

# 10 Jennifer St

Proposed Dual Occupancy @  
10 Jennifer St, RYDE NSW 2112

## Revised Development Application Issue - 28th January 2022

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-

CLERMONT  
RESIDENCES

BY YOUNES PROPERTY

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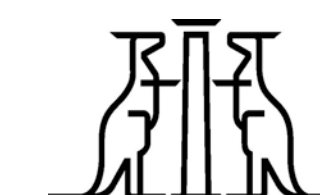
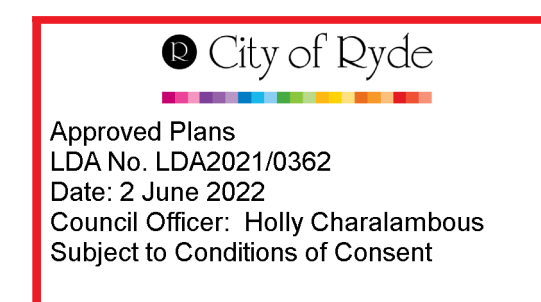
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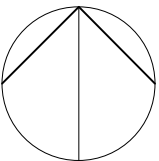
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B	Draft DA Issue	BD	30/08/21
C	Draft DA Issue - 2	BD	13/09/21
D	Development Application Issue	BD	28/09/21
E	Revised Development Application Issue	BD	28/01/22



Approved Plans  
LDA No. LDA2021/0362  
Date: 2 June 2022  
Council Officer: Holly Charalambous  
Subject to Conditions of Consent

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Project:  
10 JENNIFER ST, RYDE

Title:  
LOCATION PLAN / SITE ANALYSIS

Drawn:	BD	Date:	25/01/21
		Scale:	NTS
Checked:	BD	Sheet Size:	A3/A1
Job No:	782DA_A_	Drawing No:	02
		Rev:	E





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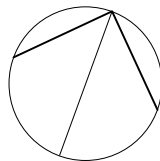


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Project:		Drawn:	BD	Date:	20/07/21
10 JENNIFER ST, RYDE		Scale:		1:200@A3	1:100@A1
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SUBDIVISION PLAN		Job No:	782DA_A_	Drawing No:	08
		Rev:		B	





## LEGEND:

+ 63.80 SITE LEVELS  
PF POOL FENCE  
FP OUTDOOR FIREPLACE  
DP DOWNPIPE  
OSD ONSITE DETENTION TANK  
SWP STORMWATER PITT  
RWT RAINWATER TANK



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C	Draft DA Issue	BD	30/08/21
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Project:	10 JENNIFER ST, RYDE	Drawn:	BD	Date:	20/07/21
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Drawing No:	05				

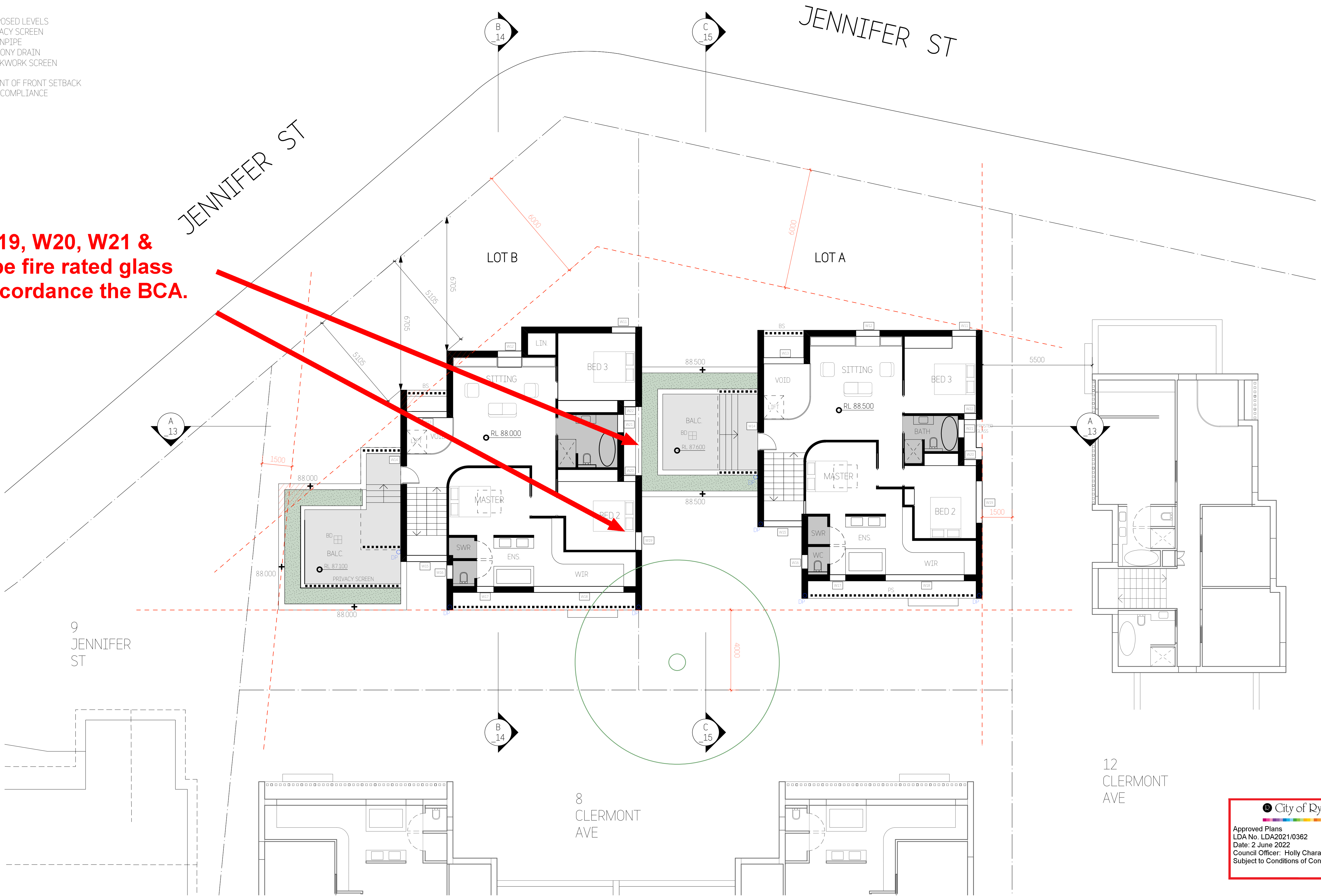
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LEGEND:

+ 63.80	PROPOSED LEVELS
PS	PRIVACY SCREEN
DP	DOWNPIPE
BD	BALCONY DRAIN
BS	BRICKWORK SCREEN
	EXTENT OF FRONT SETBACK NON-COMPLIANCE

Windows W19, W20, W21 & W22 are to be fire rated glass blocks in accordance the BCA.



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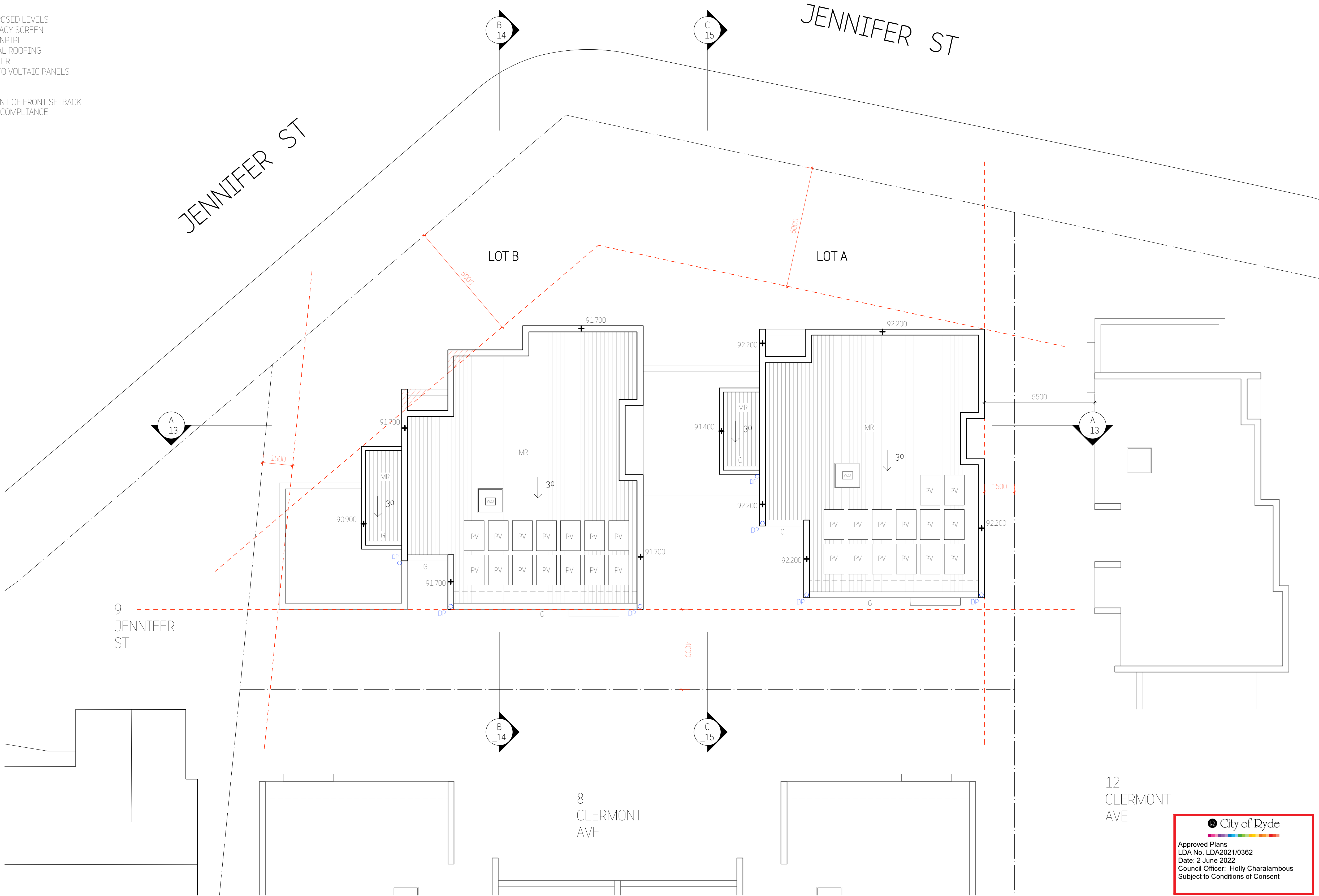
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LEGEND:

+ 63.80 PROPOSED LEVELS  
PS PRIVACY SCREEN  
DP DOWNSPIRE  
MR METAL ROOFING  
G GUTTER  
PV PHOTO VOLTATIC PANELS

EXTENT OF FRONT SETBACK  
NON-COMPLIANCE



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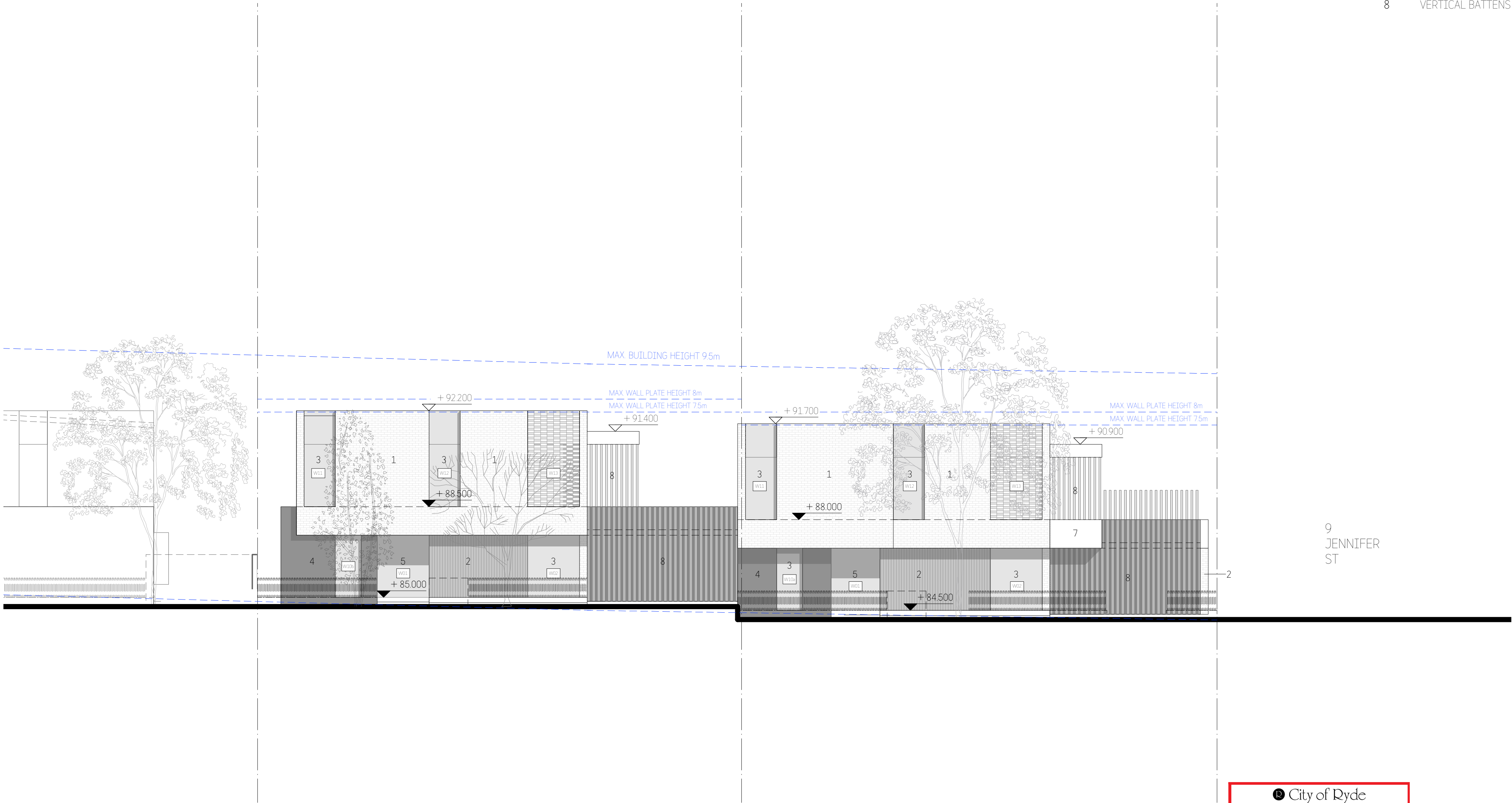
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Project:	10 JENNIFER ST, RYDE			Drawn:	BD	Date:	20/07/21
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						Rev:	E



