HUXLEY STREET  
WEST RYDE

JOB No:  
208777

DA SCHEDULE	
<b>SITE DETAILS</b>	
LGA CONTROL	Ryde
LOT NUMBER/DP NUMBER	4 / 35789
ZONE & LOT WIDTH	R2 14.935m
SITE AREA	752.50 m <sup>2</sup>
<b>DWELLING AREAS</b>	
GROUND FLOOR LIVING	158.02 m <sup>2</sup>
FIRST FLOOR LIVING	158.41 m <sup>2</sup>
PORCH	18.64 m <sup>2</sup>
PATIO	0.00 m <sup>2</sup>
FRONT BALCONY	11.21 m <sup>2</sup>
REAR BALCONY	0.00 m <sup>2</sup>
GARAGE	37.25 m <sup>2</sup>
OUTDOOR LEISURE	22.71 m <sup>2</sup>
SECONDARY DWELLING(Lower)	60.36 m <sup>2</sup>
SECONDARY DWELLING(Upper)	0.00 m <sup>2</sup>
TOTAL :	<b>466.60 m<sup>2</sup></b>
DRIVE AREA	36.74 m <sup>2</sup>
ROOF AREA (drained to tank)	260.22 m <sup>2</sup>
<b>SITE COVERAGE</b> (Single storey/Lower floor)	
MAXIMUM SITE COVERAGE	0.00 m <sup>2</sup> / 0.00%
ACTUAL SITE COVERAGE	<b>255.63 m<sup>2</sup>/ 33.97%</b>
<b>FLOOR SPACE RATIO</b>	
MAXIMUM FLOOR SPACE/FSR	376.25 m <sup>2</sup> / 50.00%
ACTUAL FLOOR SPACE/FSR	<b>356.93 m<sup>2</sup>/ 47.43%</b>
<b>LANDSCAPING AREAS</b>	
MINIMUM LANDSCAPING	263.38 m <sup>2</sup> / 35.00%
ACTUAL LANDSCAPING	<b>317.80 m<sup>2</sup>/ 42.23%</b>
<b>PRIVATE OPEN SPACE</b>	
MINIMUM POS	0.00 m <sup>2</sup> / 0.0x0.0
ACTUAL POS	<b>260.79 m<sup>2</sup>/ 18.695x14.935</b>
<b>'M' CLASS SLAB</b>	

ACID SULFATE SOILS CLASS 5

Lot 4 No. 22  
AREA: 752.50m<sup>2</sup>

STORMWATER DRAINAGE TO STREET.  
REFER TO HYDRAULIC DETAILS ISSUE  
A DATED 02.09.22.

ANY RETAINING WALLS REQUIRED TO BE  
COMPLETED BY OWNERS TO  
MANUFACTURERS SPECIFICATIONS.

EXCAVATE SITE APPROX. **285 mm** TO  
FORM JOB DATUM **R.L 10.455** (AHD)  
DATUM POINT 310mm BELOW FINISHED  
FLOOR LEVEL. EXTENT OF EXCAVATION  
AND BATTERS TO BE DETERMINED ON  
SITE.



- PROPOSED EXCAVATION
- EXISTING STRUCTURE TO BE DEMOLISHED BY OWNER

SITE PLAN

1:200

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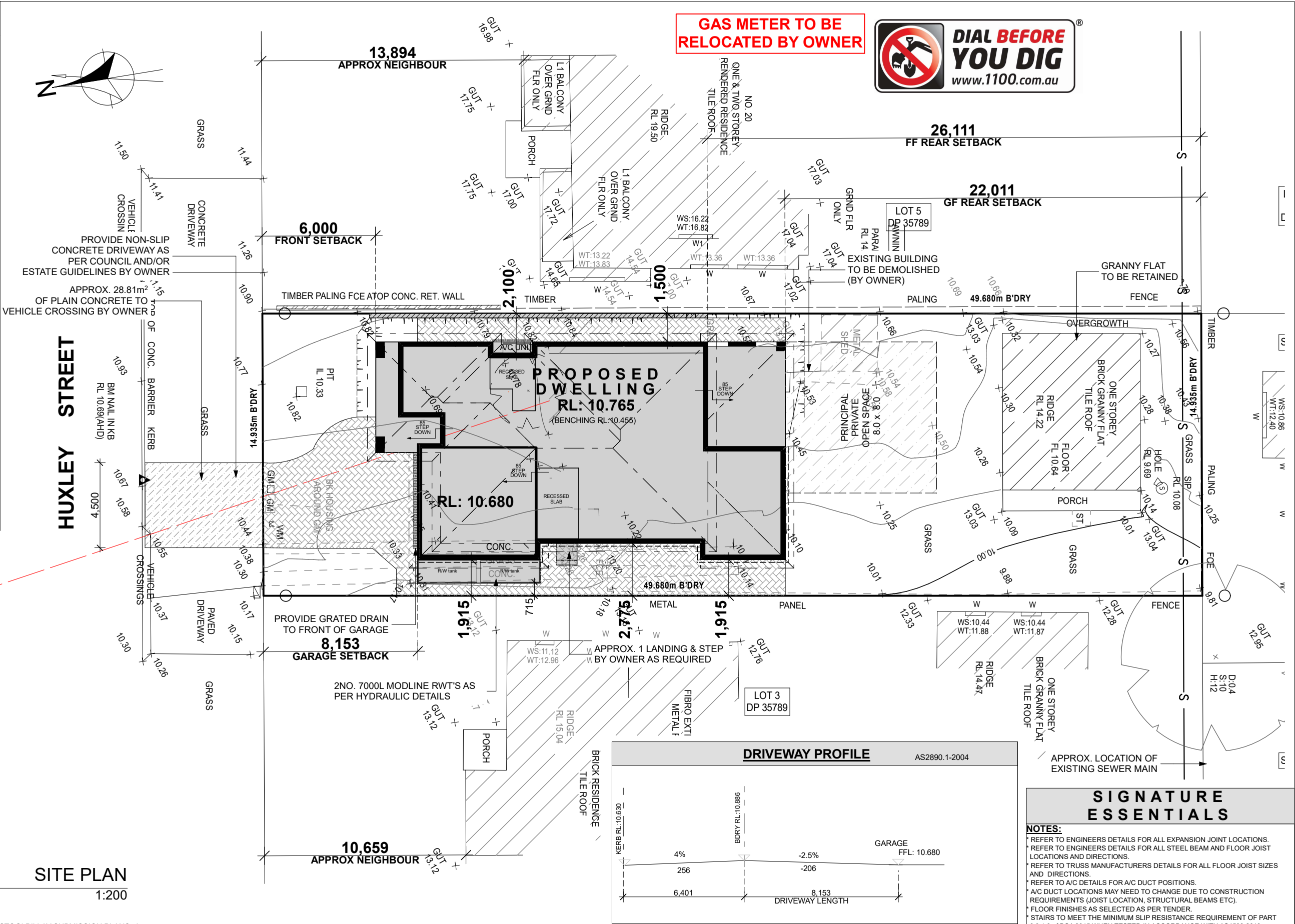
 1300 855 775 wisdomhomes.com.au	PROJECT: PROPOSED BRICK VENEER DWELLING
	CLIENT: <b>Mr G RASTOGI &amp; Ms K K PILLAY</b>
	ADDRESS: <b>Lot 4 No. 22 HUXLEY STREET WEST RYDE</b>

 EXHAUST FAN	
 SMOKE ALARM AS 3786-1993	
LODGEMENT: <b>D.A/C.C</b>	DP No: <b>35789</b>
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B-7	SUBMISSION PLANS	MDI	09.09.22
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B-9	AMND W10	AES	11/10/22
B-10	COUNCIL FEEDBACK - ADD CALC SHEET	MDI	18.10.22
A-5	CONSULTATION PLAN AMENDMENTS	KB	12/08/22

JOB No: <b>208777</b>	DRAWN: ITS
LGA: <b>RYDE</b>	PLOT DATE: <b>18/10/2022</b>
DESIGN: <b>AMBASSADOR 41</b>	SLAB CLASS: <b>'M' CLASS</b>
FACADE: <b>SAVANNAH(COVERED BALCONY)</b>	SHEET: <b>2</b>



