

DA SCHEDULE	
SITE DETAILS	
LGA CONTROL	Ryde
LOT NUMBER/DP NUMBER	4 / 35789
ZONE & LOT WIDTH	R2 14.935m
SITE AREA	752.50 m ²
DWELLING AREAS	
GROUND FLOOR LIVING	158.02 m ²
FIRST FLOOR LIVING	158.41 m ²
PORCH	10.63 m ²
PATIO	0.00 m ²
FRONT BALCONY	11.21 m ²
REAR BALCONY	0.00 m ²
GARAGE	37.25 m ²
OUTDOOR LEISURE	22.71 m ²
TOTAL:	398.23 m ²
DRIVE AREA	36.74 m ²
ROOF AREA (drained to tank)	260.22 m ²
SITE COVERAGE (Single storey/Lower floor)	
MAXIMUM SITE COVERAGE	0.00 m ² / 0.00%
ACTUAL SITE COVERAGE	195.27 m ² / 25.95%
FLOOR SPACE RATIO	
MAXIMUM FLOOR SPACE/FSR	376.25 m ² / 50.00%
ACTUAL FLOOR SPACE/FSR	345.62 m ² / 45.96%
LANDSCAPING AREAS	
MINIMUM LANDSCAPING	263.38 m ² / 35.00%
ACTUAL LANDSCAPING	359.90 m ² / 47.83%
PRIVATE OPEN SPACE	
MINIMUM POS	0.00 m ² / 0.00%
ACTUAL POS	279.58 m ² / 37.15%
'M' CLASS SLAB	
ACID SULFATE SOILS CLASS 5	

Lot 4 No. 22

AREA: 752.50m²

STORMWATER DRAINAGE TO STREET.
REFER TO HYDRAULIC DETAILS ISSUE
A DATED 02.08.22.

ANY RETAINING WALLS REQUIRED TO BE
COMPLETED BY OWNERS TO
MANUFACTURERS SPECIFICATIONS.
EXCAVATE SITE APPROX. 285 mm TO
FORM JOB DATUM R.L. 10.455 (AHD)
PLATON POINT 30mm BELOW FINISHED
GRADE LEVEL EXCEPT FOR EXCAVATION
AND BATTERS TO BE DETERMINED ON
SITE.

PROPOSED
EXCAVATION
EXISTING STRUCTURE TO BE
DEMOLISHED BY OWNER



SITE PLAN
1:200

FILE PATH: T:\WISDOM HOMES\2022\087777 RASTOGI PILLAY SUBMISSION PLANS.dgn

PROJECT:

PROPOSED BRICK VENEER DWELLING

CLIENT:
Mr G RASTOGI & Ms K K PILLAY

ADDRESS:

**Lot 4 No. 22 HUXLEY STREET
WEST RYDE**

LODGE:

D/A/C/C

DP No:

35789

EXHAUST FAN

SMOKE ALARM AS 3786-1993

COPIRIGHT OF PLANS AND DOCUMENTATION
REMAIN THE EXCLUSIVE PROPERTY OF
WISDOM HOMES GROUP PTY LTD T/A
WISDOM HOMES BUILDERS LIC. No 131951C.

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A
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PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED
BEFORE WORK IS COMMENCED.

ISSUE

A-6

BASIS VARIATIONS

B-7

SUBMISSION PLANS

B-8

INCREASE FRONT SETBACK

B-9

AMND W10

REVISION SCHEDULE

DATE

5/09/22

KB

MDI

09/09/22

DESIGN:

16/09/22

AES

11/10/22

JOB NO:

208777

DATE

5/09/22

KB

MDI

09/09/22

DESIGN:

16/09/22

AES

LOT 5

DP 35789

PARA

RL 14

GRND FLR ONLY

GUT

17.04

GUT

17.04

GUT

LOT 3

DP 35789

PARA

RL 14

GRND FLR ONLY

GUT

17.04

GUT

17.04

GUT

LOT 4

DP 35789

PARA

RL 14

GRND FLR ONLY

GUT

17.04

GUT

17.04

GUT

SIGNATURE ESSENTIALS

NOTES:
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST
LOCATIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES
AND DIRECTIONS.
REFER TO AC DETAILS FOR ALL CONDUIT POSITIONS.
REFER TO CONSTRUCTION DETAILS FOR ALL CONSTRUCTION
REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED AS PER TENDER.
STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART
3.9.1.3 OF BCA 2019 WHEN TESTED IN ACCORDANCE WITH AS2865.2013