- MATERIALS LEGEND:**  
Refer to External Finishes Schedule
- 1 BRICKWORKS WALLS - PAINTED
  - 2 EXPOSED CONCRETE WALLS
  - 3 ALUMINIUM FRAMED WINDOWS
  - 4 TEXTURED CLADDING
  - 5 GLASS ENTRY DOOR
  - 6 METAL ROOFING
  - 7 EXTERNAL WALLS - PAINTED
  - 8 VERTICAL BATTENS

12  
CLERMONT  
AVE



9  
JENNIFER  
ST



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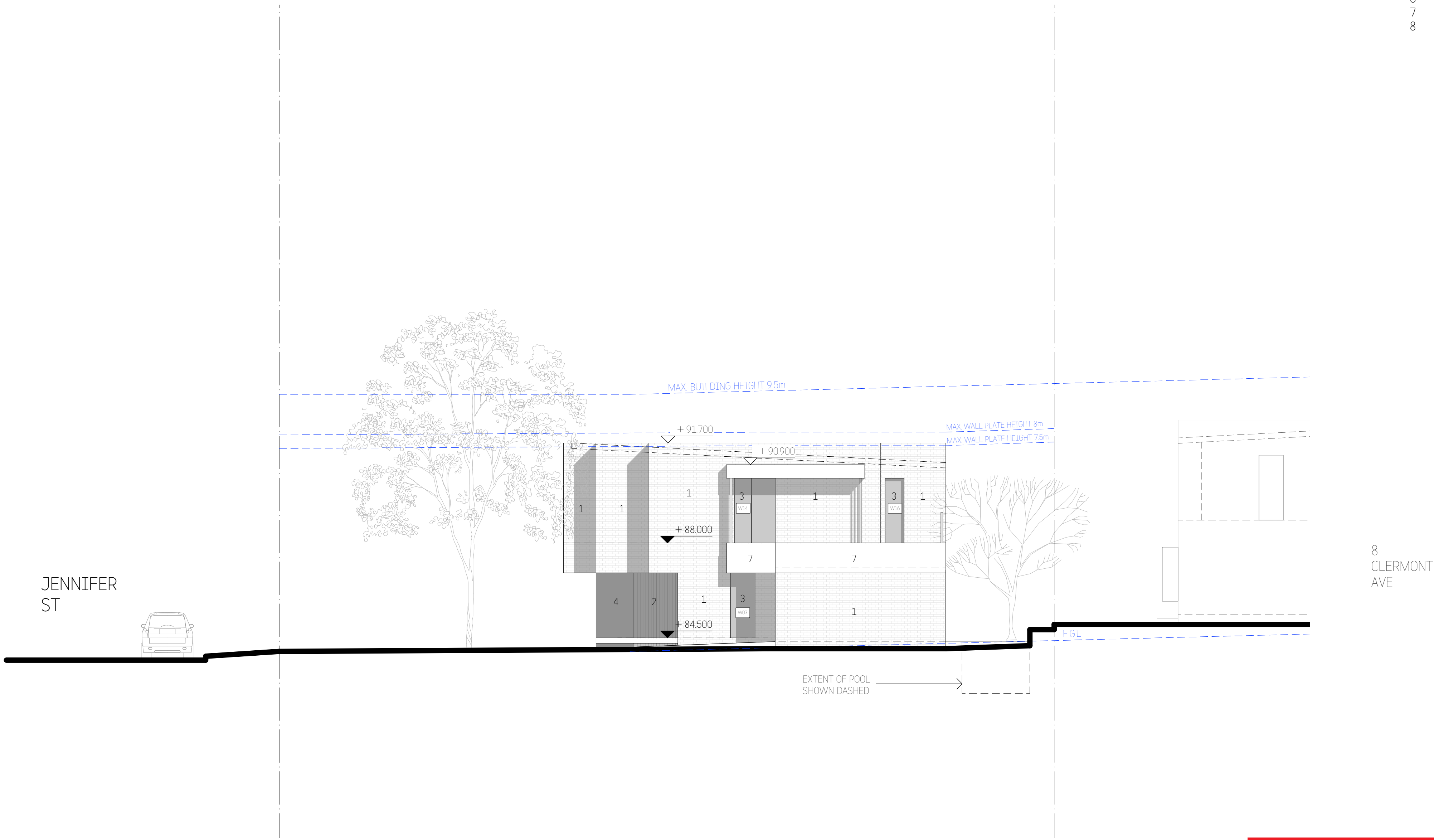
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Project:	10 JENNIFER ST, RYDE		Drawn: BD	Date: 20/07/21
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Title:	NORTH ELEVATION		Checked: BD	Sheet Size: A3/A1
Job No:	782DA_A_	Drawing No: 09	Rev: D	



- MATERIALS LEGEND:**  
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- 1 BRICKWORKS WALLS - PAINTED
  - 2 EXPOSED CONCRETE WALLS
  - 3 ALUMINIUM FRAMED WINDOWS
  - 4 TEXTURED CLADDING
  - 5 GLASS ENTRY DOOR
  - 6 METAL ROOFING
  - 7 EXTERNAL WALLS - PAINTED
  - 8 VERTICAL BATTENS





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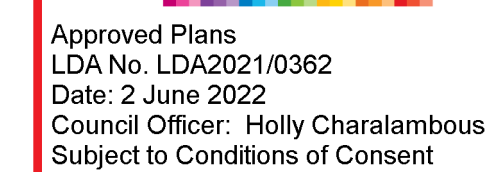
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Project:	10 JENNIFER ST, RYDE		Drawn: BD	Date: 20/07/21
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Job No:	782DA_A_	Drawing No:	10	Rev: D



Refer to External Finishes Schedule

- 
- 9 JENNIFER ST
- 12 CLERMONT AVE
- MAX WALL PLATE HEIGHT 8m  
MAX WALL PLATE HEIGHT 7.5m
- MAX BUILDING HEIGHT 9.5m
- MAX WALL PLATE HEIGHT 8m  
MAX WALL PLATE HEIGHT 7.5m
- EXTENT OF POOL SHOWN DASHED
- EXTENT OF POOL SHOWN DASHED
- +90900
- +88000
- +84500
- +91400
- +91700
- +92200
- +85000
- City of Ryde



Revisions			
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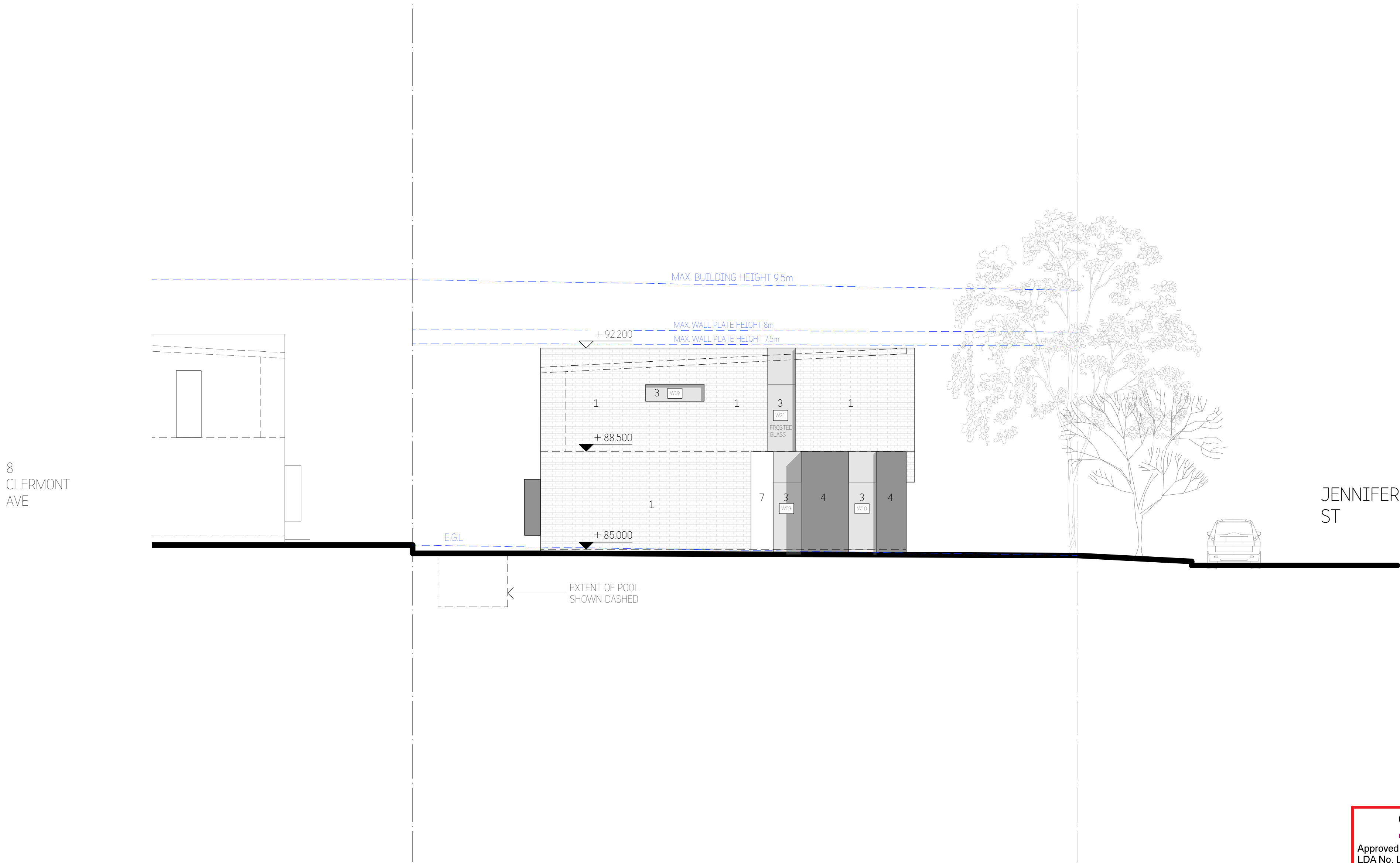
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SOUTH ELEVATION	782DA_A_	11
		Rev: D

- MATERIALS LEGEND:**  
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- 1 BRICKWORKS WALLS - PAINTED
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  - 4 TEXTURED CLADDING
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  - 6 METAL ROOFING
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  - 8 VERTICAL BATTENS





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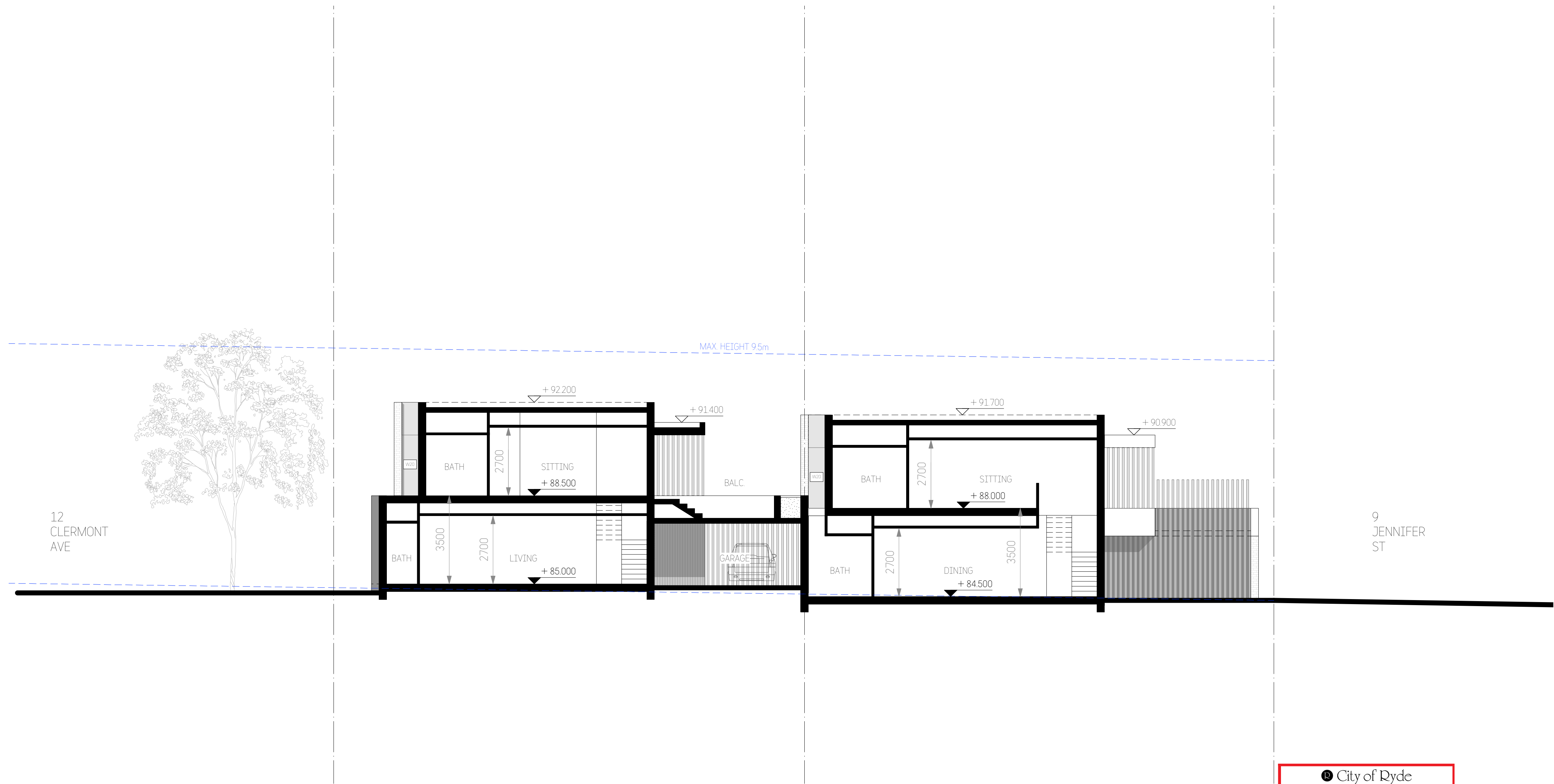
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		Rev: D