SIGNATURE ESSENTIALS

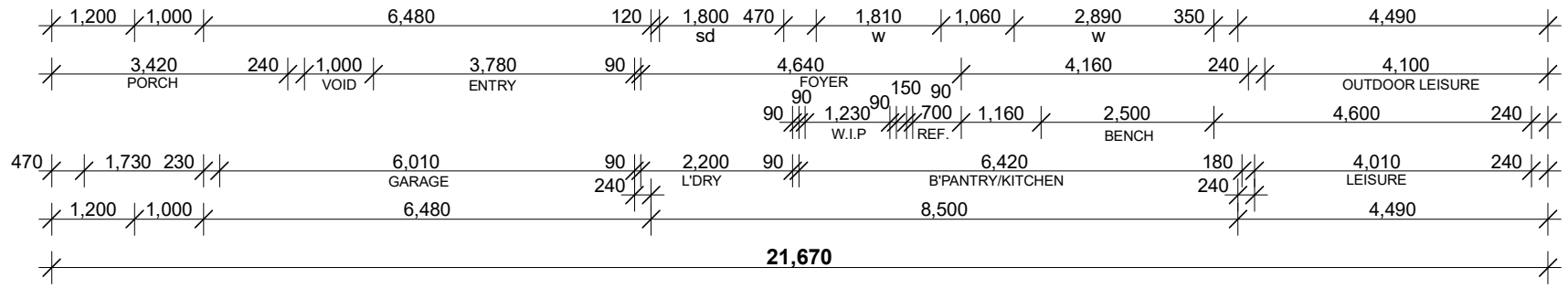
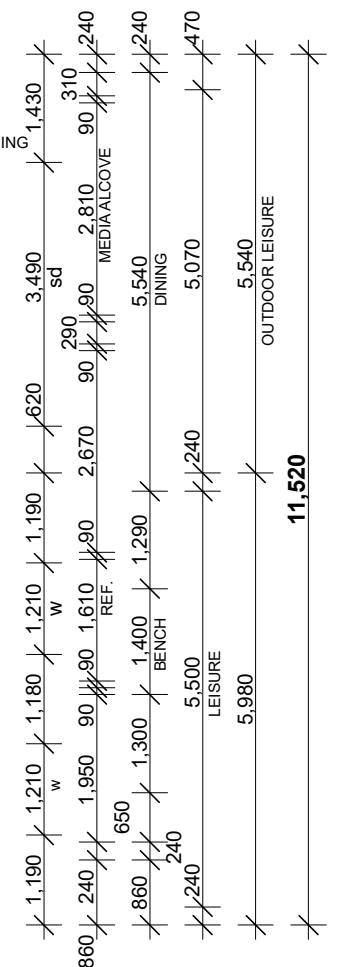
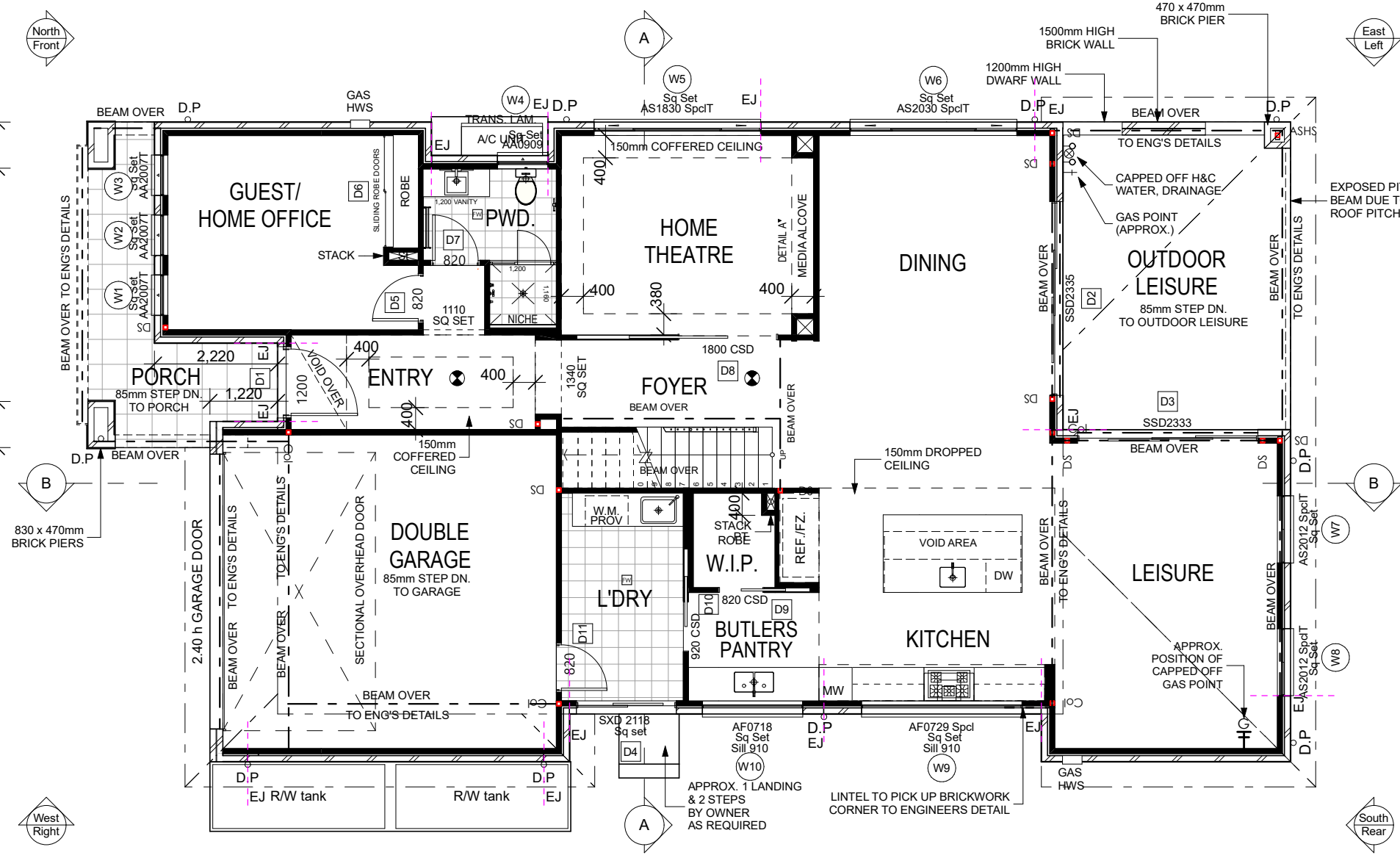
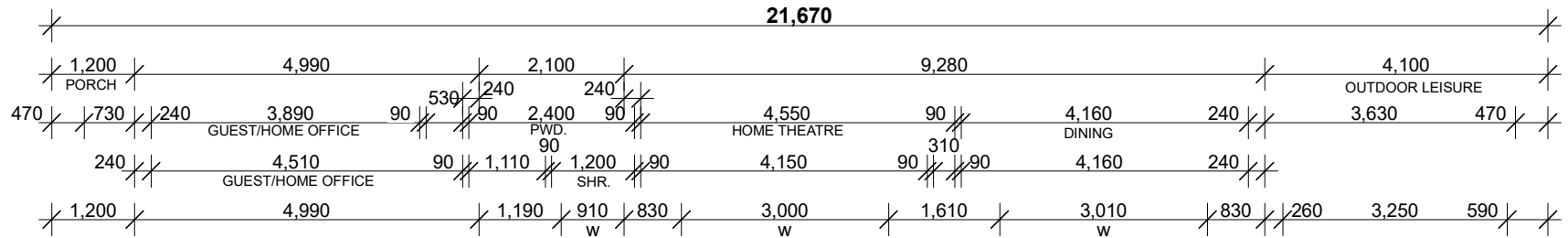
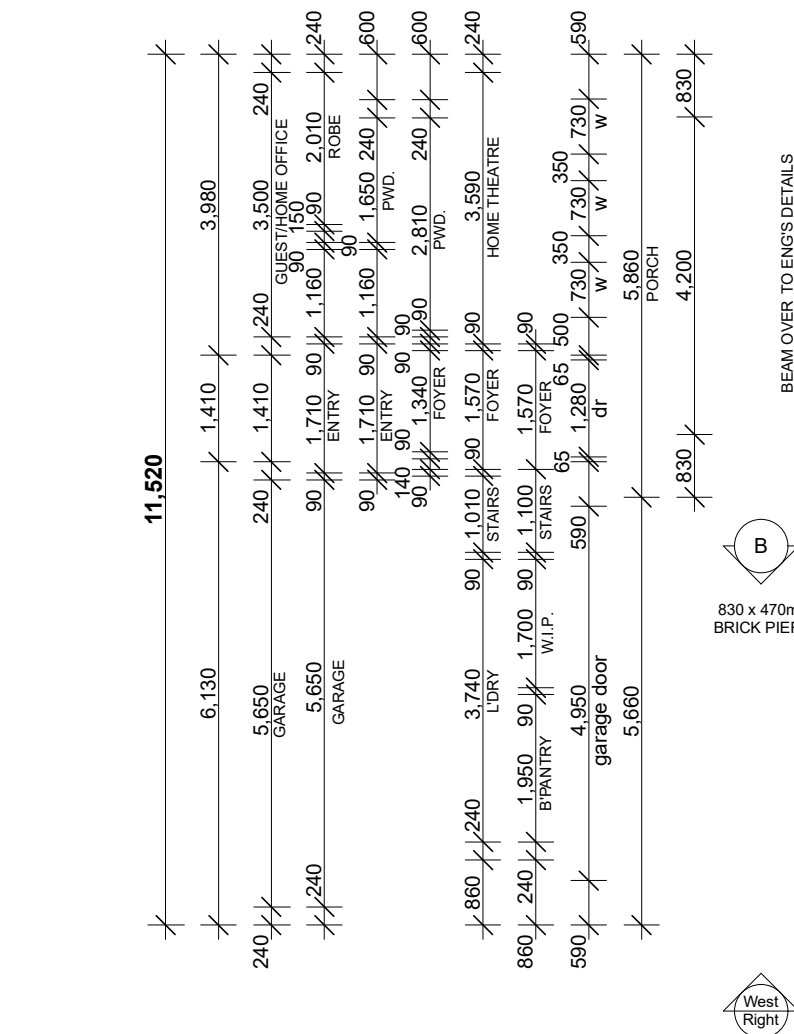
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Area	m2
SECONDARY DWELLING	60.36
LOWER FLOOR	158.02
UPPER FLOOR	158.41
PORCH	18.64
OUTDOOR LEISURE	22.71
BALCONY FRONT	11.21
GARAGE	37.25

FLOOR TO CEILING HEIGHTS	
- GROUND FLOOR:	2740mm
- FIRST FLOOR:	2590mm



GROUND FLOOR PLAN  
1:100

**SIGNATURE ESSENTIALS**

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FACADE: <b>SAVANNAH(COVERED BALCONY)</b>	SHEET: <b>4</b>

FILE PATH: T:\ WISDOM HOMES\2022\208777 RASTOGI\208777 RASTOGI PILLAY SUBMISSION PLANS.pln

PROJECT:  
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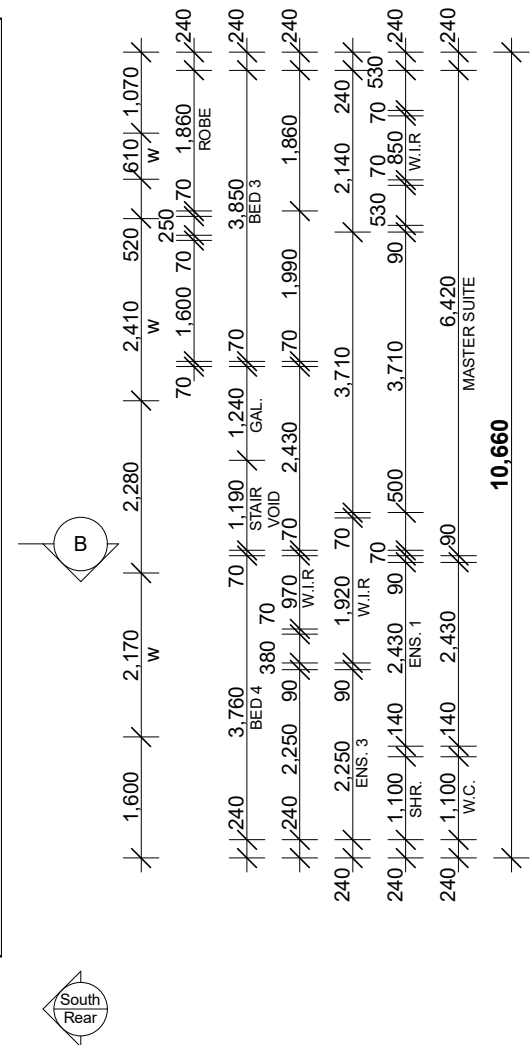
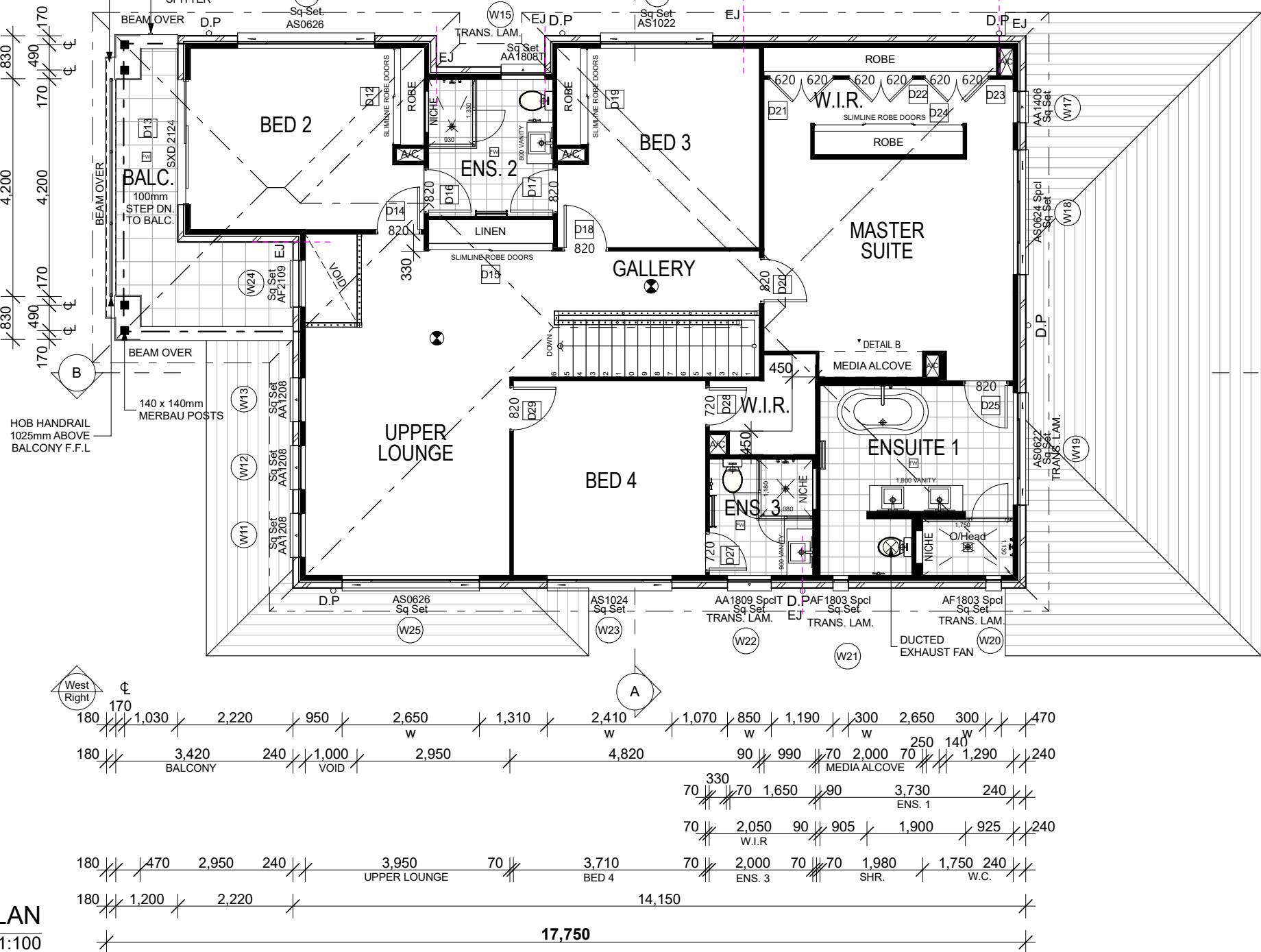
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LODGEMENT: <b>D.A/C.C</b>	DP No: <b>35789</b>
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A-5	CONSULTATION PLAN AMENDMENTS	KB	12/08/22