LOT 5

DP 35789

PARA

RL 14

GRND FLR ONLY

GUT

17.04

GUT

17.04

GUT

LOT 3

DP 35789

PARA

RL 14

GRND FLR ONLY

GUT

17.04

GUT

17.04

GUT

LOT 4

DP 35789

PARA

RL 14

GRND FLR ONLY

GUT

17.04

GUT

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GUT

LOT 5

DP 35789

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GUT

17.04

GUT

17.04

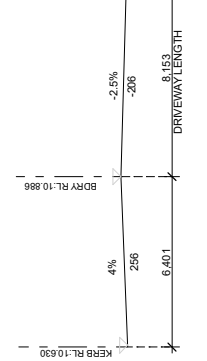
GUT



GAS METER TO BE
RELOCATED BY OWNER

DRIVEWAY PROFILE

AS2860.1:2004



LOT 5

DP 35789

PARA

RL 14

GRND FLR ONLY

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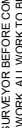
OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 - FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT
- STARKS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A.2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
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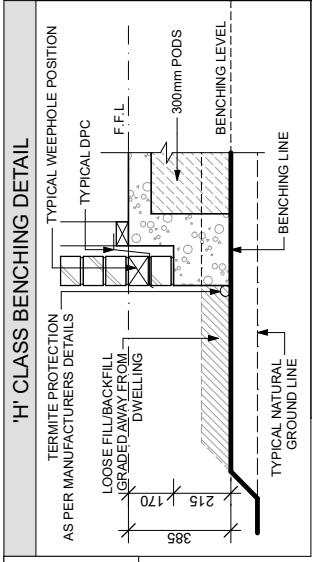


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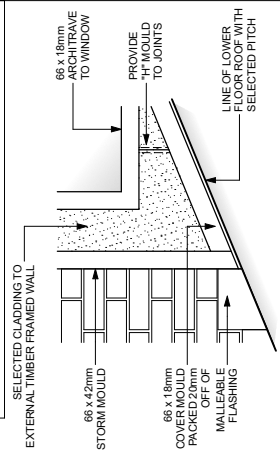
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- REFER TO A/C DETAILS FOR ALL CUCT POSITIONS.
- AC CUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
- FLOOR FINISHES AS SELECTED AS PER TENDER.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PCA 3.9, 1.3 OF 1985 WHEN TESTED IN ACCORDANCE WITH ANS 686-03.

 1300 855 775 wisdomhomes.com.au	PROJECT: PROPOSED BRICK VENEER DWELLING		⊗ EXHAUST FAN ⊗ SMOKE ALARM AS 3786-1993	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & RELEVANT CODES & STANDARDS. DRAWINGS ARE REQUIRED FOR THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.
	CUSTOMER: Mr G RASTOGI & Ms K K PILLAY			
	ADDRESS: Lot 4 No. 22 HUXLEY STREET			
	WEST RYDE			
		LODGEMENT: D.A/C.C		DP No: 35789