1 SECTION A-A

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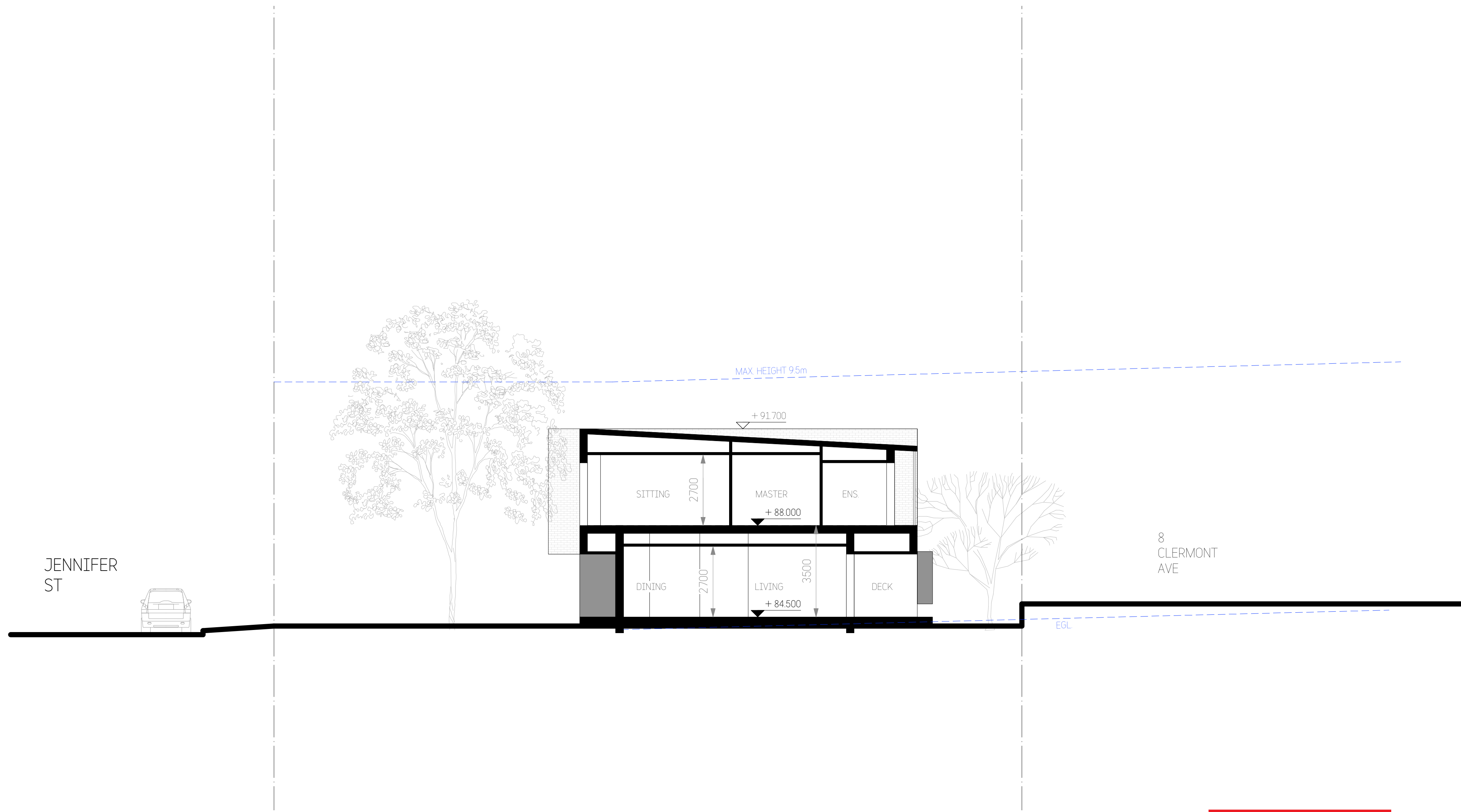
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		Rev: C	



1 SECTION B-B

City of Ryde

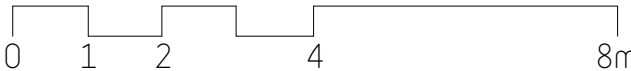
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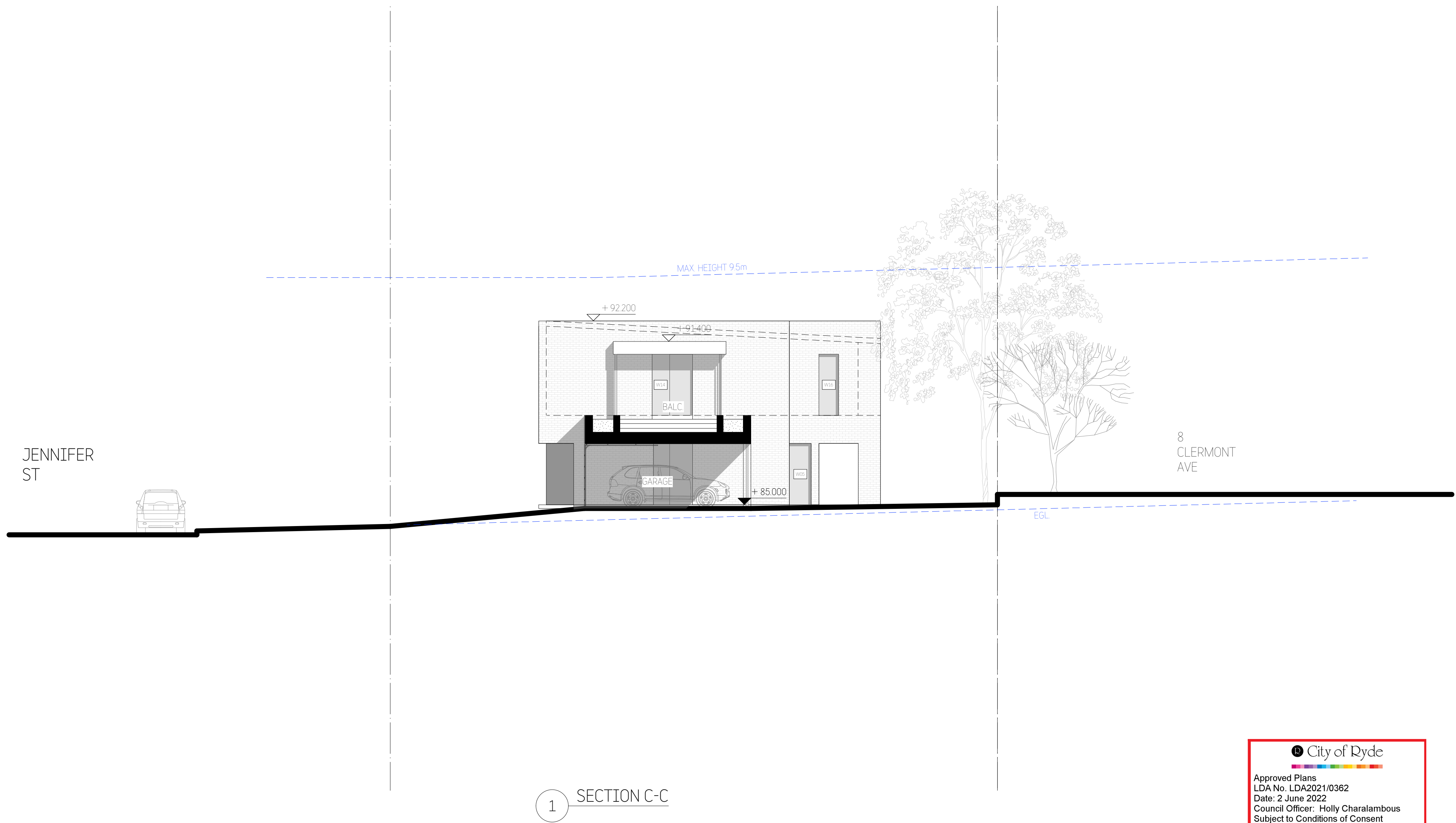
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		Drawing No: 14	






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**Member**  
Australian Institute of Architects  
2021



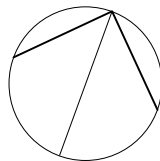
**STUDIO\_BD**  
ARCHITECTURE  
& INTERIORS

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Bors Dragas NSW ARB #7658  
t: 0414 866 065 e: bors@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

Project:		Drawn: BD	Date: 20/07/21
10 JENNIFER ST, RYDE		Scale: 1:200@A3 1:100@A1	
Title:		Checked: BD	Sheet Size: A3/A1
SHADOW DIAGRAMS - 21st June		Job No: 782DA_A_	Drawing No: 16
		Rev: B	

 **City of Ryde**

Approved Plans  
LDA No. LDA2021/0362  
Date: 2 June 2022  
Council Officer: Holly Charalambous  
Subject to Conditions of Consent





Patricia

Zena

06



- 01 External Brickwork Walls  
Painted Dulux 'Lexicon - Quarter'
- 02 Exposed Concrete Walls  
Rib and waves textured concrete walls
- 03 Windows  
Narrowline Aluminium Windows  
Colorbond 'Monument - Matt'
- 04 Vertical Aluminium Battens  
Colorbond 'Monument - Matt'
- 05 Glass Entry Door
- 06 Metal Roofing  
Colorbond 'Surfmist'
- 07 External Walls / Edgebeams  
Acrylic Render  
Painted Dulux 'Lexicon - Quarter'



01



03



04



07



02



05

Revisions:			
No	Description	By	Date
A	Draft DA Issue	BD	30/08/21
B	Draft DA Issue - 2	BD	13/09/21
C	Development Application Issue	BD	28/09/21
D	Revised Development Application Issue	BD	28/01/22