<b><u>FLOOR TO CEILING HEIGHTS</u></b>	
- GROUND FLOOR:	2740mm
- FIRST FLOOR:	2590mm



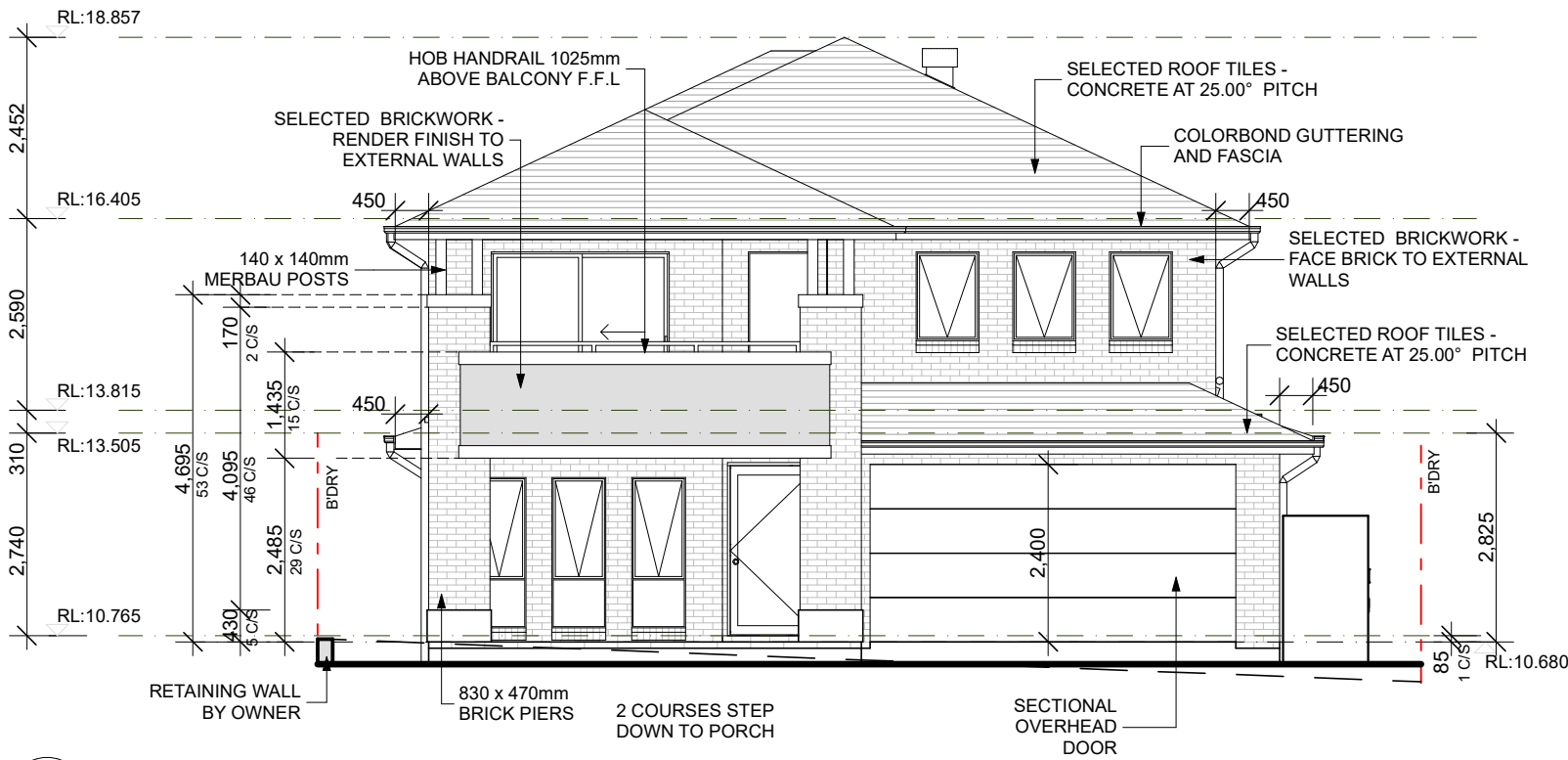
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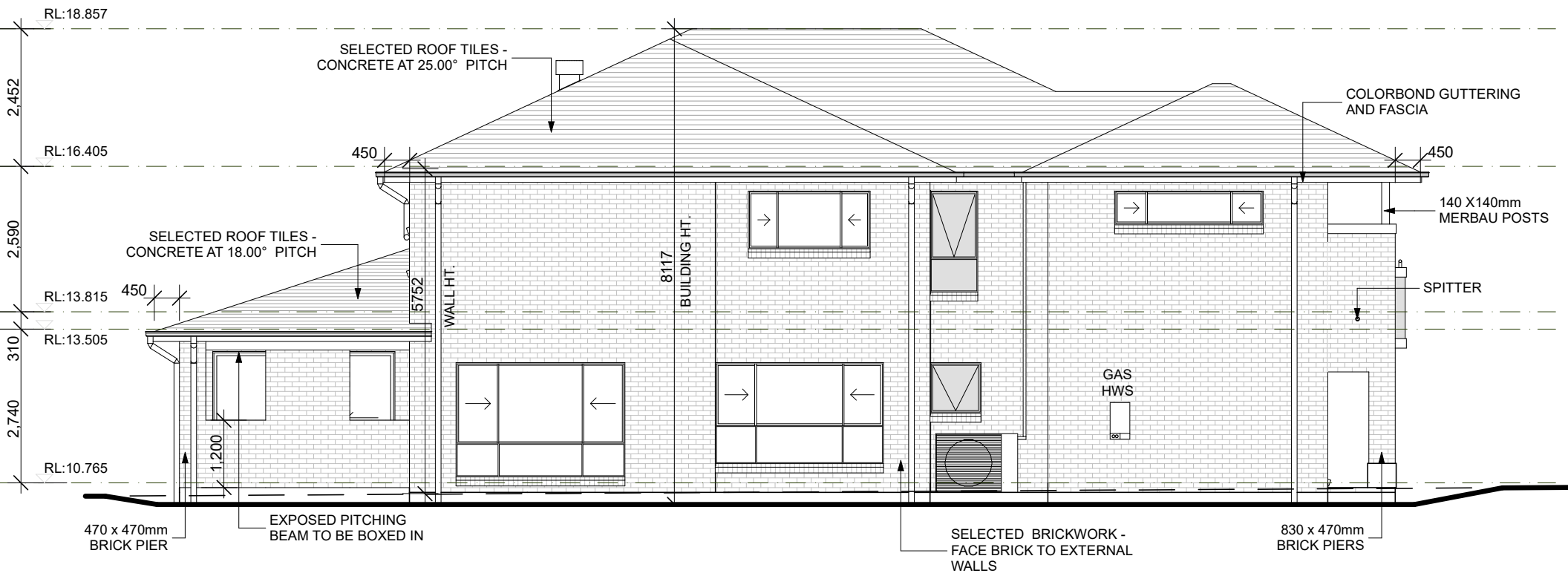
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<b>208777</b>	<b>ITS</b>
LGA:	PLOT DATE:
<b>RYDE</b>	<b>18/10/2022</b>
DESIGN:	SLAB CLASS:
<b>AMBASSADOR 41</b>	<b>'M' CLASS</b>
FACADE: <b>SAVANNAH(COVERED</b>	SHEET:
<b>BALCONY)</b>	<b>5</b>

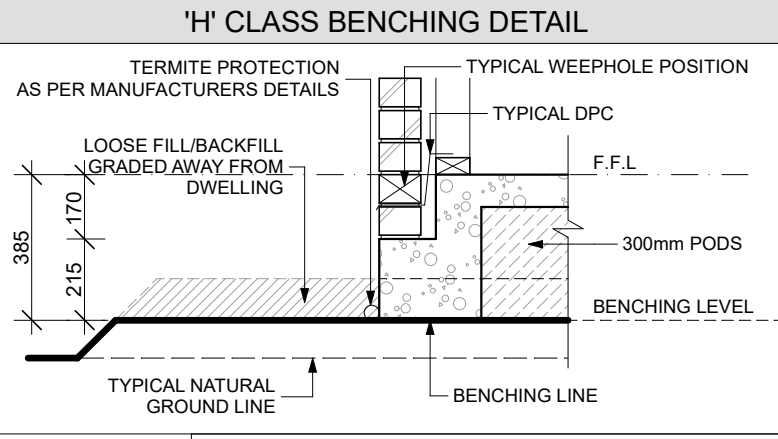


FRONT/NORTH  
1:100



LEFT/EAST  
1:100  
ELEVATIONS  
1:100

**NOTE:**  
OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 - FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



**NOTES:**  
- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.  
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.  
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JOB No:  
**208777**

