

# Landscape Concept Plan

Note 1: All levels and top of wall levels cross check with architectural plans to avoid discrepancy.

Note 2: Contractor is required to consult with a qualified arborist for the existing trees to be retained and protected prior the commencement of any site works and construction works.

## Legend

EXISTING TREES TO BE REMOVED  
EXISTING TREE TO BE RETAINED

SITE BOUNDARY

EXISTING SPOT LEVEL  
PROPOSED SPOT LEVEL

STEEL EDGE

PROPOSED SHRUBS

MASS PLANTING

TURF

UNIT PAVER

TIMBER DECK

CONCRETE DRIVEWAY

STEPPING PAVER

PROPOSED TREE

RETAINING WALL / RAISED PLANTER  
REFER TO ARCHITECTURAL DRAWINGS

Note 3: All trees on the road reserve, public domain and verge are to be retained and protected.

Note 4: All outdoor pavement (including unit pavement and stepping paver are to be permeable).

Note 5: All bottom of wall levels refer to architectural plans to avoid discrepancy.

## Design notes

- 1 Proposed front terrace garden along front boundary
- 2 Proposed concrete driveway
- 3 Shrub planting along the front boundary to provide privacy and form the front edge
- 4 Unit pavement and stairs provide access to main entry
- 5 Proposed low grass / ground cover planting
- 6 Shrub planting provides a natural screen balustrade and a green lush backdrop
- 7 Large lawn area to provide opportunities for different usage
- 8 The backyard areas are accessed via stepping paver in gravel bed
- 9 Existing tree to be retained and protected
- 10 Proposed retractable clothes rack
- 11 Paved outdoor area to provide opportunities for outdoor dining and the like
- 12 Bin storage
- 13 Upper garden/ open space
- 14 Proposed garden bed with existing tree
- 15 Proposed tree to increase green canopy coverage
- 16 Timber deck outdoor space.



NOT FOR CONSTRUCTION		
REV	NOTE	DATE
D	ISSUE FOR DA	2/12/21
E	ISSUE FOR DA	13/01/22
F	ISSUE FOR DA	20/01/22
G	ISSUE FOR DA	21/04/22
H	ISSUE FOR DA	11/05/22
I	ISSUE FOR DA	08/07/22

DRAWING NUMBER:

LC 01

SCALE:

1:200

SHEET SIZE:

A3

0

2

4

6m

PROJECT: S21-09-06

8 Jayne Street, West Ryde

CLIENT:  
WEN Architects



CMLA PTY LTD

LANDSCAPE ARCHITECTURE  
LANDSCAPE PLANNING  
URBAN DESIGN


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Landscape Planting Plan

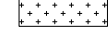
Legend

- 

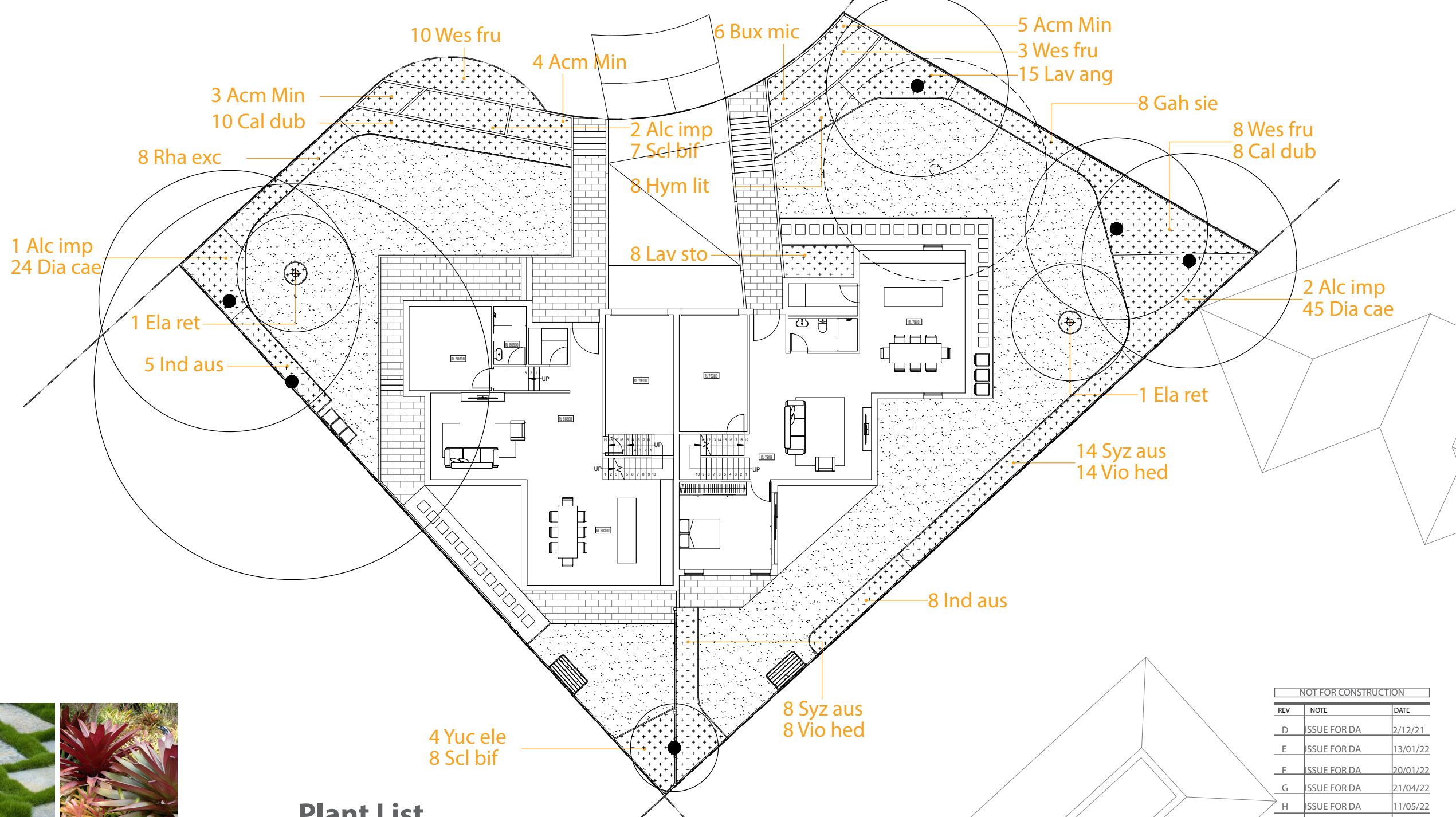
Existing Tree to be removed
- 

Existing Tree to be retained
- 

Proposed Tree
- 

Mass Planting with Organic Mulch
- 

Turf Planting



Plant List

Tree	Botanical Name	Common Name	Pot Size	Density	Quantity	Mature Height
Ela ret	Elaeocarpus reticulatus	Blueberry Ash	25L	As Shown	2	8-10m
Shrubs and Ground covers						
Bux mic	Buxus microphylla 'Faulkner'	Japanese Box	200mm	2 per m2	6	0.8m
Yuc ele	Yucca elephantipes 'Designer'	Spineless Yucca	200mm	1 per m2	4	3m
Alc imp	Alcantarea imperialis 'Rubra'	Giant bromeliad	200mm	2 per m2	5	1.5m
Lav ang	Lavandula angustifolia	English Lavender	200mm	2 per m2	15	1.5m
Lav sto	Lavandula stoechas	French lavender	200mm	2 per m2	8	0.6m
Syz aus	Syzygium australe 'Resilience'	Lilly Pilly	200mm	1 per 1m	22	3-4m
Cal dub	Calochaena dubia	False Bracken Fern	200mm	1 per m2	18	0.5m
Acm Min	Acmena 'Minipilly'	Dwarf Lilly Pilly	200mm	1 per m2	12	1.5m
Rha exc	Rhapis excelsa	Slender Lady Palm	200mm	1 per m2	8	2m
Hym lit	Hymenocallis littoralis	Spider Lily	200mm	2 per m2	8	0.7m
Scl bif	Scleranthus biflorus	Cushion Bush	200mm	2 per m2	15	GC
Dia cae	Dianella caerulea	Blue Flax Lily	200mm	3 per m2	69	0.4m
Wes fru	Westringia fruticosa	Coastal Rosemary	200mm	1 per 1m	21	1m
Ind aus	Indigofera australis	Australian Indigo	200mm	1 per m2	13	2.5m
Gah sie	Gahnia sieberan	Saw Sedge	200mm	1 per m2	8	2m
Vio hed	Viola hederacea	Native Violet	200mm	1 per m2	22	GC