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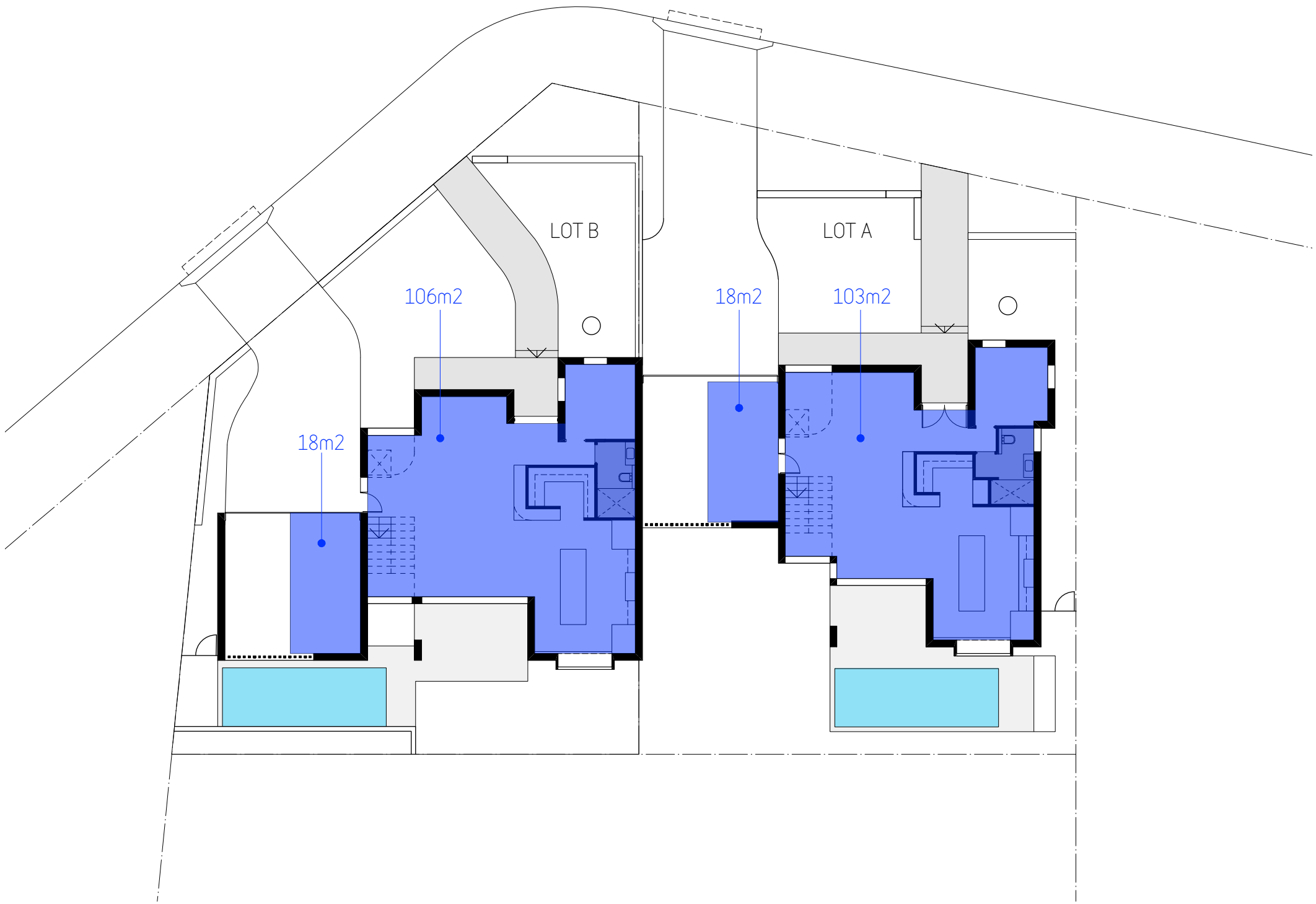
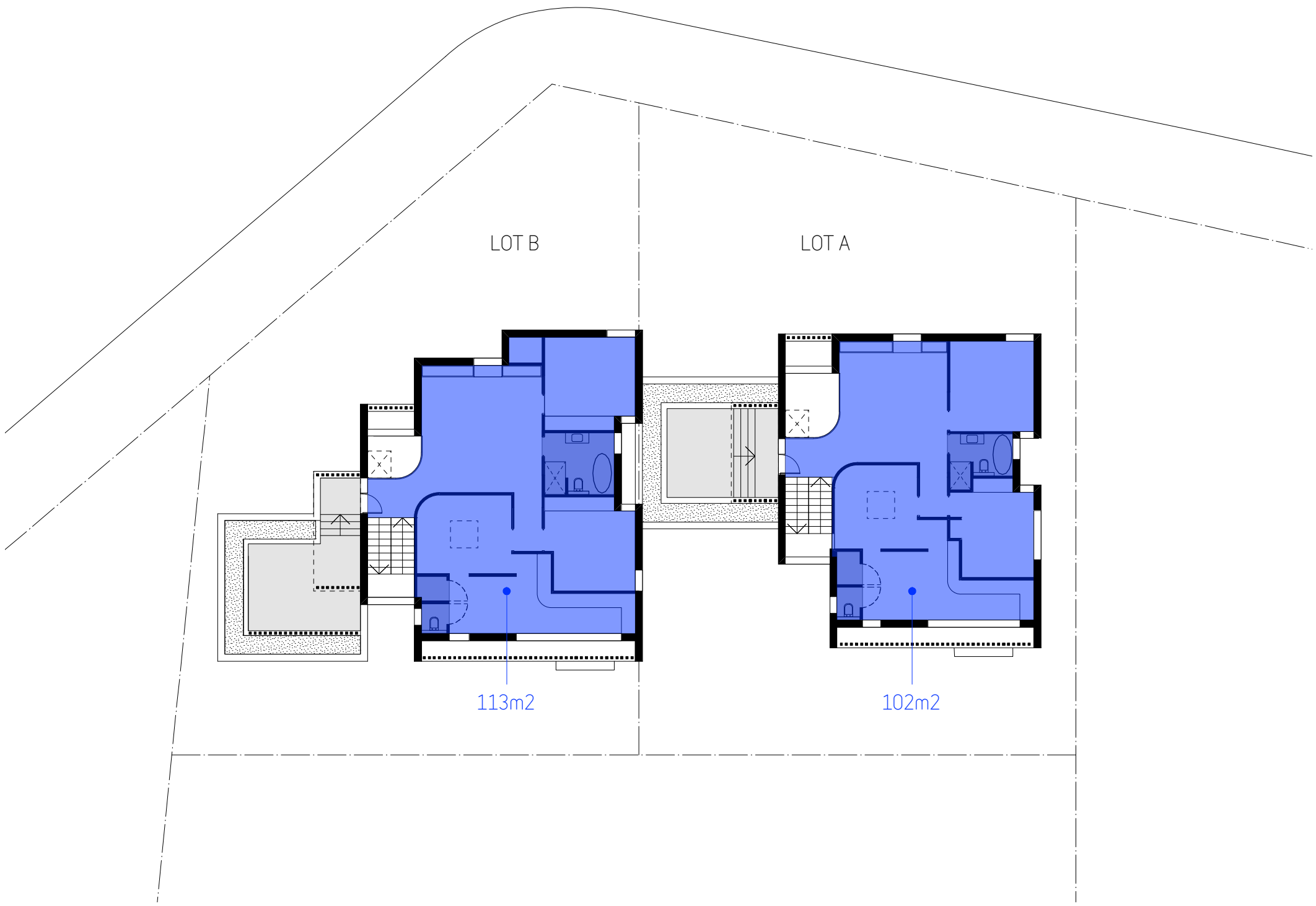


**City of Ryde**  
Approved Plans  
LDA No. LDA2021/0362  
Date: 2 June 2022  
Council Officer: Holly Charalambous  
Subject to Conditions of Consent

**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect Boris Dragas NSW ARB #7658  
t: 0414 856 065 e: bors@studiodbd.com.au  
w: studiodbd.com.au  
abr: 74 219 560 787

Project:		Drawn:	BD	Date:	11/08/21
10 JENNIFER ST, RYDE				Scale:	NTS
Title:		Checked:	BD	Sheet Size:	A3/A1
EXTERNAL FINISHES SCHEDULE		Job No:	782DA_A_	Drawing No:	17
				Rev:	D





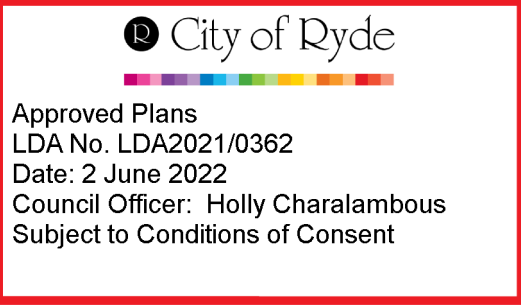
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Revisions:			
No	Description	By	Date
A	Development Application Issue	BD	28/09/21
B	Revised Development Application Issue	BD	28/01/22

SITE AREA = 927.4m2

LOT A = 223m2 gfa  
LOT B = 237m2 gfa  
= 459.5m2 gfa (0.495:1)



**STUDIO\_BD  
ARCHITECTURE  
& INTERIORS**


**STUDIO\_BD ARCHITECTURE & INTERIORS**  
Nominated Architect-Boris Drigas NSW ARB #7658  
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w: studiobd.com.au  
mob: 74 219 560 787

Project:		Drawn: BD	Date: 25/01/21
10 JENNIFER ST, RYDE		Scale: NTS	
Title:		Checked: BD	Sheet Size: A3/A1
AREA SCHEDULE		Job No: 782DA_A_	Drawing No: 18
			Rev: B



EXISTING TREE SCHEDULE : 10 JENNIFER ST

ID	Botanical Name	Status
T16	Jacaranda mimosifolia	REMOVE (DA1)
T18	Poplar deltoides	REMOVE (DA1)
T19	Camellia sasanqua	REMOVE
T20	Jacaranda mimosifolia	RETAIN
T21	Callistemon viminalis	REMOVE
T22	Acer buergerianum	RETAIN
T23	Cedrus deodora	REMOVE
T25	Grevillea robusta	REMOVE
T26	Cedrus deodora	REMOVE
T27	Cinnamomum camphora	REMOVE
T34	Photinia glabra	REMOVE
T35	Photinia glabra	REMOVE

City of Ryde

Approved Plans


LDA No. LDA2021/0362

Date: 2 June 2022


Council Officer: Holly Charalambous

Subject to Conditions of Consent


LEGEND:




EXISTING TREE - RETAIN




EXISTING TREE - REMOVE  
red dash = to be approved  
grey dash = approved DA2021/0148




SITE BOUNDARY




EXISTING SPOT LEVEL




PROPOSED SPOT LEVEL



TILE/ PAVER



CONCRETE PAVING  
Un-coloured in-situ concrete paving.



LAWN / TURF  
Palmetto® soft leaf buffalo or similar  
supplied in pre-grown rolls.



Matthew Higginson Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhlhla@mhlhla.com.au

DEVELOPMENT APPLICATION

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issue	date	description
01	14.09.21	Preliminary issue for comment.
A	06.10.21	Amend to comments. DA issue.
B	03.02.22	Amend to comments. DA issue.

project  
**10 Jennifer Street, Ryde NSW**  
client  
Younes Property Pty Ltd

drawing title  
**Context Plan**

scale	project no.	drawing no.	issue
1:250 @ A3	21898	LP20	B



Approved Plans  
LDA No. LDA2021/0362  
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4 x Replacement Street Trees are required to be planted

NEW FOOTPATH TO COUNCIL SPECIFICATION.

NEW DRIVEWAY CROSSOVER TO COUNCIL SPECIFICATION.

FRONT FENCE TO ARCHITECT'S DETAIL.

14 Dianella  
6 Buxus

SCULPTURE  
CORTEN® STEEL RAISED GARDEN EDGE

2 Buxus  
10 Brachyscome

1 Polygala  
3 Gaura  
5 Viola

FRONT FENCE TO RETURN ALONG BOUNDARY. TO ARCHITECT'S DETAIL.

5 Westringia

1 Cycas  
3 Calathea

GAS OUTDOOR FIREPLACE.

6 Aspidistra

SOUNDPROOF POOL EQUIPMENT ENCLOSURE/ DAYBED.

LOW RET. WALL TO BOUNDARY TO NOM. 300mm HIGH

3 Aspidistra

1 Cordyline

BOUNDARY FENCE TO AS1926.

12 Rhipirolepis 'O.P.'

UPSTAND POOL COPING TO FORM RETAINING WALL 600 HIGH.

BOUNDARY FENCE TO AS1926.

CONTINUE RET. WALL TO BOUNDARY.

2 Lavandula  
1 Lagestroemia 'T.'  
2 Gaura  
1 Polygala

NEW TREE TO H15m;  
1 Eucalyptus h.

1 Eriostemon  
1 Polygala  
1 Gardenia

5 Trachelospermum  
1 Polygala  
4 Gardenia

11 Rhipirolepis 'O.P.'  
BOUNDARY FENCE TO AS1926.

NEW DRIVEWAY CROSSOVER TO COUNCIL SPECIFICATION.

6 Lavandula  
9 Trachelospermum

14 Pennisetum 'N.'

MAILBOX PLINTH  
1 Tristaniopsis  
4 Lavandula

FRONT FENCE TO ARCHITECT'S DETAIL.

1 Eriostemon  
1 Doryanthes  
3 Gardenia  
5 Pennisetum 'N.'

SCULPTURE  
CORTEN® STEEL RAISED GARDEN EDGE

MASONRY BOUNDARY FENCE TO ARCHITECT'S DETAIL. TO COMPLY WITH AS1926.

STEPPING STONES LAID FLUSH IN GARDEN;  
20 Viola

5 Aspidistra

13 Philodendron 'X.'

GAS OUTDOOR FIREPLACE.

OUTDOOR SHOWER

6 Alpinea

2m DECORATIVE SCREEN TO AS1926.

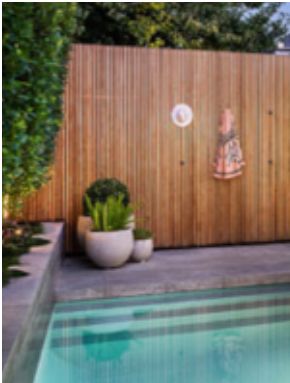
SOUNDPROOF POOL EQUIPMENT ENCLOSURE/ DAYBED.



PLANT SCHEDULE : 10 JENNIFER ST

Botanic Name	Common Name	Supply Size (mm/L)	Mature Height	Mature Spread	Qty
Trees					
Cupaniopsis anacaroides	Tuckeroo	75L	6m	4m	1
Eucalyptus haemastoma *	Scribbly Gum	75L	15m	6m	1
Lagetroemia 'Tuscarora'	Tuscarora Crepe Myrtle	75L	5m	4m	1
Tristaniopsis laurina *	Water Gum	75L	12m	4m	1
Shrubs					
Alpinia zerumbet 'Variagata'	Variagated Shell Ginger	200mm	2m	1m	12
Buxus sempervirens	Boxwood	200mm	1m	1m	42
Cordyline fruticosa 'Rubra'	Red Ti plant	300mm	2m	1m	1
Doryanthes excelsa	Gymea Lily	45L	1.2m	1.2m	3
Emerophila nivea	Silky Emu Bush	200mm	1.5m	1.5m	1
Eriostemon myoporoides	Long Leaf Wax Flower	300mm	2m	2m	2
Gardenia thunbergia	Thunberg's Gardenia	300mm	2m	1m	10
Lavandula stoechas	Lavander	200mm	1.5m	1m	14
Polygala grandiflora	Milkwort	300mm	1.5m	1.5m	4
Rhaphiolepis 'Oriental Pearl'	Oriental Pearl Hawthorn	200mm	1m	1m	23
Syzygium australe 'Select'	Brush Cherry Select Form	300mm	2m	1m	5
Westringia 'Aussie Box'	Aussie Box Coast Rosemary	200mm	0.9m	0.9m	12
Palms / Ferns / Cycads					
Cycas revoluta	Sago Palm	45L	1.5m	1m	2
Groundcovers / Climbers					
Aspidistra elatior	Cast Iron Plant	200mm	1m	1m	17
Brachyscome multifida	Cut Leaf Daisy	200mm	0.3m	0.6m	20
Calathea zebrina	Zebra Plant	200mm	0.7m	0.7m	5
Cissus antarctica	Kangaroo Vine	140mm	0.1m	1m	26
Dianella caerulea	Flax Lily	140mm	0.7m	0.7m	21
Gaura lindheimeri	Butterfly Bush	200mm	1.2m	1m	5
Pennisetum 'Nafray'	Nafray Foxtail Grass	140mm	0.9m	0.9m	19
Philodendron 'Xanadu'	Xanadu Philodendron	200mm	0.9m	0.9m	13
Trachelospermum 'Tricolor'	Tricolor Jasmine	140mm	0.3m	1m	14
Viola hederacea	Native Violet	140mm	0.2m	0.5m	25

\* - Denotes selection to satisfy Council DCP part 2.13 - Landscaping



Decorative Screen/ Fence



Layered Planting



Patio Fireplace : 2-sided



Landscape steps



Driveway : Cobblestone



Paving : Stone Flagging



Stepping Stones



Steel Edge : Corten®



Eucalyptus haemastoma



Tristaniopsis laurina



Lagetroemia 'Tuscarora'