LGA:  
**RYDE**

DESIGN:  
**AMBASSADOR 41**

FACADE:  
**SAVANNAH(COVERED BALCONY)**

DRAWN:  
**ITS**

PLOT DATE:  
**18/10/2022**

SLAB CLASS:  
**'M' CLASS**

SHEET:  
**6**

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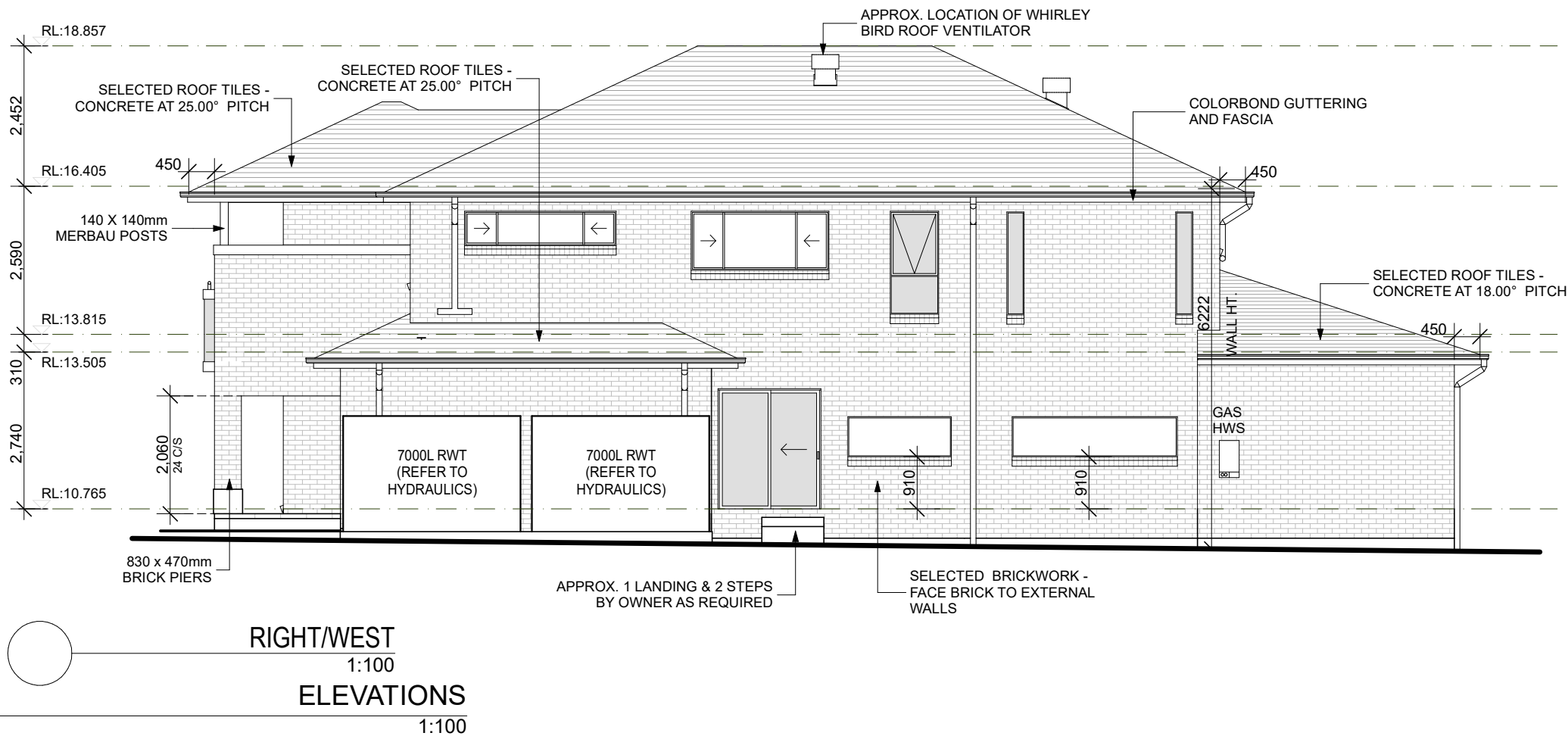
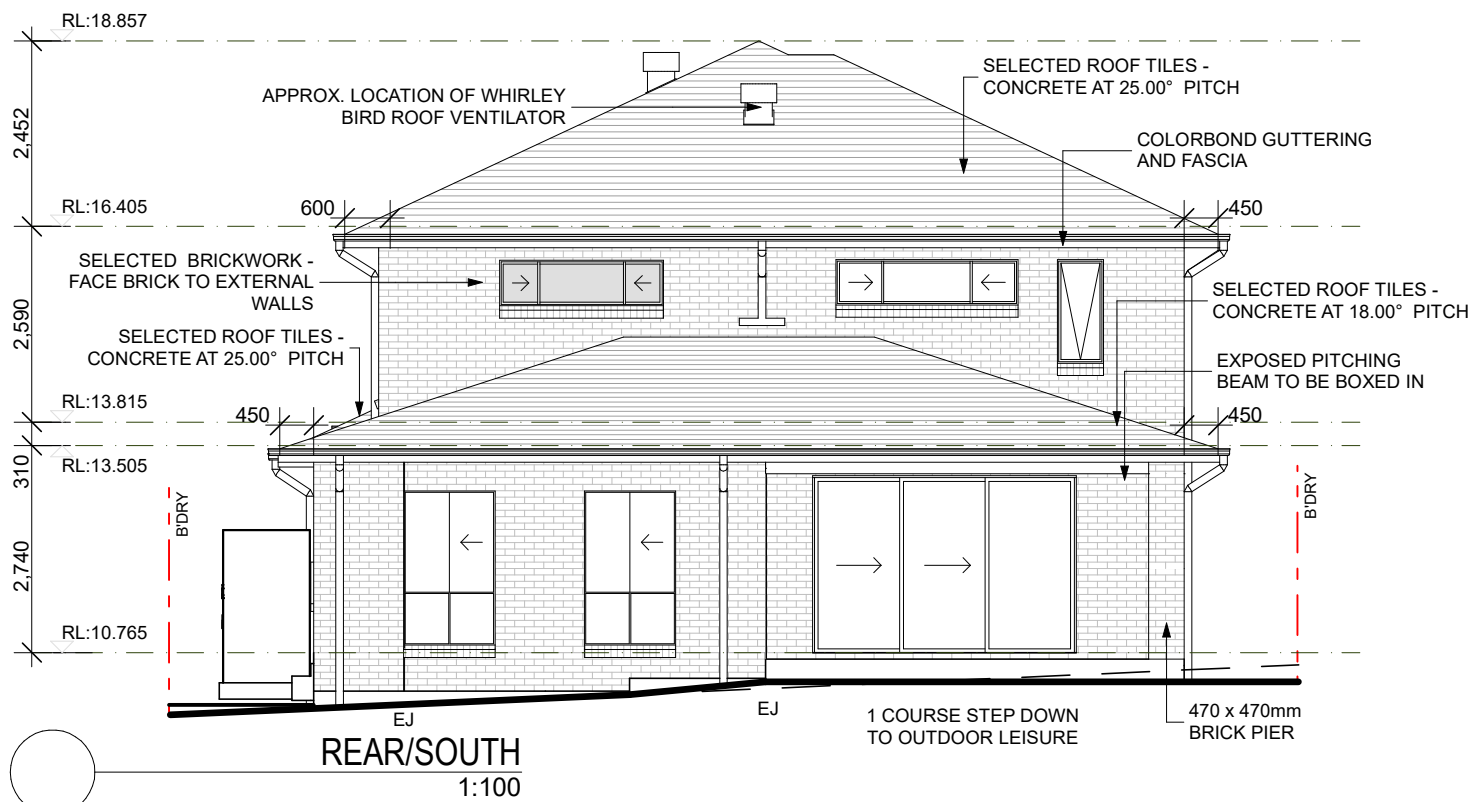
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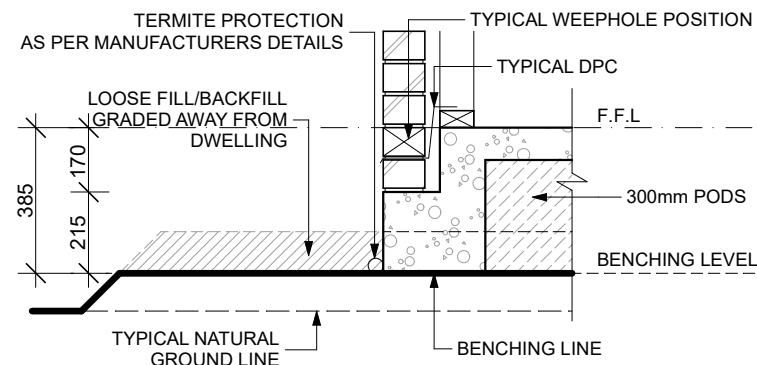
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**NOTE:**

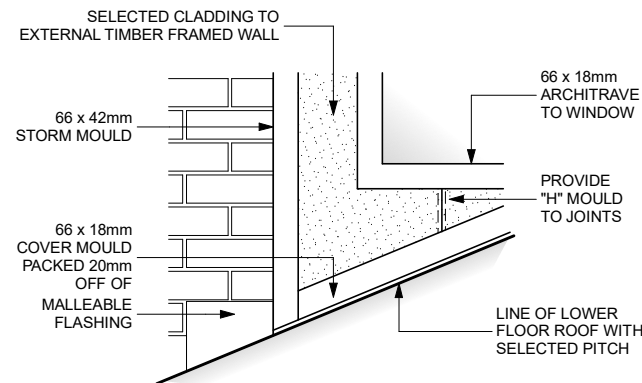
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**'H' CLASS BENCHING DETAIL**



**NOTES:**

- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
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External Moulding & Architrave Detail


**SIGNATURE ESSENTIALS**

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 SMOKE ALARM AS 3786-1993

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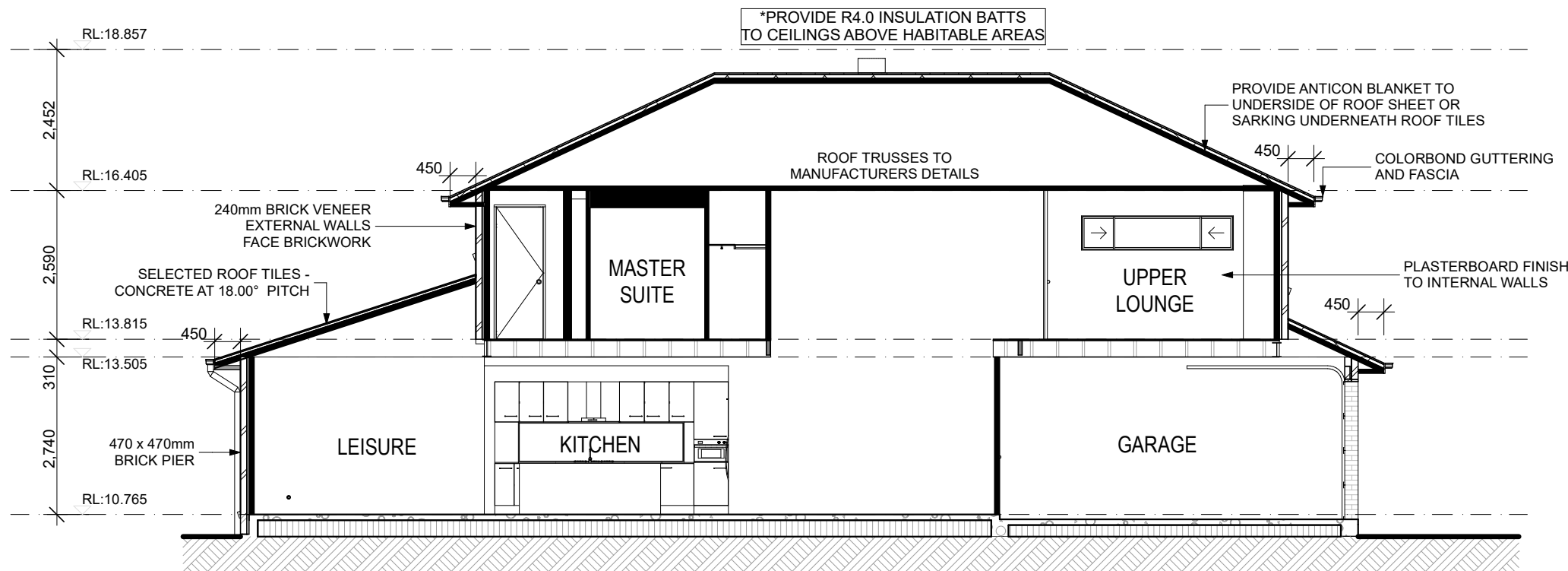
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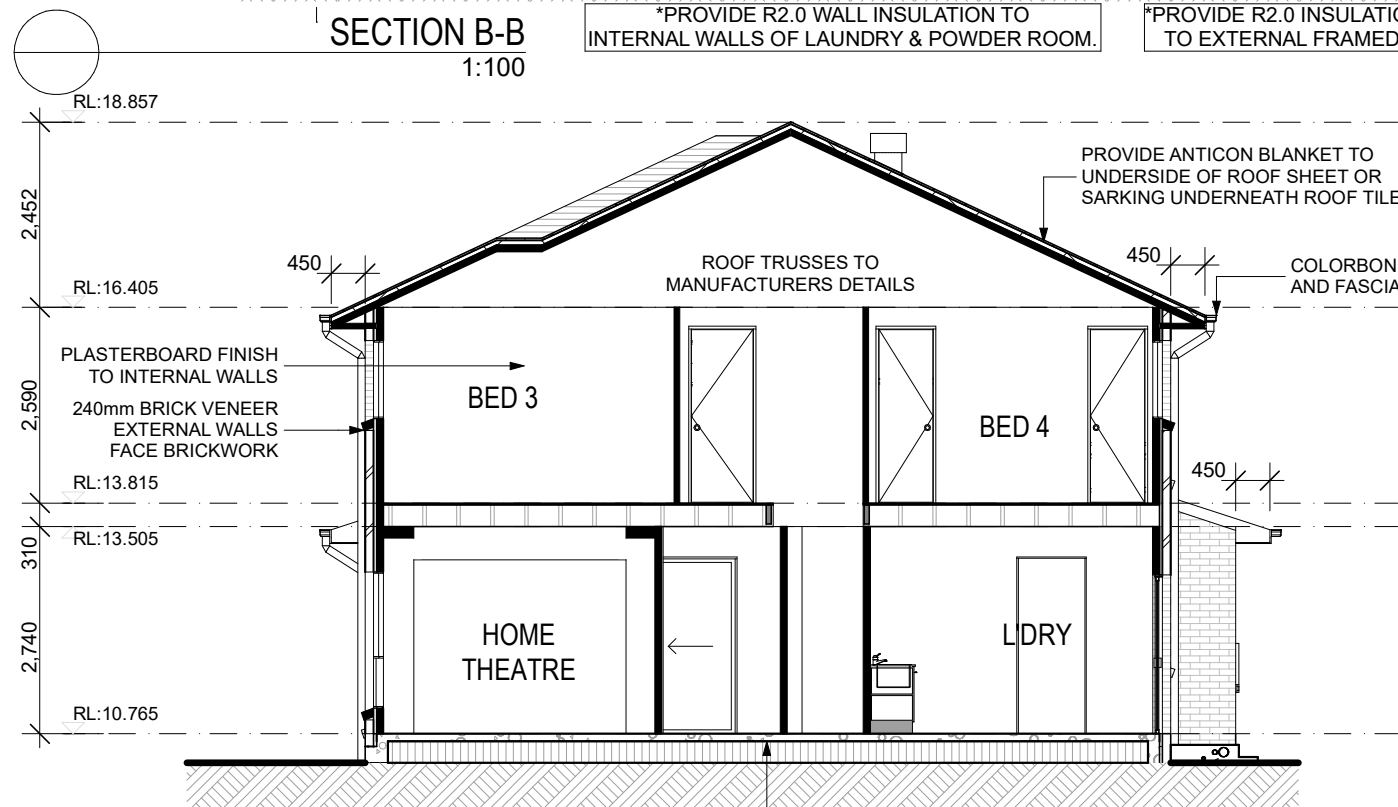