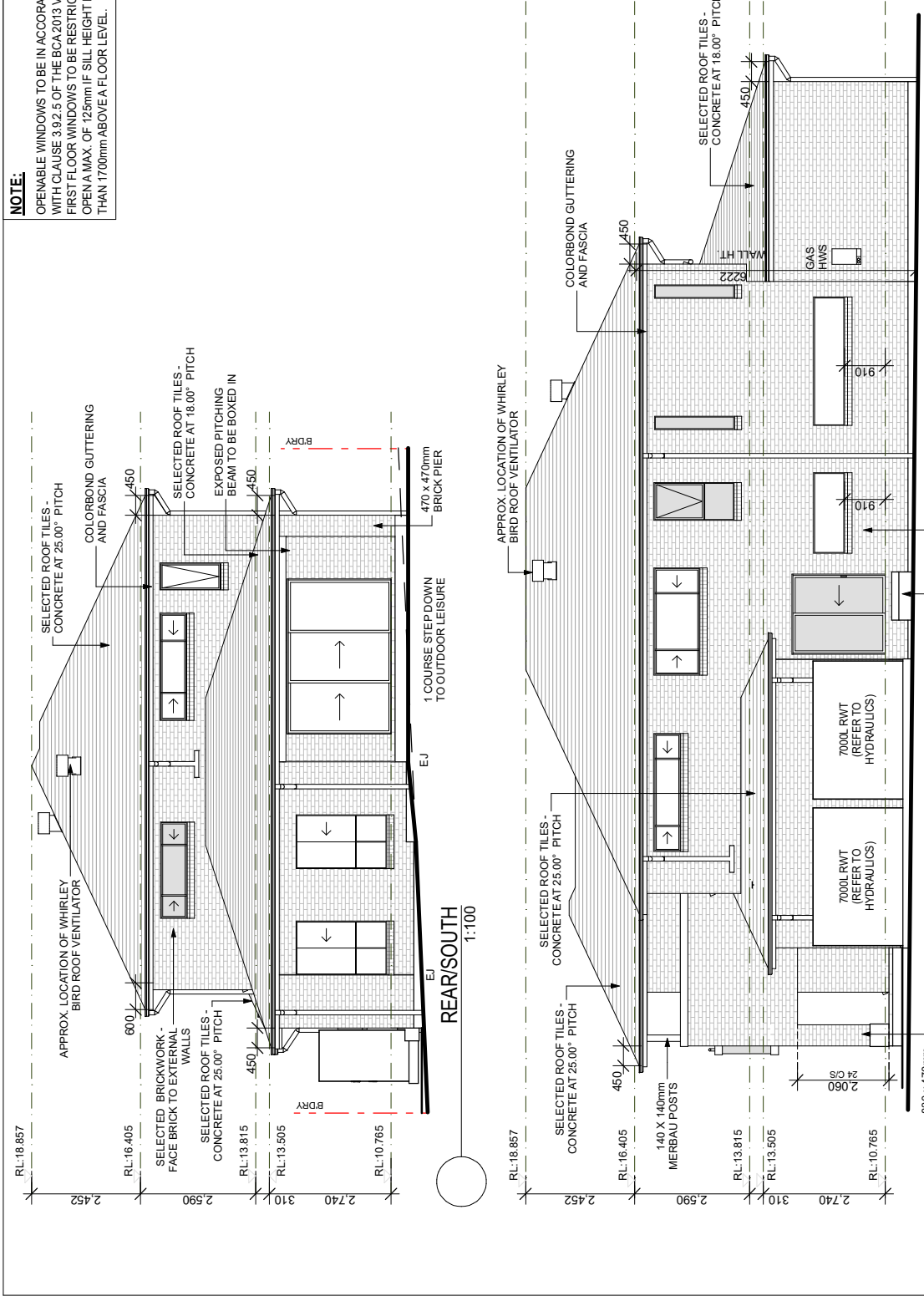
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- NOTES:**
- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
 - STARS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4686-2013.
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External Moulding & Architrave Detail



SIGNATURE ESSENTIALS

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JOB No:		208777		ITS	
DRAWN:		DATE:		PLOT DATE:	
LGA:		5.09.22		11/10/2022	
MDI		09.09.22		SLAB CLASS:	
DESIGN:		RYDE		M' CLASS	
16.09.22		ADE		SHEET:	
11/10/22		AES		7	
10.08.22		KB		SAVANA(H) COVERED V21	
12/08/22		KB		AMBASSADOR 41	
				BALCONY	

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A-6	BASIS VARIATIONS	5.09.22	KB
B-7	SUBMISSION PLANS	09.09.22	MDI
B-8	INCREASE FRONT SETBACK	16.09.22	ADE
B-9	AMND W10	11/10/22	AES
A-4	CONSULTATION PLAN AMENDMENTS	10.08.22	KB
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WISDOM

PROJECT: PROPOSED BRICK VENEER DWELLING

CLIENT: Mr G RASTOGI & Ms K K PILLAY

ADDRESS: Lot 4 No. 22 HUXLEY STREET WEST RYDE

EXHAUST FAN

SMOKE ALARM AS 3786-1993

DP No: 35789

D/A/C/C

7000L RWT (REFER TO HYDRAULICS)

7000L RWT (REFER TO HYDRAULICS)

1300 886 795

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SITE ANALYSIS KEY

- (1) SINGLE STOREY
- (2) TWO STOREY
- OVERLOOKING
- PREVAILING WINDS
- PRIVATE OPEN SPACE
- SUNLIGHT/SHADOWING

'M' CLASS SLAB

ACID SULFATE SOILS CLASS 5

Lot 4 No. 22

AREA: 752.50m²

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FLOOR LEVEL. EXCAVATION
AND BATTERS TO BE DETERMINED ON
SITE.