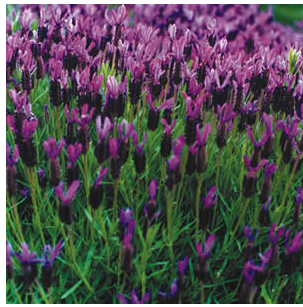
Cupaniopsis anacaroides



Alpinia zerumbet 'Variagata'



Buxus sempervirens



Lavandula



Westringia 'Aussie Box'



Rhaphiolepis 'Oriental Pearl'



Polygala myrtifolia



Philodendron 'Xanadu'



Trachelospermum

Matthew Higginson Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 02 9795 9440 m.higginson@mla.com.au

DEVELOPMENT APPLICATION

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Approved Plans  
LDA No. LDA2021/0362  
Date: 2 June 2022  
Council Officer: Holly Charalambous  
Subject to Conditions of Consent

issue	date	description
01	14.09.21	Prepared for Council
A	06.10.21	Amend to Comments: DA issue.
B	03.02.22	Amend to Comments: DA issue.

project  
10 Jennifer Street, Ryde NSW  
client  
Younes Property Pty Ltd

drawing title  
Schedule + Materials

scale	project no.	drawing no.	issue
1:1 @ A3	21898	LP22	B

north





City of Ryde

Approved Plans  
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Matthew Higginson Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhla@mhla.com.au

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A	06.10.21	Amend to comments. DA issue.
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project  
**10 Jennifer Street, Ryde NSW**

client  
Younes Property Pty Ltd

drawing title  
**Section A**

scale  
1:100 @ A3

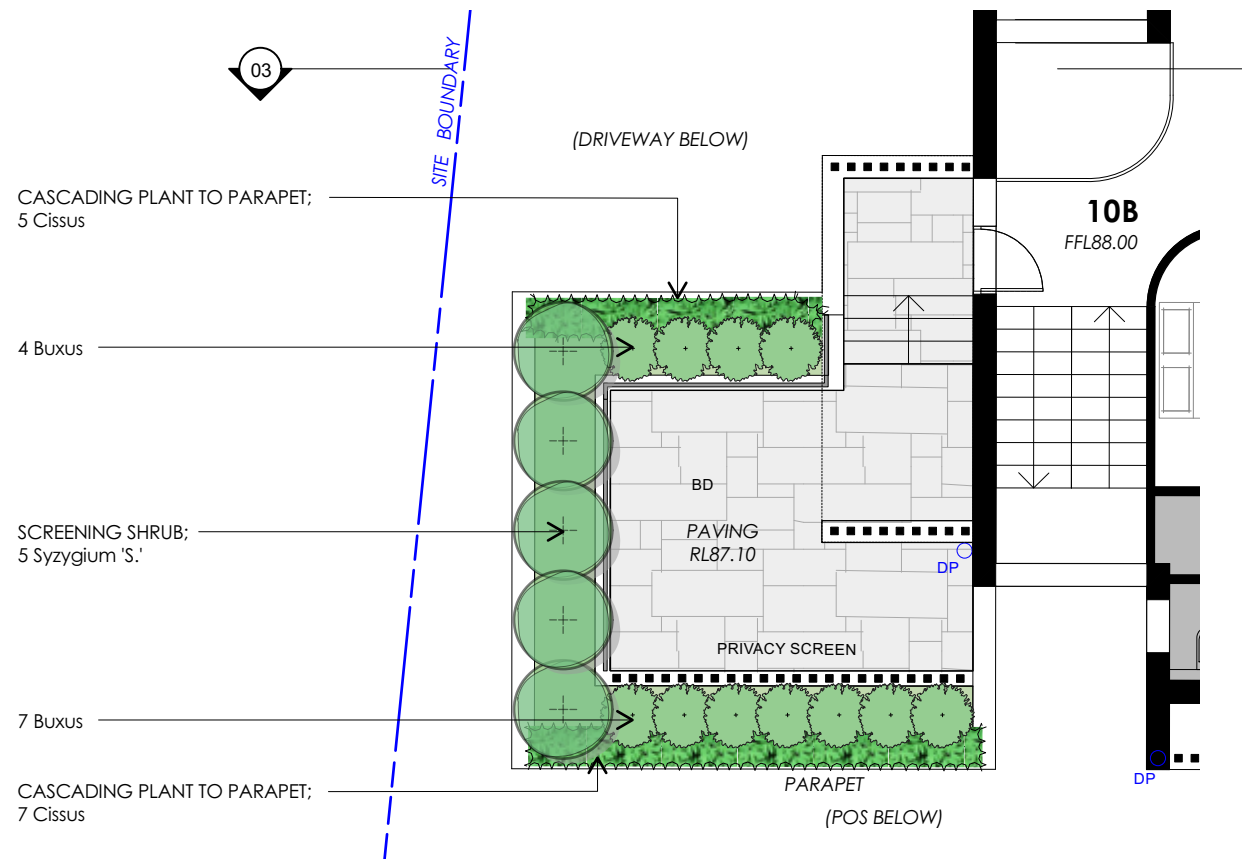
project no.  
21898

drawing no.  
LP23

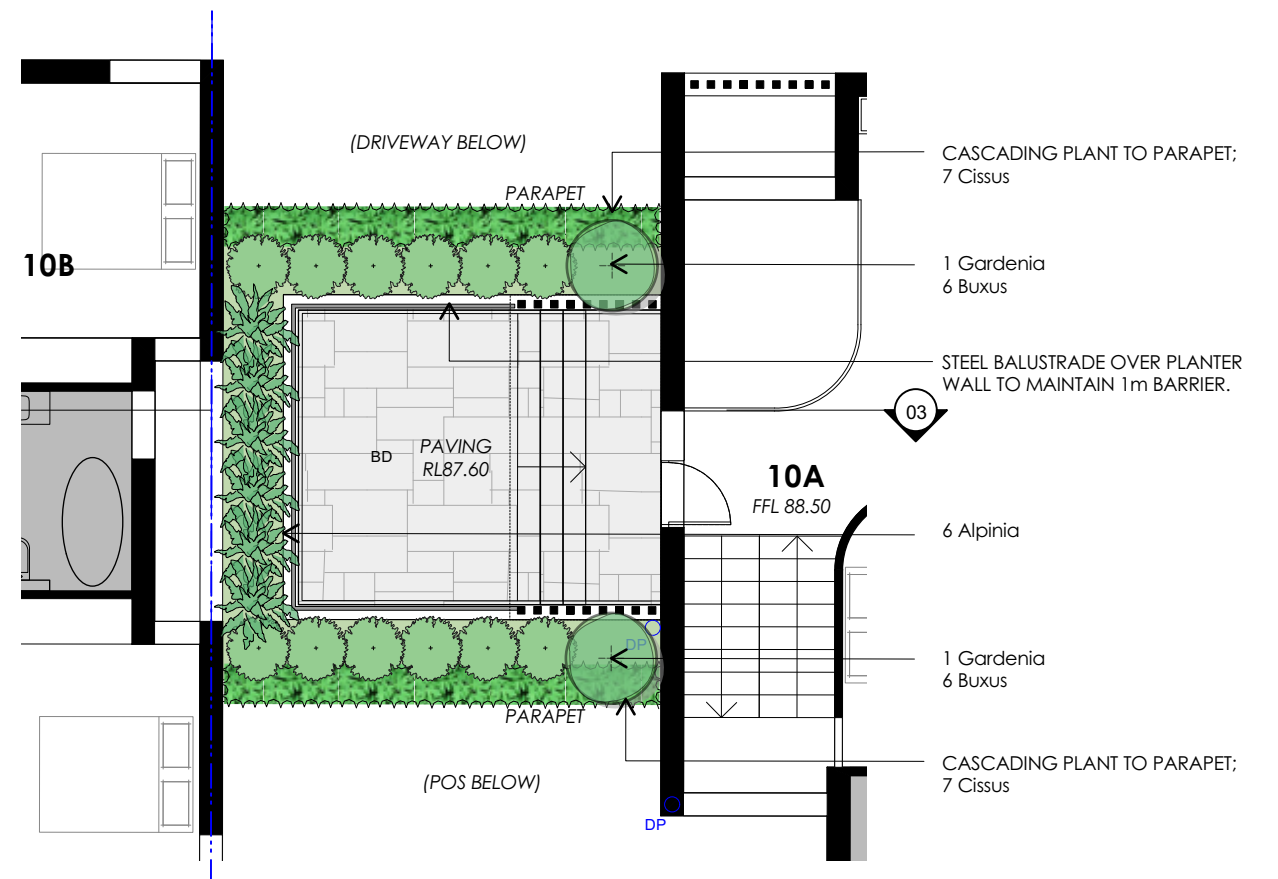
issue  
B

north

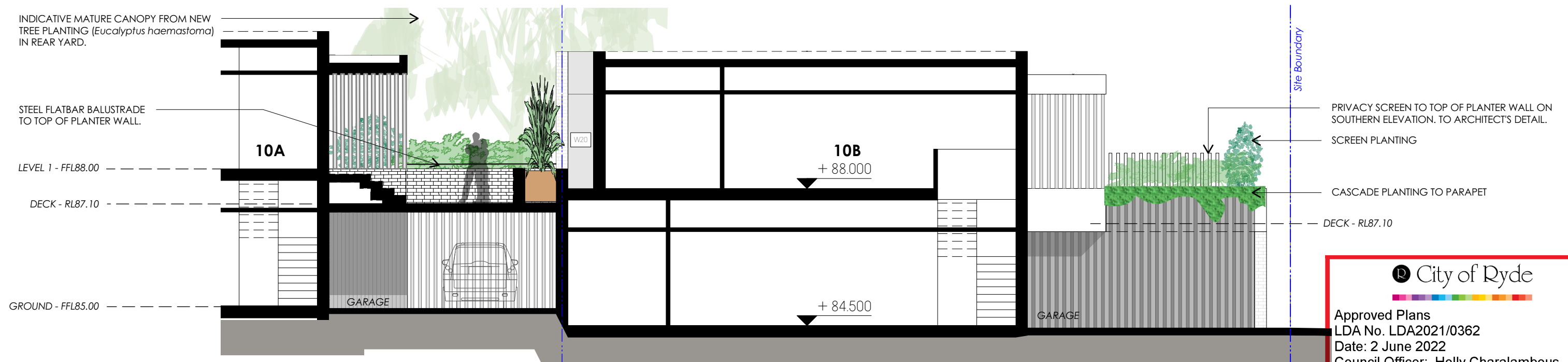




01 Plan : 10B Balcony  
Scale: 1:100



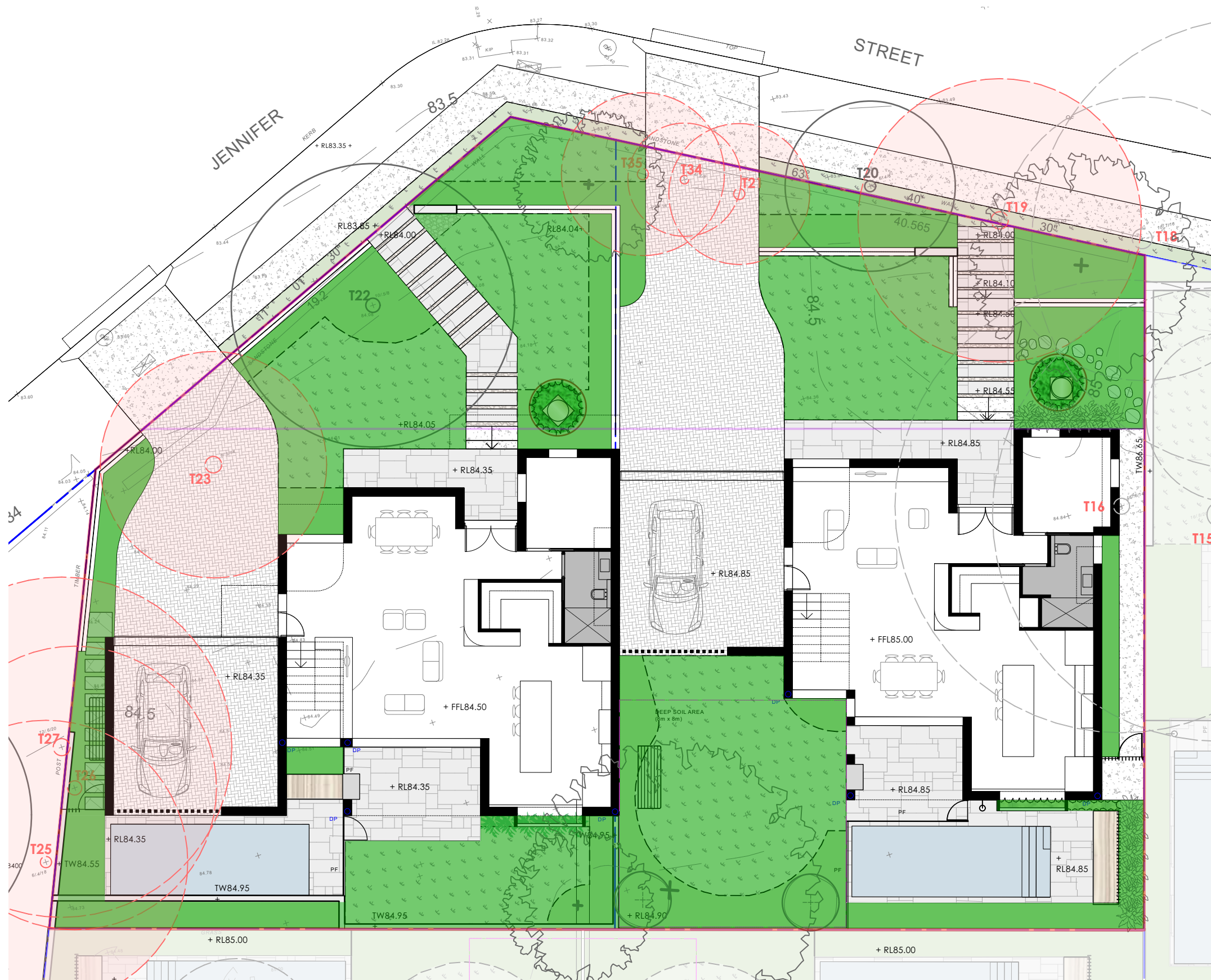
02 Plan : 10A Balcony  
Scale: 1:100



03 Section : 10A/ 10B Balcony  
Scale: 1:100

**City of Ryde**  
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**SITE AREA** = 927.40m<sup>2</sup>

**LANDSCAPE:**

Deep Soil = 324.59m<sup>2</sup> (35%; DA)