SECTION B-B  
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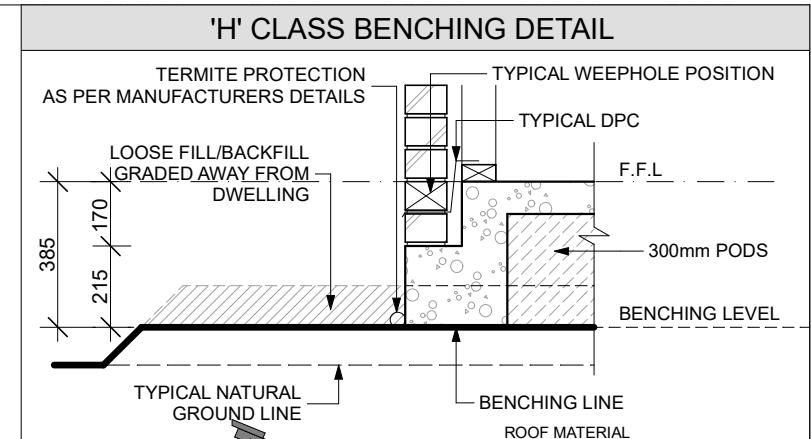
\*PROVIDE R2.0 WALL INSULATION TO  
INTERNAL WALLS OF LAUNDRY & POWDER ROOM.

\*PROVIDE R2.0 INSULATION BATTS  
TO EXTERNAL FRAMED WALLS



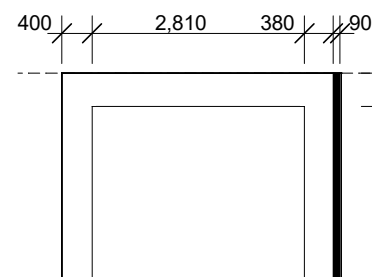
SECTION A-A  
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SECTIONS  
1:100

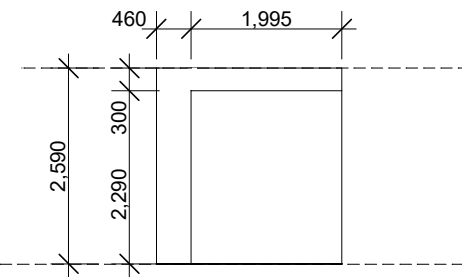


TILE		SHEET
22.5° pitch	X= 265mm drop off	295mm drop off
25° pitch	X= 295mm drop off	325mm drop off
27.5° pitch	X= 312mm drop off	342mm drop off
30° pitch	X= 330mm drop off	360mm drop off

Eave Detail



DETAIL 'A'  
HOME THEATRE  
MEDIA ALCOVE



DETAIL 'B'  
MASTER SUITE  
MEDIA ALCOVE

NOTES:

- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
- OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2
- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

NOTE:

OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 - FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

SIGNATURE  
ESSENTIALS

NOTES:

REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).  
FLOOR FINISHES AS SELECTED AS PER TENDER.  
STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:  
**Mr G RASTOGI & Ms K K PILLAY**  
ADDRESS:  
**Lot 4 No. 22 HUXLEY STREET  
WEST RYDE**

EXHAUST FAN  
SMOKE ALARM AS 3786-1993  
LODGEMENT:  
**D.A/C.C**  
DP No:  
**35789**

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WISDOM PROPERTIES GROUP PTY LTD T/A  
WISDOM HOMES. BUILDERS LIC. No 131951C.

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A-6	BASIX VARIATIONS	KB	5.09.22
B-7	SUBMISSION PLANS	MDI	09.09.22
B-8	INCREASE FRONT SETBACK	MDI	16.09.22
B-9	AMND W10	AES	11/10/22
B-10	COUNCIL FEEDBACK - ADD CALC SHEET	MDI	18.10.22
A-5	CONSULTATION PLAN AMENDMENTS	KB	12/08/22

JOB No:  
**208777**  
LGA:  
**RYDE**  
DESIGN:  
**AMBASSADOR 41**  
FACADE:  
**SAVANNAH(COVERED BALCONY)**

DRAWN:  
**ITS**  
PLOT DATE:  
**18/10/2022**  
SLAB CLASS:  
**'M' CLASS**  
SHEET:




Door Schedule									
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Frame and Reveal	Flyscreens	Other
		Height	Width						
D1	External door	2,340	1,200			Glass - Single clear	240mm BV		
D2	SSD2335	2,340	3,490			Single clear	240mm BV		6.38mm Comfort Plus Clear Glazing - Sq Set
D3	SSD2333	2,340	3,250			Single clear	240mm BV		6.38mm Comfort Plus Clear Glazing - Sq Set
D4	SXD 2118	2,100	1,800			Trans/Lam	240mm BV		6mm Clear Glazing
D5	Hung door	2,340	820				90mm TF		
D6	Slimline	2,340	2,010				90mm TF		SQ SET REVEAL
D7	Hung door	2,340	820				90mm TF		
D8	Cavity S/D	2,340	1,800				90mm TF		
D9	Cavity S/D	2,340	820				90mm TF		
D10	Cavity S/D	2,340	920				90mm TF		
D11	Hung door	2,340	820				90mm TF		
D12	Slimline	2,340	1,860				70mm TF		SQ SET REVEAL
D13	SXD 2124	2,140	2,410			Single clear	240mm BV		
D14	Hung door	2,340	820				90mm TF		
D15	Slimline	2,340	2,400				70mm TF		SQ SET REVEAL
D16	Hung door	2,340	820				90mm TF		
D17	Hung door	2,340	820				90mm TF		
D18	Hung door	2,340	820				70mm TF		
D19	Slimline	2,340	1,860				70mm TF		SQ SET REVEAL
D20	Hung door	2,340	820				90mm TF		
D21	2 x hung door	2,340	1,240				70mm TF		
D22	2 x hung door	2,340	1,240				70mm TF		
D23	2 x hung door	2,340	1,240				70mm TF		
D24	Slimline	2,340	2,870				70mm TF		SQ SET REVEAL
D25	Hung door	2,340	820				90mm TF		
D27	Hung door	2,340	720				70mm TF		
D28	Hung door	2,340	720				70mm TF		
D29	Hung door	2,340	820				70mm TF		

Window Schedule									
Window No.	Type	Window Size		Plan View	Elev. View	Glazing	Frame and Reveal	Flyscreens	Others
		Height	Width						
W1	AA2007T	2,035	730			Glass - Single Clear	240mm BV		Sq Set
W2	AA2007T	2,035	730			Glass - Single Clear	240mm BV		Sq Set
W3	AA2007T	2,035	730			Glass - Single Clear	240mm BV		Sq Set
W4	AA0909	900	910			Glass - Trans Lam	240mm BV		Sq Set
W5	AS1830 SpclT	1,800	3,000			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set
W6	AS2030 SpclT	2,035	3,010			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set
W7	AS2012 SpclT	2,040	1,210			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set
W8	AS2012 SpclT	2,040	1,210			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set
W9	AF0729 Spcl	700	2,890			Glass - Single Clear	240mm BV		Sq Set
W10	AF0718	700	1,810			Glass - Single Clear	240mm BV		Sq Set
W11	AA1208	1,200	850			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set
W12	AA1208	1,200	850			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set
W13	AA1208	1,200	850			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set
W14	AS0627	600	2,650			Glass - Single Clear	240mm BV		Sq Set
W15	AA1808T	1,800	850			Glass - Trans Lam	240mm BV		Sq Set
W16	AS1022	1,030	2,170			Glass - Single Clear	240mm BV		Sq Set
W17	AA1406	1,370	610			Glass - Single Clear	240mm BV		Sq Set
W18	AS0624 Spcl	600	2,410			Glass - Single Clear	240mm BV		Sq Set
W19	AS0622	600	2,170			Glass - Trans Lam	240mm BV		Sq Set
W20	AF1803 Spcl	1,800	300			Glass - Trans Lam	240mm BV		Sq Set
W21	AF1803 Spcl	1,800	300			Glass - Trans Lam	240mm BV		Sq Set
W22	AA1809 SpclT	1,800	850			Glass - Trans Lam	240mm BV		Sq Set
W23	AS1024	1,030	2,410			Glass - Single Clear	240mm BV		Sq Set
W24	AF2109	2,100	910			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set
W25	AS0627	600	2,650			6.38mm CP Neutral Glazing Sq Set	240mm BV		Sq Set

WINDOWS & DOORS SCHEDULE

1:1

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1300 855 775  
wisdomhomes.com.au

PROJECT:  
PROPOSED BRICK VENEER DWELLING

CLIENT:  
Mr G RASTOGI & Ms K K PILLAY

ADDRESS:  
Lot 4 No. 22 HUXLEY STREET  
WEST RYDE

 EXHAUST FAN

 SMOKE ALARM AS 3786-1993

LODGEMENT:  
D.A/C.C

DP No:  
35789

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JOB No:  
208777

LGA:  
RYDE

DESIGN:  
AMBASSADOR 41

FACADE:  
SAVANNAH(COVERED BALCONY)

DRAWN:  
ITS

PLOT DATE:  
18/10/2022

SLAB CLASS:  
'M' CLASS

SHEET:  
9

SITE ANALYSIS KEY

(1)

SINGLE STOREY

(2)

TWO STOREY

OVERLOOKING

PREVAILING WINDS

P

PRIVATE OPEN SPACE

SUNLIGHT/SHADOWING

'M' CLASS SLAB

ACID SULFATE SOILS CLASS 5

Lot 4 No. 22

AREA: 752.50m<sup>2</sup>

STORMWATER DRAINAGE TO STREET.  
REFER TO HYDRAULIC DETAILS ISSUE  
A DATED 02.09.22.

ANY RETAINING WALLS REQUIRED TO BE  
COMPLETED BY OWNERS TO  
MANUFACTURERS SPECIFICATIONS.

EXCAVATE SITE APPROX. 285 mm TO  
FORM JOB DATUM **R.L 10.455** (AHD)  
DATUM POINT 310mm BELOW FINISHED  
FLOOR LEVEL. EXTENT OF EXCAVATION  
AND BATTERS TO BE DETERMINED ON  
SITE.