PROPOSED
EXCAVATION

EXISTING STRUCTURE TO BE
DEMOLISHED BY OWNER

HUXLEY STREET

SITE ANALYSIS PLAN

1:200

FILE PATH: T:\WISDOM HOMES\2022\087777_RASTOGI PILLAY SUBMISSION PLANS.rvt

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SMOKE ALARM AS 3786-1993

LODGE/MENT:

D.A/C.C

DP No:

35789

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B-8	INCREASE FRONT SETBACK	MDI	16.09.22
B-9	AMND W10	AES	11/10/22
A-4	CONSULTATION PLAN AMENDMENTS	KB	10.08.22
A-5	CONSULTATION PLAN AMENDMENTS	KB	12/08/22

JOB No:

208777

DATE:

11/10/2022

SLAB CLASS:

RYDE

DESIGN:

AMBASSADOR 41

SAVANNAH (COVERED V2)

SHEET:

10

SIGNATURE ESSENTIALS

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DATE:

11/10/2022

SLAB CLASS:

RYDE

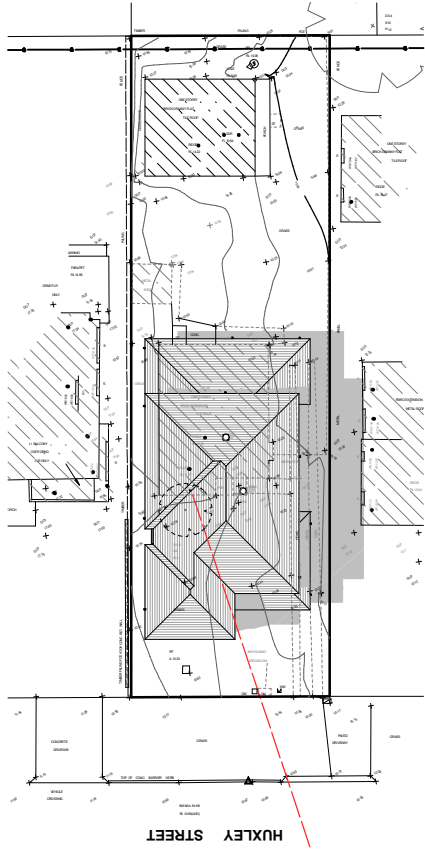
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AMBASSADOR 41

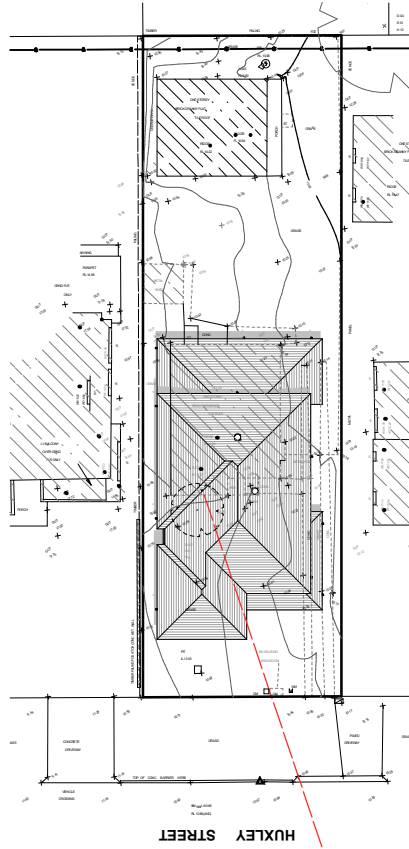
SAVANNAH (COVERED V2)

SHEET:

10



31 December 9am



31 December 12pm

SHADOW DIAGRAMS DECEMBER 31ST

1:400

FILE PATH: T:\WISDOM HOMES\2022\208777_RASTOGI PILLAY SUBMISSION PLANS.dgn



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ADDRESS:
**Lot 4 No. 22 HUXLEY STREET
WEST RYDE**

⊗ EXHAUST FAN
⊗ SMOKE ALARM AS 3786-1993

LODGE MENT:
D.A/C.C 35789

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JOB No:	208777
DATE:	11/10/2022
PLANT DATE:	11/10/2022
SLAB CLASS:	M' CLASS
DESIGN:	AMBASSADOR 41
SAVANA (COVERED BALCONY)	V21

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12

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