Design = **337.37m<sup>2</sup> (36%)**



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**Matthew Higginson** Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhl@mhla.com.au

DEVELOPMENT APPLICATION

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A	06.10.21	Amend to comments. DA issue.
B	03.02.22	Amend to comments. DA issue.

project  
**10 Jennifer Street, Ryde NSW**

client  
Younes Property Pty Ltd

drawing title  
**Calculations Diagram**

scale	project no.	drawing no.	issue
1:150 @ A3	21898	LP25	B







Development Engineering Service

Approved Engineering Plans

Application Number:LDA2021/362

Council Officer:HJ

Date: 24/2/21

# STORMWATER MANAGEMENT PLAN

## PROPOSED DUAL OCCUPANCY

### No.10 JENNIFER STREET, RYDE



Approved Plans

LDA No. LDA2021/0362

Date: 2 June 2022

Council Officer: Holly Charalambous

Subject to Conditions of Consent

#### GENERAL NOTES:

- THESE PLANS REMAIN THE PROPERTY OF NY CIVIL ENGINEERING PTY LTD AND ARE SUBJECT TO COPYRIGHT
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. ALL REDUCED LEVELS (SURFACE LEVELS, INVERT LEVELS) AND CHAINAGES ARE IN METERS UNLESS OTHERWISE STATED. DO NOT SCALE OFF THE DRAWINGS, SCALES ARE AS SHOWN, USE FIGURED DIMENSIONS.
- THIS PLAN IS TO BE READ IN JUNCTION WITH LATEST ARCHITECTURAL, STRUCTURAL, UTILITY AND LANDSCAPE PLANS IN ADDITION TO ANY RELEVANT GEOTECHNICAL, SOIL CLASSIFICATION OR REF/ENVIRONMENTAL REPORTS. ENGINEER IS TO BE NOTIFIED OF ANY DISCREPANCIES QUOTED ON THIS PLAN.
- ALL WORKS SHALL BE CARRIED OUT TO LOCAL COUNCIL'S DEVELOPMENT CONTROL PLAN AND SPECIFICATIONS, AS/NZS 3500.3 AND B.C.A.
- ALL LEVELS SHALL RELATE TO THE ESTABLISHED BM, PM AND/OR LM. ALL EXISTING SERVICES ARE TO BE VERIFIED FOR LOCATION AND DEPTH PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR TO NOIFY DESIGNER OF ANY DISCREPANCIES OF SERVICE LEVELS QUOTED ON THIS PLAN. ALL SURVEY INFORMATION, BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF WORKS. NO TREES SHALL BE REMOVED WITHOUT THE WRITTEN PERMISSION OF COUNCIL.
- THE CONTRACTOR SHALL TAKE ALL DUE CARE TO USE THE ABSOLUTE MINIMUM AREA FOR CONSTRUCTION AND THAT NO UNDUE DAMAGE IS DONE TO THE EXISTING VEGETATION.
- THE CONTRACTOR SHALL COMPLY WITH CONDITIONS, AND SPECIFICATION OF COUNCIL AND ALL ACTS OF THE NSW EPA.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE CARE TO PROTECT EXISTING SERVICES. DAMAGED SERVICES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING WORK.
- SUITABLE WARNING SIGNS AND BARRICADES ARE TO BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AND AS DIRECTED BY THE RELEVANT AUTHORITY.
- SERVICES SHOWN ARE INDICATIVE ONLY FROM AVAILABLE INFORMATION AND THE TIME OF SITE INVESTIGATION (IF ANY). THE BUILDER IS TO NOTIFY ENGINEER OF ANY DISCREPANCIES QUOTED ON THIS PLAN.
- RESTORE ALL TRAFFIC AREAS TO PRE EXISTING CONDITION. FOR ALL SURFACES OTHER THAN IN TRAFFIC AREAS RESTORE DISTURBED SURFACES TO PRE-EXISTING CONDITION AND COMPACT AS SPECIFIED.
- RESTORE ALL AUTHORITY OWNED AREAS TO COUNCIL AND/OR AUTHORITY STANDARD AND SPECIFICATION.
- THE WORK AS CONSTRUCTED WORKS SHALL BE INSPECTED BY THE ENGINEER, MINIMUM 48 HOURS NOTICE SHALL BE PROVIDED FOR ALL INSPECTION REQUESTS.
- THE DESIGN PLANS HEREIN ARE SUBJECT TO COUNCIL APPROVAL PRIOR TO CONSTRUCTION.
- WORK AS CONSTRUCTED DRAWINGS TO BE REQUESTED AND RECEIVED IN CAD/DWG FILE TYPE AND HARD COPY 'RED LINE' MARKUP FROM CONSTRUCTOR FOR VERIFICATION AND CERTIFICATION.

#### ROOF STORMWATER DRAINAGE NOTES:

- ALL DOWN PIPES TO BE MINIMUM DN90 OR 100x50MM FOR GUTTERS SLOPE 1:500 AND STEEPER AS PER AS 3500.3 - 3.7.8
- ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3.
- ALL DOWNPIPES TO BE FITTED VERTICALLY TO THE SOLE OF EAVES GUTTERS, RAINHEAD AND/OR SUMP.
- ALL DOWNPIPES TO DRAIN INTO RAINWATER TANK AND OR PIT PRIOR TO DISCHARGE OFFSITE UNLESS PRIOR APPROVAL IS OBTAINED FROM COUNCIL IN WRITING OR NOTED OTHERWISE ON THIS PLAN.
- ALL EAVES GUTTERS TO BE SIZED FOR ARI 20 - AS PER AS 3500.3 - 3.5 AND APPENDIX H.
- ROOF DRAINAGE INSTALLATION TO BE IN ACCORDANCE TO AS 3500.3 SECTION 4.

#### STORMWATER DRAINAGE NOTES:

##### PIPE SIZE:

- THE MINIMUM PIPE SIZE SHALL BE:
  - DN90 FOR ALL DOWNPIPES;
  - DN100 WHERE THE LINE ONLY RECEIVES ROOF STORMWATER RUNOFF, OR;
  - DN100 WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS.

##### PIPE GRADE:

- THE MINIMUM PIPE GRADE SHALL BE:
  - FOR DN100 - DN150 - 1.00%
  - FOR DN225 - 0.50%
  - FOR DN300 - 0.45%
  - FOR DN375 - 0.35%

##### STANDARD COVER:

- MINIMUM PIPE COVER FOR PVC PIPES SHALL BE AS PER AS 3500.3 TABLE 6.2.5:
  - NOT SUBJECT TO VEHICULAR LOADING:
    - WITHOUT PAVEMENT SINGLE DWELLINGS - 100mm
    - WITHOUT PAVEMENT OTHER THAN SINGLE DWELLINGS - 300mm
    - WITH PAVEMENT (BRICK/PAVERS) AND/OR UNREINFORCED CONCRETE - 100mm
  - SUBJECT TO VEHICULAR LOADING:
    - ROADS (SEALED) - 600mm
    - ROADS (UNSEALED) - 750mm
    - OTHER THAN ROADS (WITH PAVEMENT) - 100mm
    - OTHER THAN ROADS (WITHOUT PAVEMENT) - 450mm

##### PIPE INSTALLATION

- PIPES AND FITTINGS FOR STORMWATER DRAINAGE SHALL BE AS FOLLOWS:
  - FOR PIPE SIZES UP TO DN225 - PVC WITH SOLVENT WELDED JOINTS (IN GROUND).
  - FOR PIPE SIZES GREATER THAN DN225 - RCP WITH RUBBER RING JOINTS.
  - FOR LARGER PIPE DEPTHS AS SPECIFIED IN AS 3500.3 - RCP WITH RUBBER RING JOINTS.
  - FOR PIPES AND FITTINGS FOR SUBSOIL DRAINAGE SHALL BE SLOTTED PVS WITH SOLVENT WELDED JOINTS MINIMUM DN150.
- FOR GRATED DRAINS SHALL BE MINIMUM DN150 IN NON-TRAFFICABLE ZONES AND DN225 IN TRAFFICABLE ZONES.
- LAY AND JOINT ALL PIPES IN ACCORDANCE WITH THE MANUFACTURING RECOMMENDATIONS AND:
  - AS 3725-1989 - LOADS ON BURIED CONCRETE PIPES
  - AS 2566 - 1988 - BURIED FLEXIBLE PIPELINES
  - AS 1597.2 - 1996 - PRECAST REINFORCED CONCRETE BOX CULVERTS
  - AS 3500 - 1990 NATIONAL PLUMBING AND DRAINAGE CODE - PART 2 SANITARY PLUMBING AND SANITARY DRAINAGE - SYDNEY WATER REQUIREMENTS.
- ALLOW TO TEST ALL PIPES AND PITS TO MANUFACTURERS REQUIREMENTS.

##### CONNECTIONS TO STORMWATER SYSTEMS UNDER BUILDINGS:

IN ACCORDANCE WITH AS 3500.3 SECTION 9.2

##### CONNECTIONS TO COUNCIL STORMWATER SYSTEMS:

CONNECTION TO COUNCIL STORMWATER SYSTEM TO BE IN ACCORDANCE TO LOCAL COUNCIL DCP AND STANDARDS. NO CONNECTIONS TO BE MADE UNTIL PROPER PERMIT/APPROVALS ARE OBTAINED FROM LOCAL COUNCIL IN WRITING.

##### WARNING:

EXISTING SERVICES SHOWN ON THESE PLANS ARE NOT GUARANTEED COMPLETE OR CORRECT AND FURTHER INFORMATION IS REQUIRED FROM THE RELEVANT AUTHORITY AND FIELD INVESTIGATION AND ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

#### LEGEND

SURFACE INLET PIT		GRADED TRENCH DRAIN	
SURFACE INLET PIT (WITH ENVIROPOD 200 MICRON)		ABSORPTION TRENCH	
ACCESS GRATE (WITH GROSS POLLUTANT TRAP)		PROPOSED ROOF GUTTER FALL	
450 SQUARE INTERVAL	450 X 450	PROPOSED DOWNPIPE SPREADER	
GRATE LEVEL = 75.50	SL 75.50	STORMWATER PIPE 100mm DIA. MIN. UNO	
INVERT LEVEL = RL 75.20	IL 75.20	SUBSOIL PIPE	
PROPOSED DOWNPIPE 90mm DIA. OR 100mm x 50mm MIN.		EXISTING STORMWATER PIPE	
NATURAL GROUND FINISHED DESIGN LEVEL	×	INSPECTION RISER	
		RAINWATER HEAD	

#### STORMWATER PIT/STRUCTURES NOTES:

##### PIT SIZES AND DEPTHS:

- PIT SIZES WILL BE AS FOLLOWS:

DEPTH (mm)	MIN. PIT SIZE (mm)
UP TO 450	350x350
450 - 600	450x450
600 - 900	600x600
900 - 1200	600x900
1200+	900x900 (WITH STEP IRONS)

##### PIT DESIGNS:

- TRENCH DRAINS:** CONTINUOUS TRENCH DRAINS ARE TO BE MIN. DN150 AND MIN. 100mm DEPTH. THE BARS OF THE GRATE ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.
- STEP IRONS:** PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS 1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.
- PLASTIC/PVC PITS:** PVC PITS WILL ONLY BE PERMITTED IF THEY ARE MAX. 450x450 AND MAX. 450mm DEPTH AS WELL AS BEING HEAVY DUTY.
- IN-SITU PITS:** IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF CLAUSE 4.6.3 OF AS 3500.4. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.
- GRATES:** GRATES ARE TO BE GALVANIZED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

##### INSTALLATION NOTES:

- ALL PIPES INTO PITS TO BE CUT FLUSH WITH PIT WALL.
- ALL PITS THAT ARE INSTALLED AT GREATER THAN 600mm DEEP TO BE MIN. 600x600 PIT.
- GRATED COVERS ON PITS GREATER THAN 600mm TO BE HINGED.
- BASE OF PIT TO BE SAME LEVEL OF INVERT OF OUTLET.
- OUTLET PIPE FROM ANY PIT TO BE 20mm LOWER THAN INLET PIPE/S



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REVISION	DRAWN	DESCRIPTION	DATE
A	MR	ISSUED FOR DA	29.09.2021
B	YR	DRAINAGE MODIFIED FOR TREE	01.02.2022

#### DETAILS, NOTES & LEGEND

PROJECT TITLE  
PROPOSED DUAL OCCUPANCY  
No.10 JENNIFER STREET  
RYDE

SHEET SIZE	A3
DESIGNED	NZ
CHECKED	NZ
ISSUE	B
SCALE	-

JOB REFERENCE	E210095
DRAWING No.	D1
No. IN SET	9



AREA CALCULATIONS		
TOTAL SITE AREA	927.0	m <sup>2</sup>
EXISTING DEVELOPMENT		
ROOF AREA	00.0	m <sup>2</sup>
PAVED AREA	00	m <sup>2</sup>
DRIVEWAY AREA	0.0	m <sup>2</sup>
IMPERVIOUS AREA		m <sup>2</sup>
TOTAL IMPERVIOUS AREA PERCENTAGE		
PROPOSED DEVELOPMENT		
PROPOSED ROOF AREA	375.1	m <sup>2</sup>
PROPOSED PAVED AREA	35.9	m <sup>2</sup>
PROPOSED DRIVEWAY AREA	108.2	m <sup>2</sup>
TOTAL IMPERVIOUS AREA	519.2	m <sup>2</sup>
TOTAL IMPERVIOUS AREA PERCENTAGE		