PROPOSED  
EXCAVATION

EXISTING STRUCTURE TO BE  
DEMOLISHED BY OWNER

SITE ANALYSIS PLAN

1:200

FILE PATH: T:\ WISDOM HOMES\2022\208777 RASTOGI\208777 RASTOGI PILLAY SUBMISSION PLANS.pln

WISDOM

1300 855 775  
wisdomhomes.com.au

PROJECT:

PROPOSED BRICK VENEER DWELLING

CLIENT:

Mr G RASTOGI & Ms K K PILLAY

ADDRESS:

Lot 4 No. 22 HUXLEY STREET  
WEST RYDE

EXHAUST FAN

SMOKE ALARM AS 3786-1993

LODGEMENT:

D.A/C.C

DP No:

35789

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SIGNATURE  
ESSENTIALS

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JOB No:  
**208777**

LGA:  
**RYDE**

DESIGN:  
**AMBASSADOR 41**

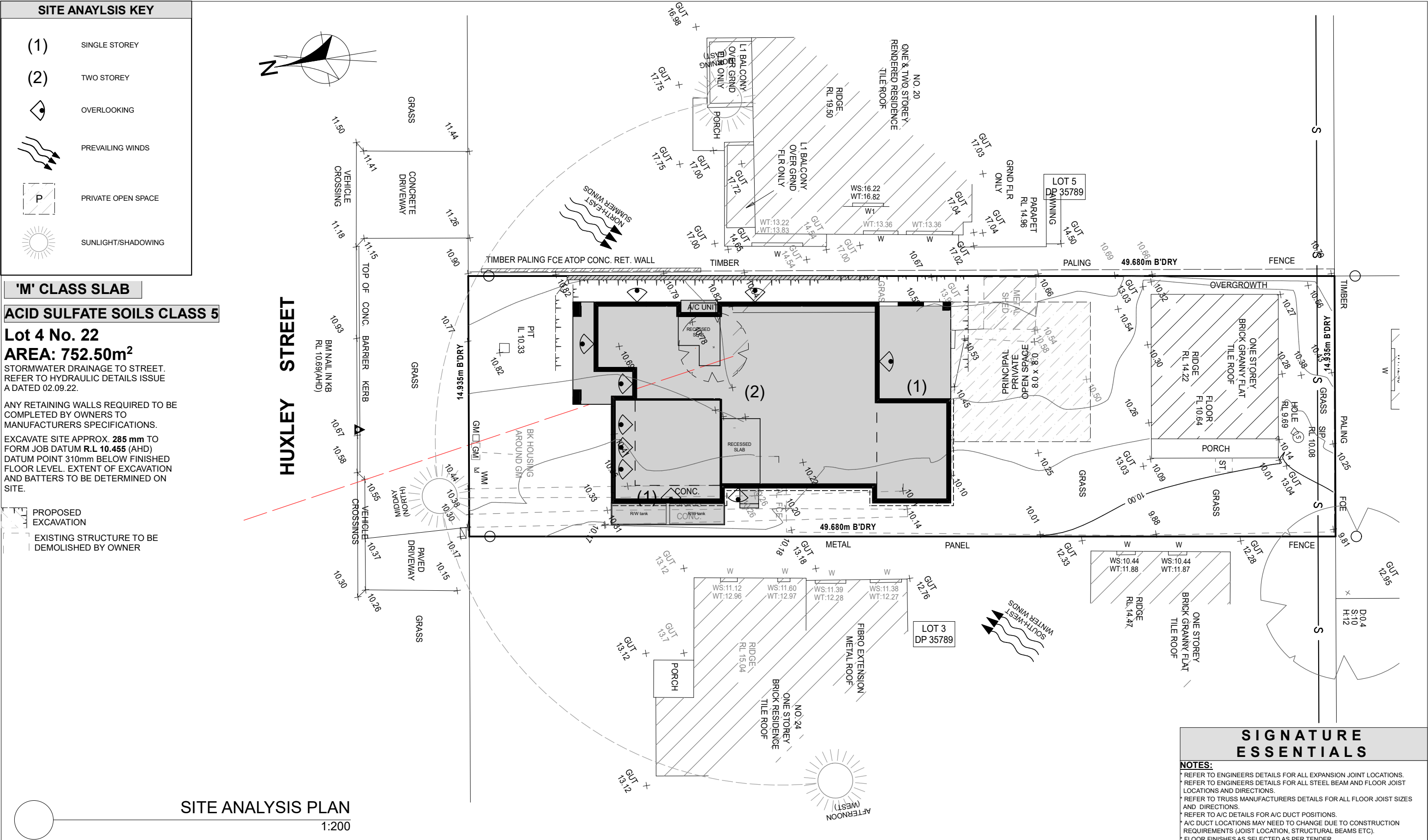
FACADE:  
**SAVANNAH(COVERED BALCONY)**

DRAWN:  
**ITS**

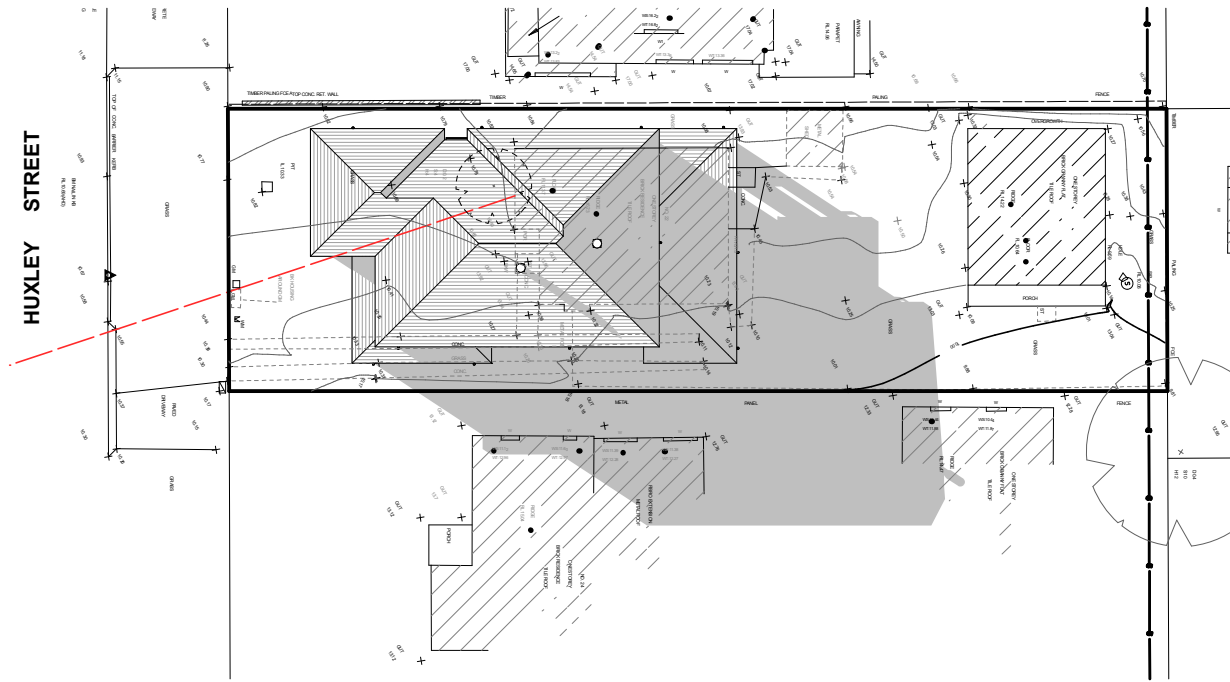
PLOT DATE:  
**18/10/2022**

SLAB CLASS:  
**'M' CLASS**

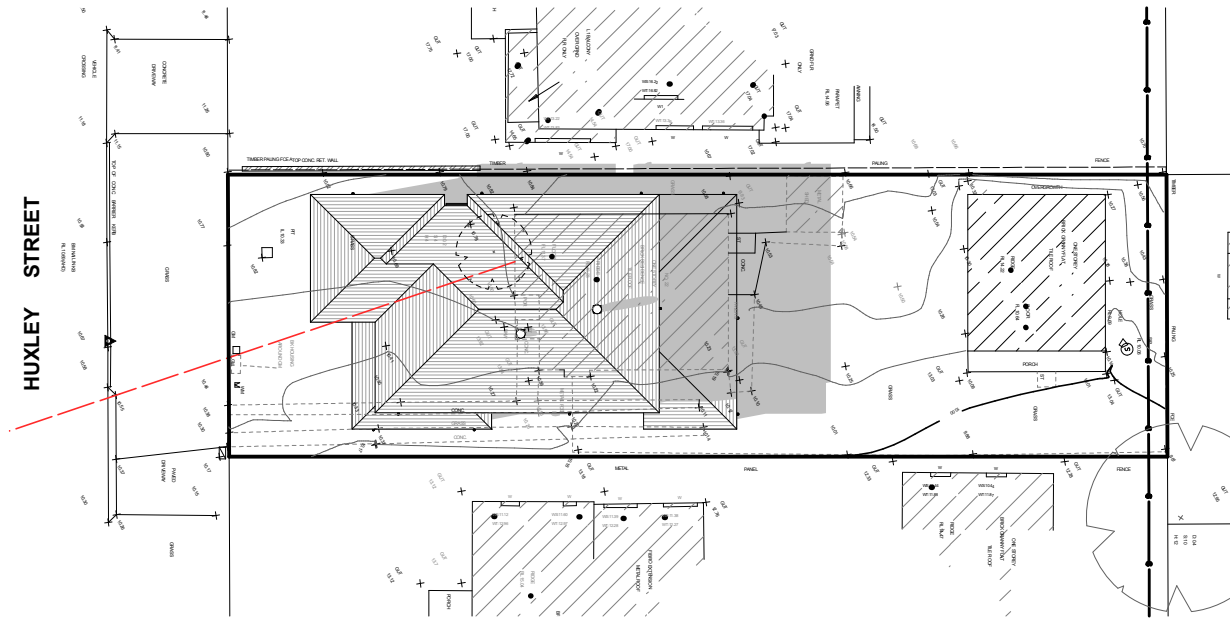
SHEET:  
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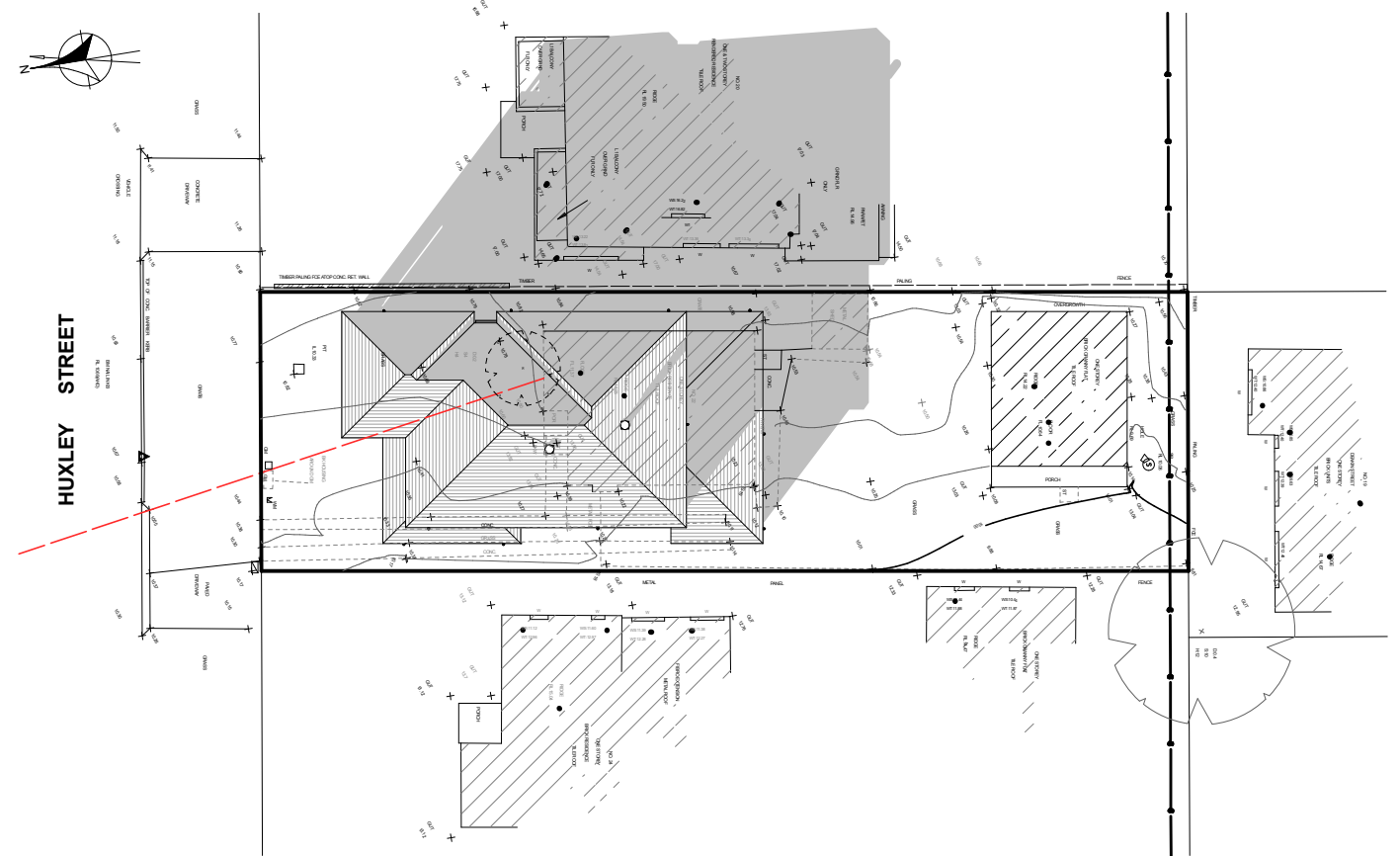
21 June 9am