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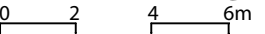
LC 02

SCALE:

1:200

SHEET SIZE:

A3



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GENERAL NOTE

1.0 DRAWING

These drawings to be read in conjunction with the drawing package from the consultant team including architectural drawings and engineering drawings.

2.0 SCALING

1:200 @A3

3.0 SERVICES

Verify the 'as built' location of all existing services before excavation works are started.

Services shown are indicative only. Call Dial Before You Dig.

4.0 EXISTING TREES

Existing tree to be retained in accordance with AS 4970-2009.

Existing tree to be removed in accordance with AS 4970-2009.

5.0 SURFACE LEVELS

All surface shall have min. 1% (1:100) cross fall to allow stormwater drainage, unless otherwise specifically indicated.

6.0 TURFING AREA

Remove existing grass. Cultivate subgrade to and place site topsoil to areas to be turfed as per detail. Landscape Contractor is to prepare imported topsoil, removing rocks and clods etc, and make good for the placing of turf. Place 25mm turf as specified.

7.0 PLANTING AREAS

Remove existing grass. Cultivate to a depth, place imported topsoil and 75mm of mulch as per detail. Mound all planting areas min. 200mm above adjacent hard surfaces to allow positive drainage. Soil blends to comply with AS 4419.

8.0 MULCH

Organic mulch shall be used for mass planing as specified in details or approved equivalent.

9.0 MAINTENANCE & ESTABLISHMENT

All landscape works are to be maintained for a period of three months from the date of practical completion. This includes all watering, weeding, spraying and re-mulching necessary to achieve vigorous growth. Any defects which arise during this period are to be rectified immediately. Any plants or areas of turf which fail during this period are to be replaced at no additional cost.

10.0 EDGES

Steel edge shall be used between softworks, refer to detail and plans.

11.0 IRRIGATION

All irrigation installation to landscape areas are to satisfy the Sydney water code and AS3500.

12.0 PAVEMENT SLIP RESISTANCE

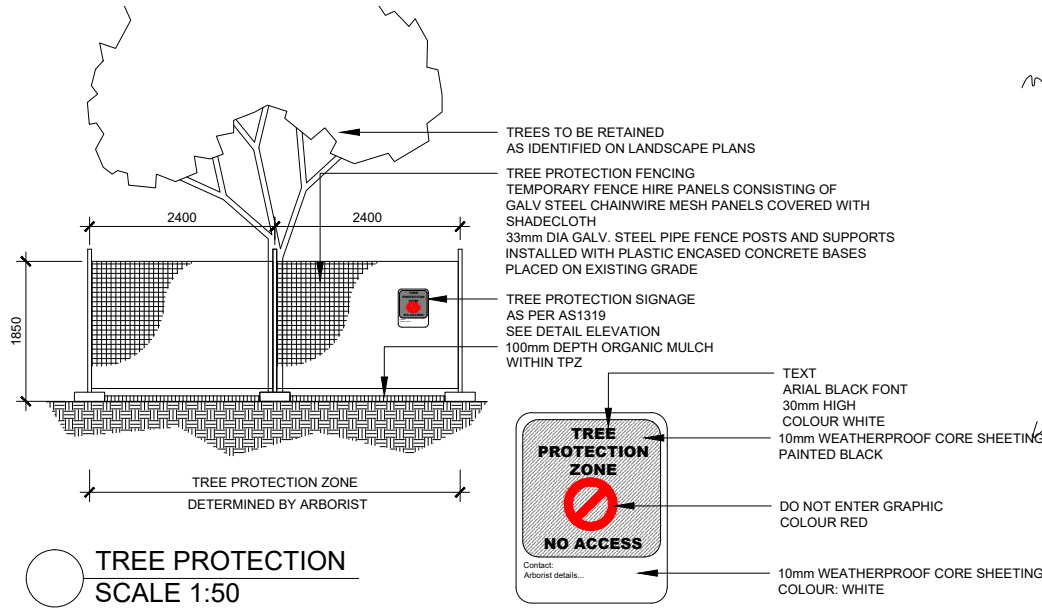
To Australian Standard AS/NZS 4586:2007.