**NOTE:** ENSURE ANY PROPOSED PAVING IS GRADED SO THAT IT IS NOT IMPACTING ADJOINING PROPERTIES.

**INSPECTION RISER (IR)**  
PROVIDE 'SCREW CAP' INSPECTION RISER AT LOWEST POINT OF 'CHARGED LINES'

#### DRAINAGE PIPE LEGEND

- EXISTING STORMWATER PIPE
- DRAINAGE PIPES TO RAINWATER TANK
- DRAINAGE PIPES VIA GRAVITY
- CHARGED DRAINAGE PIPES

**NOTE: ALL IN GROUND PIPES TO BE 100mm DIA PVC UNO**

#### OSD WARRANT

LGA: RYDE COUNCIL  
SOURCE: STORMWATER MANAGEMENT TECHNICAL GUIDELINES  
"ANY NEW DEVELOPMENT THAT EXCEEDS 35% SITE COVER WILL REQUIRE OSD"

- SITE AREA 927 m<sup>2</sup>
- PRE-DEV IMPERVIOUS AREA 0 m<sup>2</sup> (0%)
- POST-DEV IMPERVIOUS AREA 519 m<sup>2</sup> (56.01%)
- TOTAL SITE COVER > 35%

#### THEREFORE OSD REQUIRED

NOTE: "WHERE A RAINWATER STORAGE TANK IS INCORPORATED INTO A STORMWATER DRAINAGE SYSTEM...ON-SITE DETENTION STORAGE MAY BE REDUCED BY AN EQUAL AMOUNT"

- OSD VOLUME FROM SPREADSHEET PER DWELLING 7.53m<sup>3</sup>
- RAINWATER REUSE FROM BASIX PER DWELLING 2.0m<sup>3</sup>
- ADDITIONAL RAINWATER REUSE PER DWELLING 0m<sup>3</sup>

**THEREFORE PROVIDE 7.58m<sup>3</sup> OSD STORAGE PER DWELLING**

#### BELOW GROUND OSD TANK

- SURFACE LEVEL RL 84.10
- T.W.L RL 83.90
- INVERT LEVEL RL 83.30
- SURFACE AREA 14.40m<sup>2</sup>
- AVERAGE DEPTH 0.527m
- OSD VOLUME 7.58m<sup>3</sup>

#### BELOW GROUND OSD TANK

- SURFACE LEVEL RL 84.60
- T.W.L RL 84.40
- INVERT LEVEL RL 83.80
- SURFACE AREA 14.40m<sup>2</sup>
- AVERAGE DEPTH 0.527m
- OSD VOLUME 7.58m<sup>3</sup>

City of Ryde

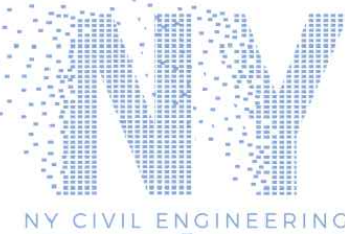
Approved Plans  
LDA No. LDA2021/0362  
Date: 2 June 2022  
Council Officer: Holly Charalambous  
Subject to Conditions of Consent



City of Ryde

Development Engineering Service  
Approved Engineering Plans

Application Number: LDA2021/362  
Council Officer: HJ  
Date: 24/2/21



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*[Signature]*

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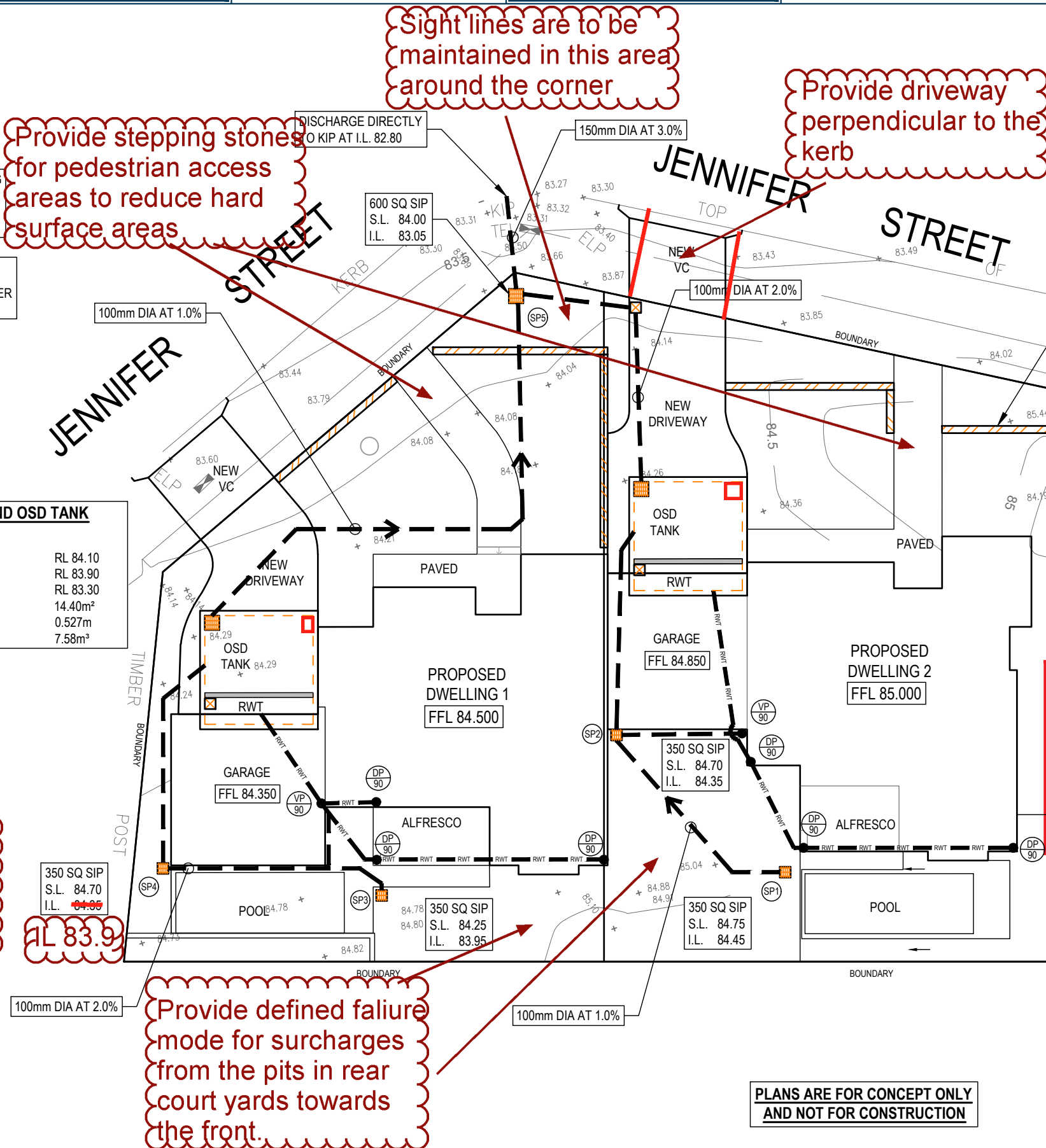
APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE
NADER ZAKI	A	MR	ISSUED FOR DA	29.09.2021
MIEAust CPEng NER	B	YR	DRAINAGE MODIFIED FOR TREE	01.02.2022

## STORMWATER MANAGEMENT PLAN

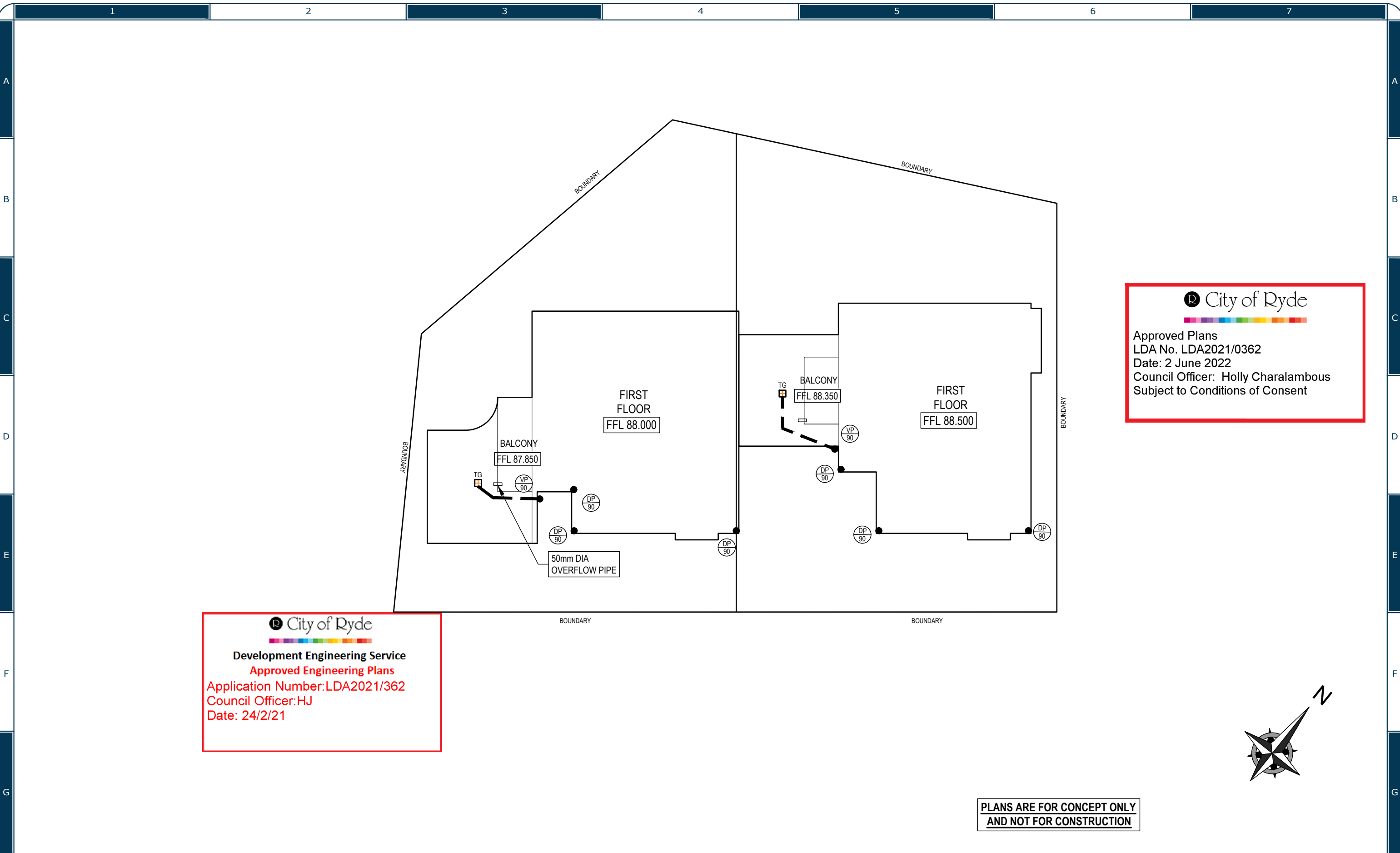
PROJECT TITLE  
PROPOSED DUAL OCCUPANCY  
No.10 JENNIFER STREET  
RYDE


SHEET SIZE	A3
DESIGNED	NZ
CHECKED	NZ
ISSUE	B
SCALE	1:200


JOB REFERENCE	E210095
DRAWING No.	D2
No. IN SET	9



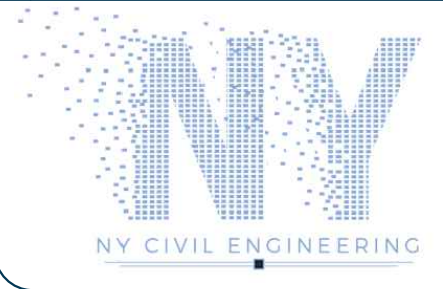
PLANS ARE FOR CONCEPT ONLY  
AND NOT FOR CONSTRUCTION




  
**Development Engineering Service**  
**Approved Engineering Plans**  
Application Number: LDA2021/362  
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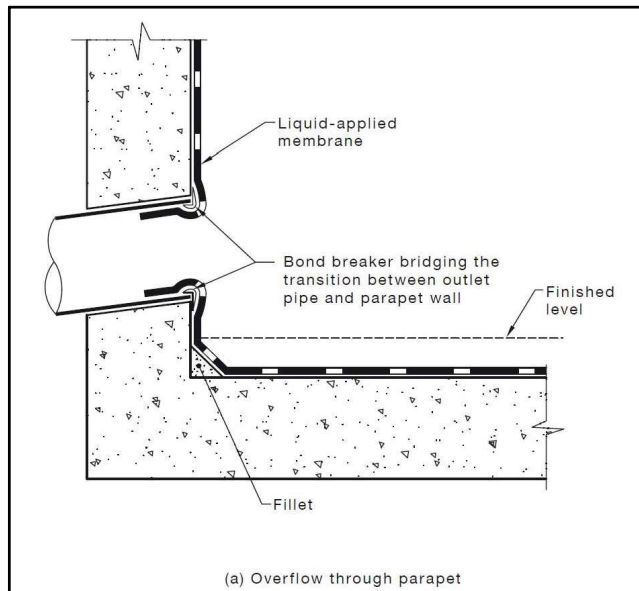


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	B	YR	DRAINAGE MODIFIED FOR TREE	01.02.2022
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DRAWING TITLE
STORMWATER MANAGEMENT FIRST FLOOR
PROJECT TITLE
PROPOSED DUAL OCCUPANCY No.10 JENNIFER STREET RYDE