21 June 12pm

SHADOW DIAGRAMS JUNE 21ST

1:400



21 June 3pm

## SHADOW PROJECTIONS 21<sup>st</sup> JUNE

### SIGNATURE ESSENTIALS

#### NOTES:

- \* REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
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JOB No:	208777	DRAWN:	ITS
LGA:	RYDE	PLOT DATE:	18/10/2022
DESIGN:	AMBASSADOR 41	SLAB CLASS:	'M' CLASS
FACADE:	SAVANNAH(COVERED BALCONY)	SHEET:	11

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:  
**Mr G RASTOGI & Ms K K PILLAY**  
ADDRESS:  
**Lot 4 No. 22 HUXLEY STREET  
WEST RYDE**

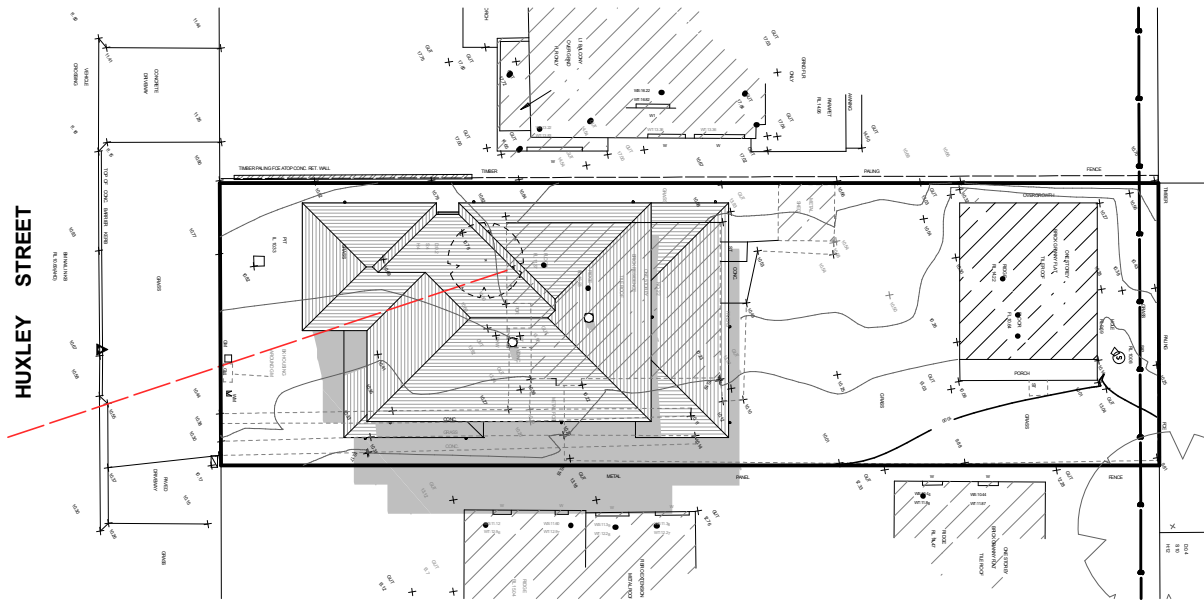
EXHAUST FAN  
SMOKE ALARM AS 3786-1993  
LODGE MENT:  
**D.A/C.C**  
DP No:  
**35789**  
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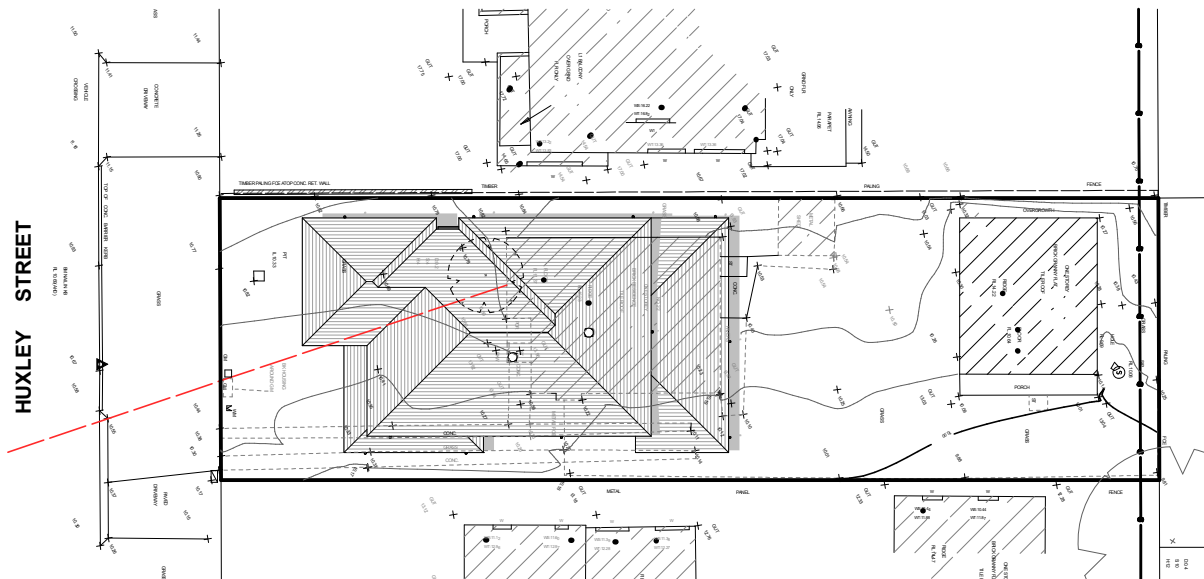
REVISION SCHEDULE			
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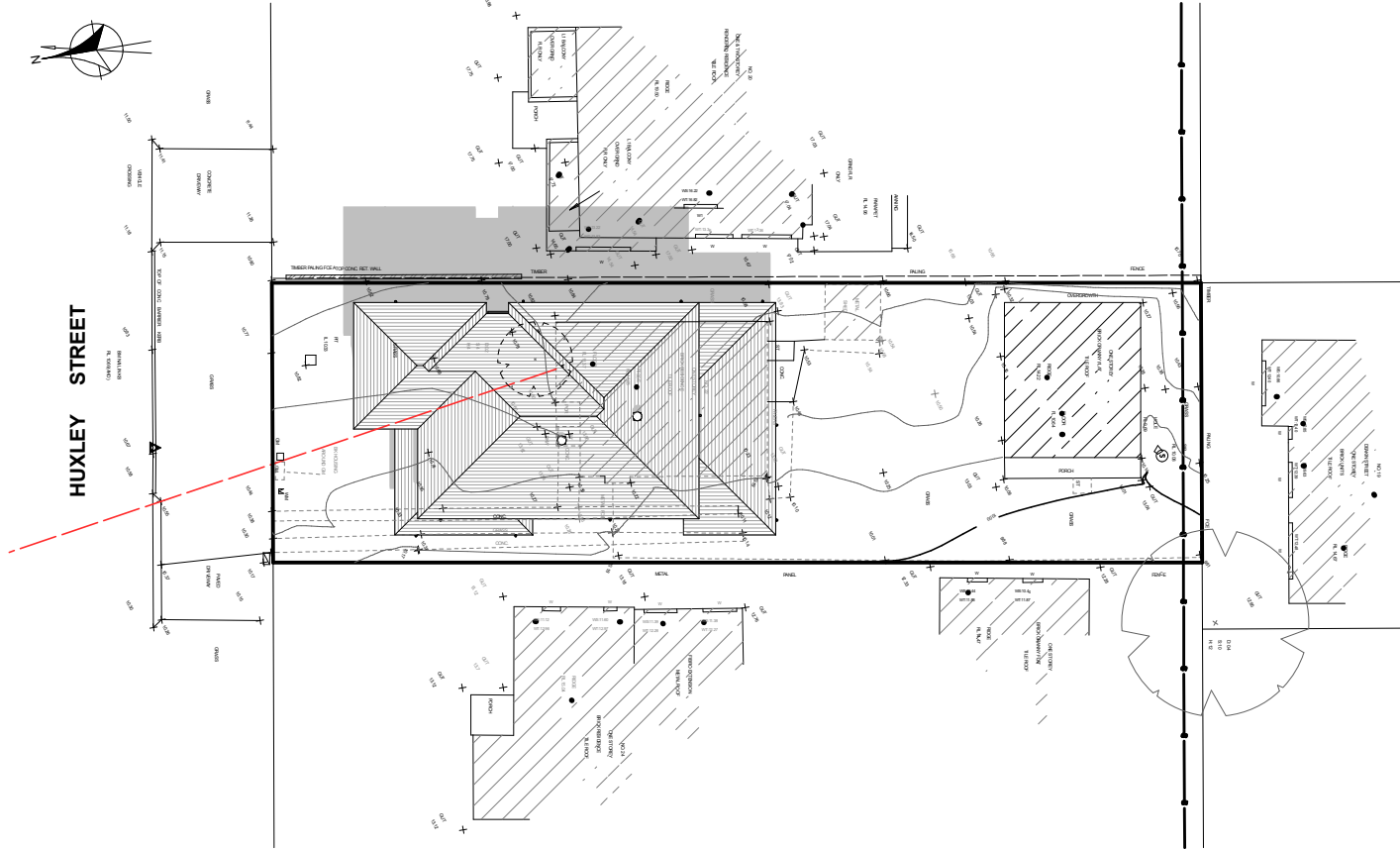
1300 855 775  
wisdomhomes.com.au



31 December 9am



31 December 12pm



31 December 3pm

## SHADOW DIAGRAMS DECEMBER 31ST

1:400

FILE PATH: T:\ WISDOM HOMES\2022\208777 RASTOGI\208777 RASTOGI PILLAY SUBMISSION PLANS.pln



1300 855 775  
wisdomhomes.com.au

PROJECT:  
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⊗ EXHAUST FAN  
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JOB No:  
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FACADE:  
**SAVANNAH(COVERED BALCONY)**

DRAWN:  
**ITS**  
PLOT DATE:  
**18/10/2022**  
SLAB CLASS:  
**'M' CLASS**  
SHEET:  
**12**

## SIGNATURE ESSENTIALS

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Area	m2
SECONDARY DWELLING	60.36
LOWER FLOOR	158.02
UPPER FLOOR	158.41
PORCH	18.64
OUTDOOR LEISURE	22.71
BALCONY FRONT	11.21

Area	m2
VOIDS	4.91
LANDSCAPING SECONDARY DWELLING	53.11
ROOF AREA	260.22
POS	260.79
Driveway	Surface Area
Wisdom Paving	110.25

'M' CLASS SLAB

ACID SULFATE SOILS CLASS 5

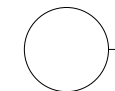
Lot 4 No. 22  
AREA: 752.50m<sup>2</sup>

STORMWATER DRAINAGE TO STREET.  
REFER TO HYDRAULIC DETAILS ISSUE  
A DATED 02.09.22.