13.0 DISCREPANCY

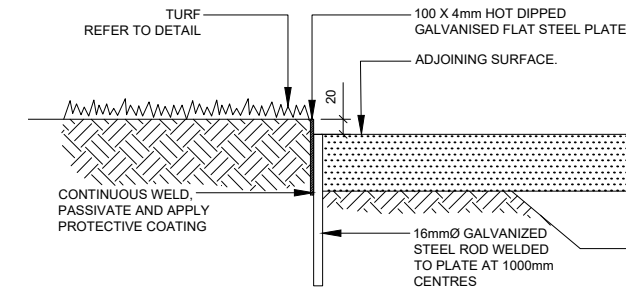
Any discrepancy on levels and drawing sets should contact Project Manager and Landscape Architect prior any construction works.

14.0 SIDE FENCE

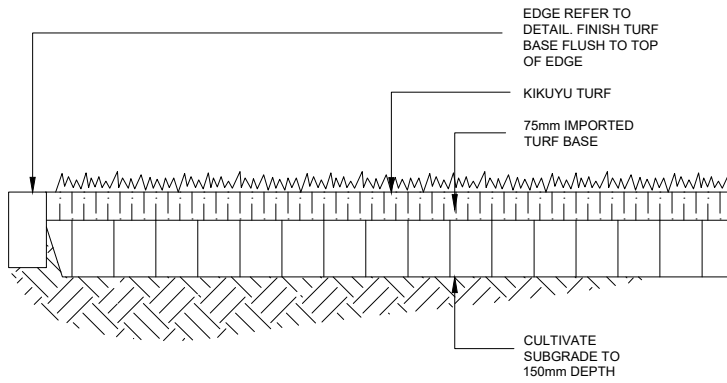
Refer to architectural drawings.



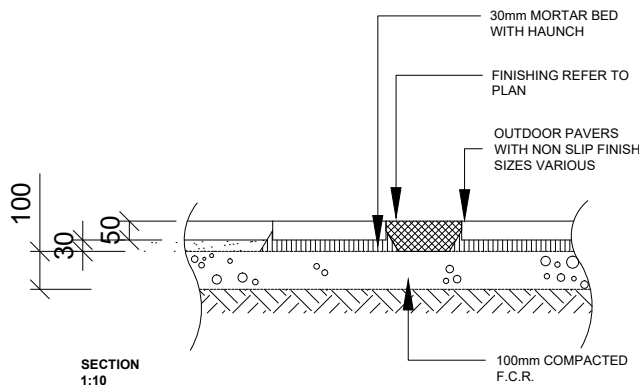
1a TREE PROTECTION FENCE SIGNAGE  
DETAIL ELEVATION 1:10