ANY RETAINING WALLS REQUIRED TO BE  
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MANUFACTURERS SPECIFICATIONS.

EXCAVATE SITE APPROX. 285 mm TO  
FORM JOB DATUM **R.L 10.455** (AHD)  
DATUM POINT 310mm BELOW FINISHED  
FLOOR LEVEL. EXTENT OF EXCAVATION  
AND BATTERS TO BE DETERMINED ON  
SITE.

- PROPOSED EXCAVATION
- EXISTING STRUCTURE TO BE DEMOLISHED BY OWNER



ZONE CALCULATIONS  
1:200

FILE PATH: T:\ WISDOM HOMES\2022\208777 RASTOGI\208777 RASTOGI PILLAY SUBMISSION PLANS.pln

1300 855 775  
wisdomhomes.com.au

PROJECT:  
PROPOSED BRICK VENEER DWELLING

CLIENT:  
Mr G RASTOGI & Ms K K PILLAY

ADDRESS:  
Lot 4 No. 22 HUXLEY STREET  
WEST RYDE

EXHAUST FAN

SMOKE ALARM AS 3786-1993

LODGEMENT:  
D.A/C.C

DP No:  
35789

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WISDOM PROPERTIES GROUP PTY LTD T/A  
WISDOM HOMES. BUILDERS LIC. No 131951C.

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A-6	BASIX VARIATIONS	KB	5.09.22
B-7	SUBMISSION PLANS	MDI	09.09.22
B-8	INCREASE FRONT SETBACK	MDI	16.09.22
B-9	AMND W10	AES	11/10/22
B-10	COUNCIL FEEDBACK - ADD CALC SHEET	MDI	18.10.22
A-5	CONSULTATION PLAN AMENDMENTS	KB	12/08/22

JOB No:  
**208777**

LGA:  
RYDE

DESIGN:  
AMBASSADOR 41

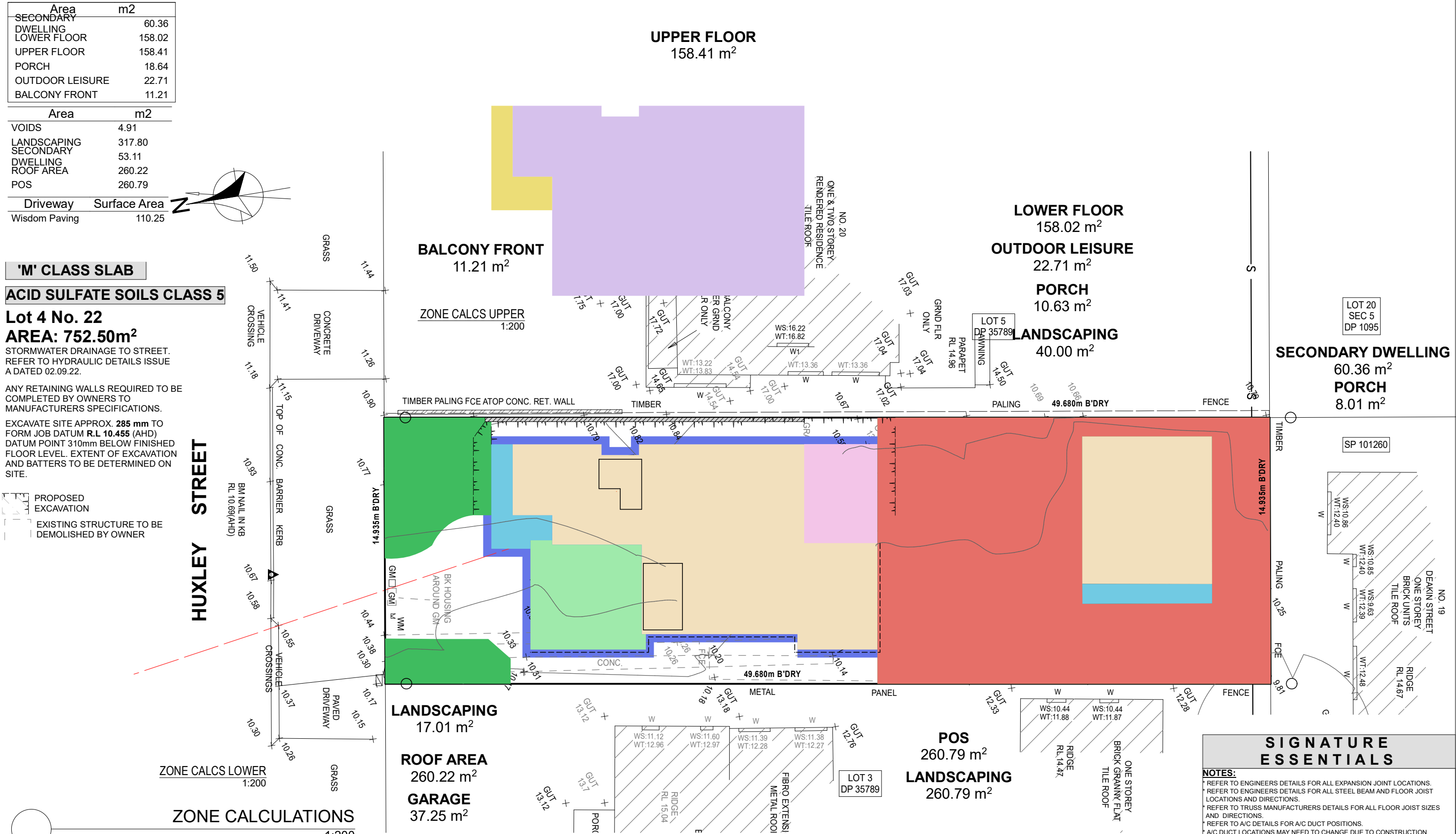
FACADE:  
SAVANNAH(COVERED BALCONY)

DRAWN:  
ITS

PLOT DATE:  
18/10/2022

SLAB CLASS:  
'M' CLASS

SHEET:  
**13**



**SIGNATURE ESSENTIALS**

**NOTES:**

- \* REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
- \* REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
- \* REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
- \* REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
- \* A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
- \* FLOOR FINISHES AS SELECTED AS PER TENDER.
- \* STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 of BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013

Area FSR	
Area	m <sup>2</sup>
SECONDARY DWELLING	53.11
UPPER FLOOR	140.48
LOWER FLOOR	144.09
	337.68 m <sup>2</sup>

'M' CLASS SLAB

ACID SULFATE SOILS CLASS 5

Lot 4 No. 22

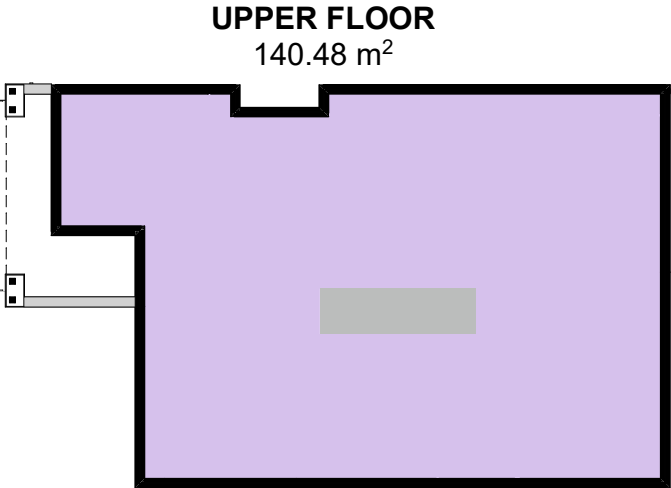
AREA: 752.50m<sup>2</sup>

STORMWATER DRAINAGE TO STREET.  
REFER TO HYDRAULIC DETAILS ISSUE  
A DATED 02.09.22.

ANY RETAINING WALLS REQUIRED TO BE  
COMPLETED BY OWNERS TO  
MANUFACTURERS SPECIFICATIONS.

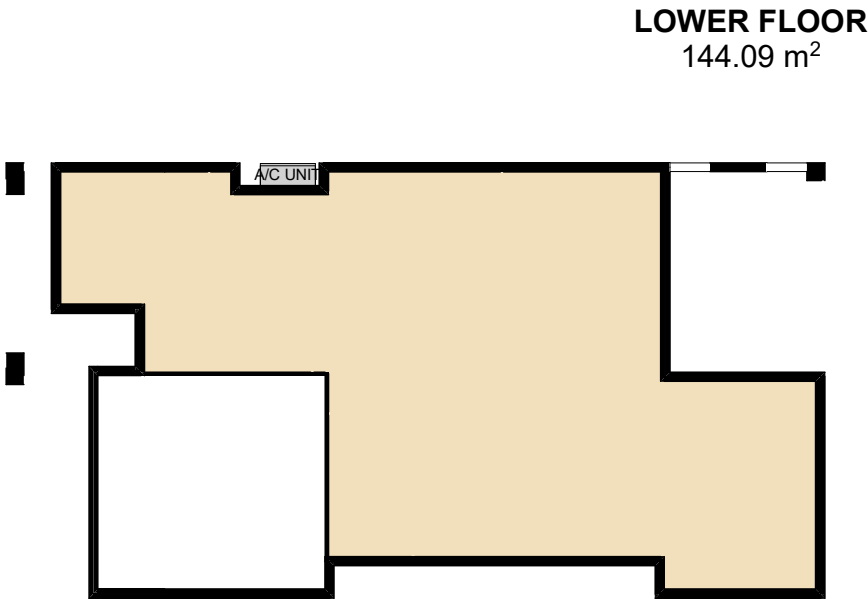
EXCAVATE SITE APPROX. **285 mm** TO  
FORM JOB DATUM **R.L 10.455** (AHD)  
DATUM POINT 310mm BELOW FINISHED  
FLOOR LEVEL. EXTENT OF EXCAVATION  
AND BATTERS TO BE DETERMINED ON  
SITE.

- PROPOSED  
EXCAVATION
- EXISTING STRUCTURE TO BE  
DEMOLISHED BY OWNER



VOIDS  
4.91 m<sup>2</sup>

FSR CALCS UPPER  
1:200



FSR CALCS LOWER  
1:200


SECONDARY DWELLING  
53.11 m<sup>2</sup>



FSR CALCULATIONS

1:200

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<div><div>WISDOM</div></div> <div>1300 855 775 wisdomhomes.com.au</div>	PROJECT: PROPOSED BRICK VENEER DWELLING	<div><div></div> EXHAUST FAN</div> <div><div></div> SMOKE ALARM AS 3786-1993</div>	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: <b>208777</b>	DRAWN: <b>ITS</b>	
	CLIENT: <b>Mr G RASTOGI &amp; Ms K K PILLAY</b>			ISSUE	DESCRIPTION	DRAWN	DATE	LGA: <b>RYDE</b>	PLOT DATE: <b>18/10/2022</b>	
	ADDRESS: <b>Lot 4 No. 22 HUXLEY STREET WEST RYDE</b>	LODGEMENT: <b>D.A/C.C</b>		DP No: <b>35789</b>	A-6	BASIX VARIATIONS	KB	5.09.22	DESIGN: <b>AMBASSADOR 41</b>	SLAB CLASS: <b>'M' CLASS</b>
		*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.		B-7	SUBMISSION PLANS	MDI	09.09.22	SHEET: <b>14</b>		
				B-8	INCREASE FRONT SETBACK	MDI	16.09.22			
						B-9	AMND W10	AES	11/10/22	FACADE: <b>SAVANNAH(COVERED BALCONY)</b>
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