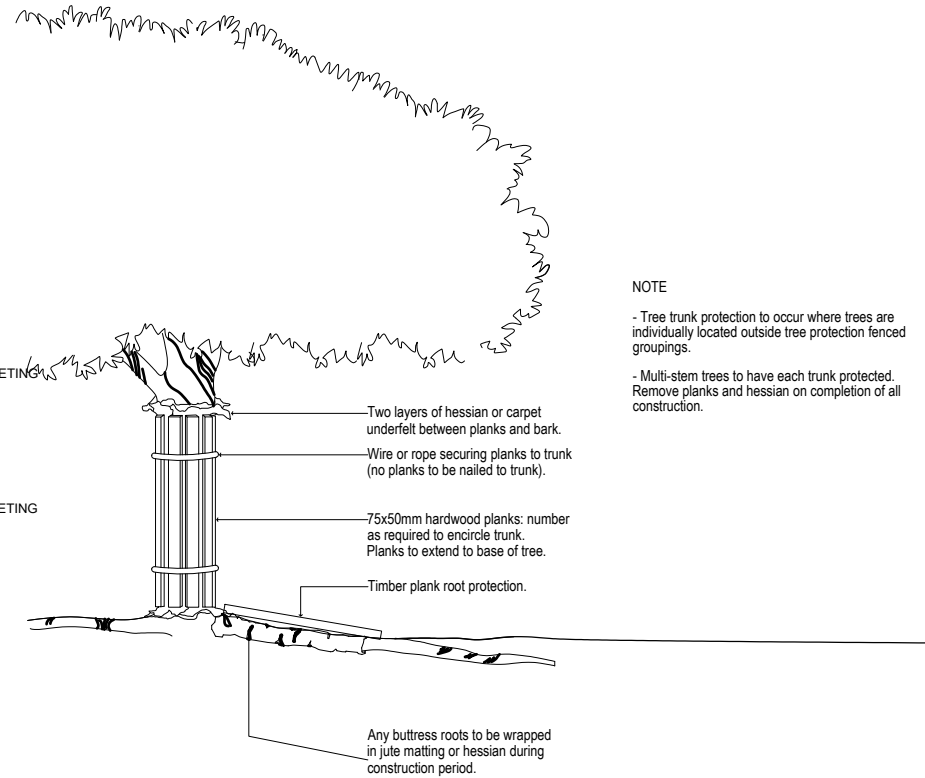
STEEL EDGE TYPICAL SECTION  
1:10



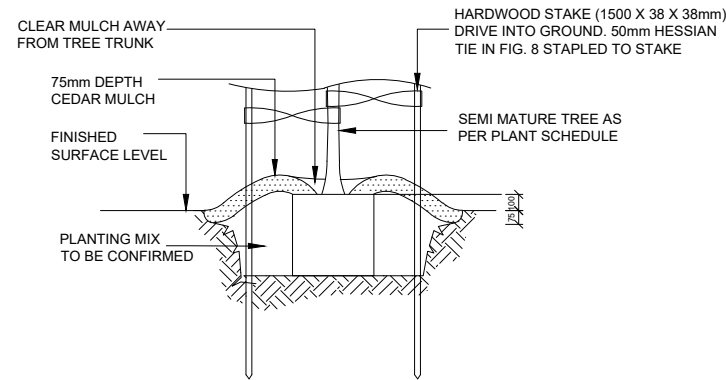
TURF  
SECTION 1:20



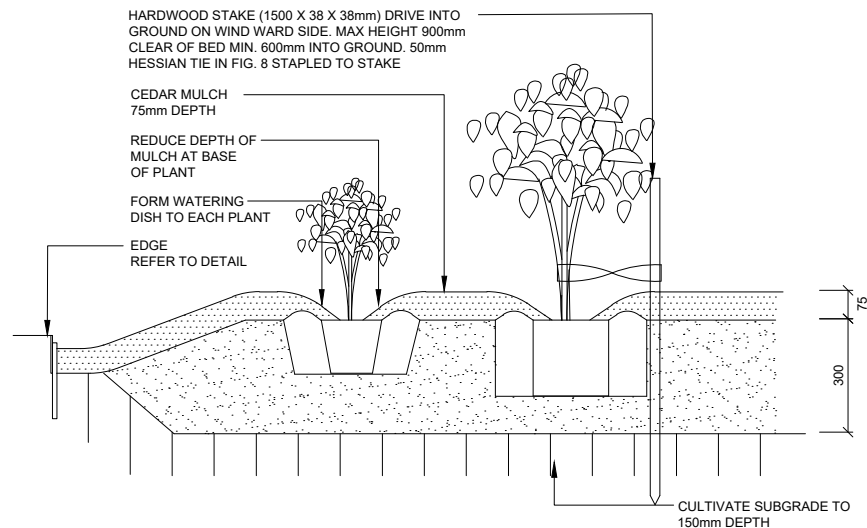
PAVING - STEPPING STONES  
TYPICAL SECTION 1:10



TIMBER PLANK TRUNK PROTECTION  
SCALE 1:50



TREE PLANTING DETAIL  
TYPICAL SECTION 1:50



MASS PLANTING BED  
TYPICAL SECTION 1:20

NOTE

- Tree trunk protection to occur where trees are individually located outside tree protection fenced groupings.
- Multi-stem trees to have each trunk protected. Remove planks and hessian on completion of all construction.

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