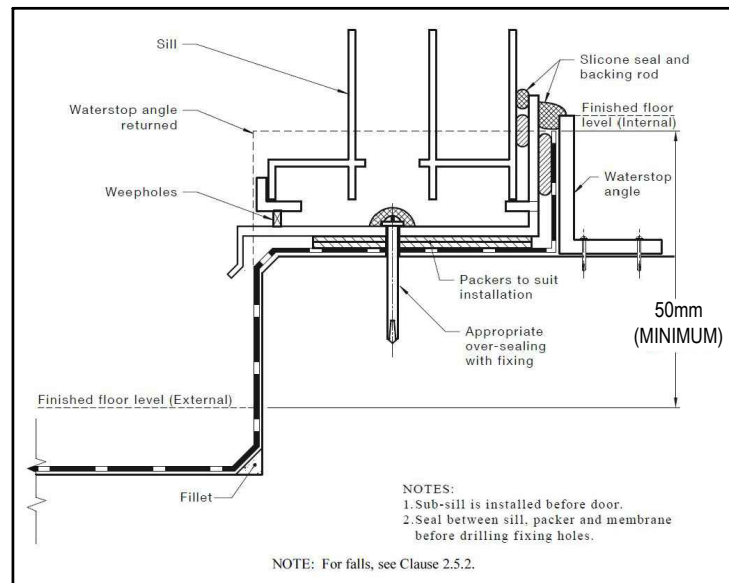
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DESIGNED	NZ	DRAWING No.	D3
CHECKED	NZ	No. IN SET	9
ISSUE	B		
SCALE	1:200		





### BALCONY PARAPET OVERFLOW - AS4654.2

NTS



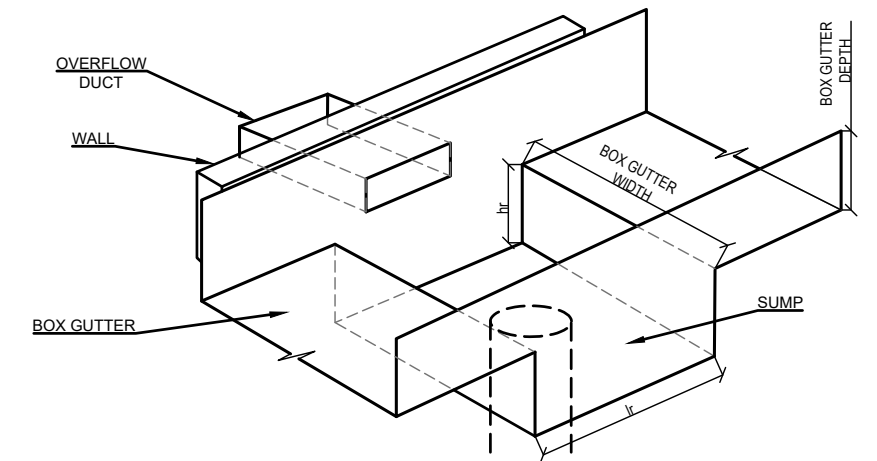
### BALCONY MEMBRANE TERMINATION - AS4654.2

NTS

DIMENSIONS (mm)	
	BOX GUTTER #1
CATCHMENT AREA TO DOWNPIPE	55m <sup>2</sup>
WIDTH OF BOX GUTTER	300
DEPTH OF BOX GUTTER	126
SLOPE OF BOX GUTTER	1:200
SUMP WIDTH	300
SUMP LENGTH (lr)	400
SUMP DEPTH (hr)	90
OVERFLOW WIDTH	200
OVERFLOW DEPTH	707
DOWNPIPE DIA	90
ROOF DRAINAGE DESIGNED FOR 100 YEAR ARI STORM EVENT (I = 237 mm/hr)	

#### LEGEND:

DP	- DOWNPIPE TO RWT
VP	- VERTICAL PIPE <b>NOT TO RWT</b>
HP	- HIGH POINT OF GUTTER



#### SUMP DETAIL NTS

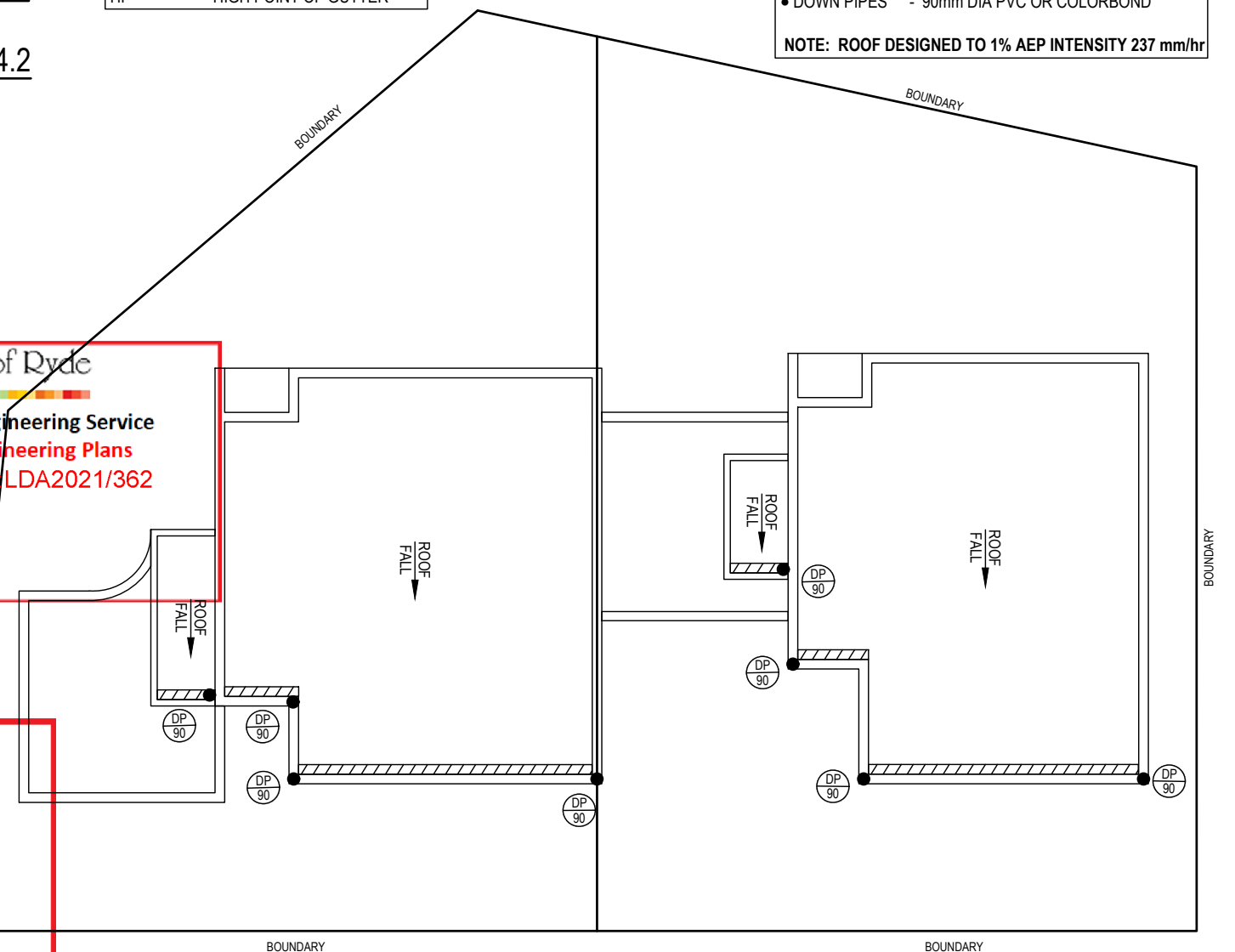
ROOF DRAINAGE	
• GUTTERING	- BOX GUTTER 126 DEEP x 300 WIDE
• DOWN PIPES	- 90mm DIA PVC OR COLORBOND
NOTE: ROOF DESIGNED TO 1% AEP INTENSITY 237 mm/hr	

AS3500.3:2021 BOX GUTTER REQUIREMENTS				
MATERIALS	BASE METAL THICKNESS (mm)	MAXIMUM LENGTH BETWEEN EXPANSION JOINTS (m)		MINIMUM EXPANSION SPACE (mm)
		ONE END FIXED AND ONE END FREE TO MOVE	BOTH ENDS FREE TO MOVE	
ALUMINIUM	0.90	12	24	50
	1.00	12	24	
COPPER	0.60	9	18	50
	0.80	15	30	
STEEL	0.55	20	40	50
	0.75	25	50	
STAINLESS STEEL	0.55	20	40	50
PVC		10	20	30
ZINC	0.80	10	20	50
<b>LAP JOINTS:</b> FOR METAL GUTTERS WITH LAPS BETWEEN 20 mm TO 25 mm THE LAP SHALL BE FULLY SEALED. WIDER LAPS SHALL BE SEALED AND FASTENED AT EACH END OF THE LAP RATHER THAN FILLING THE TOTAL AREA.				
<b>GRADIENTS:</b> GRADIENTS SHALL BE NOT FLATTER THAN 1:200 FOR SOLE WIDTHS EQUAL TO OR LESS THAN 600 mm WIDE. DEVIATIONS FROM THESE GRADIENTS SHALL BE SMOOTH AND NOT CAUSE PERMANENT PONDING.				
<b>OUTLETS:</b> OUTLETS SHALL DISCHARGE THROUGH EITHER A RAINHEAD OR A SUMP.				

**PLANS ARE FOR CONCEPT ONLY  
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**City of Ryde**  
Development Engineering Service  
Approved Engineering Plans  
Application Number LDA2021/362  
Council Officer: HJ  
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**City of Ryde**  
Approved Plans  
LDA No. LDA2021/0362  
Date: 2 June 2022  
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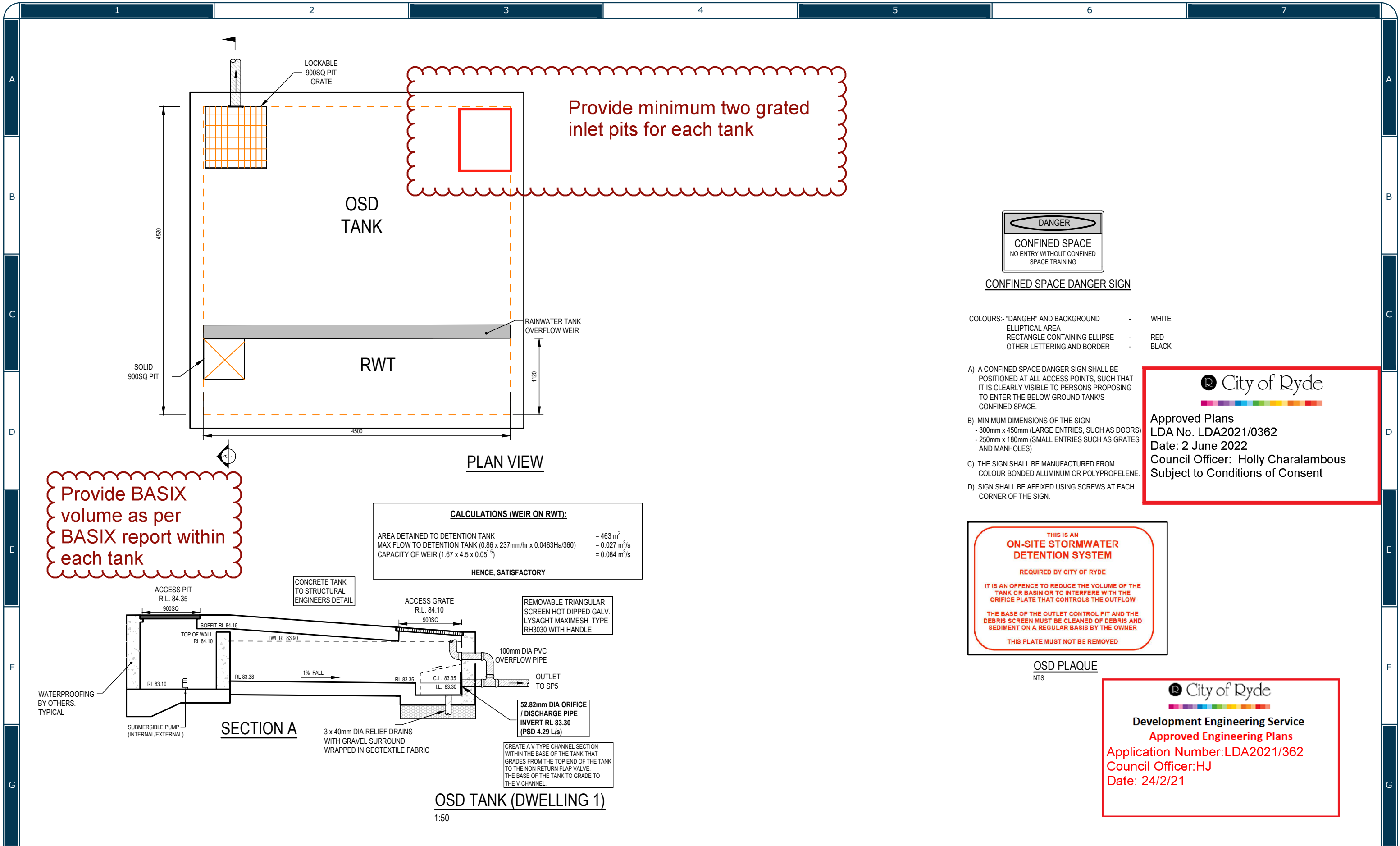
REVISION	DRAWN	DESCRIPTION	DATE
A	MR	ISSUED FOR DA	29.09.2021
B	YR	DRAINAGE MODIFIED FOR TREE	01.02.2022

DRAWING TITLE  
**STORMWATER MANAGEMENT  
ROOF PLAN**  
PROJECT TITLE  
**PROPOSED DUAL OCCUPANCY  
No.10 JENNIFER STREET  
RYDE**

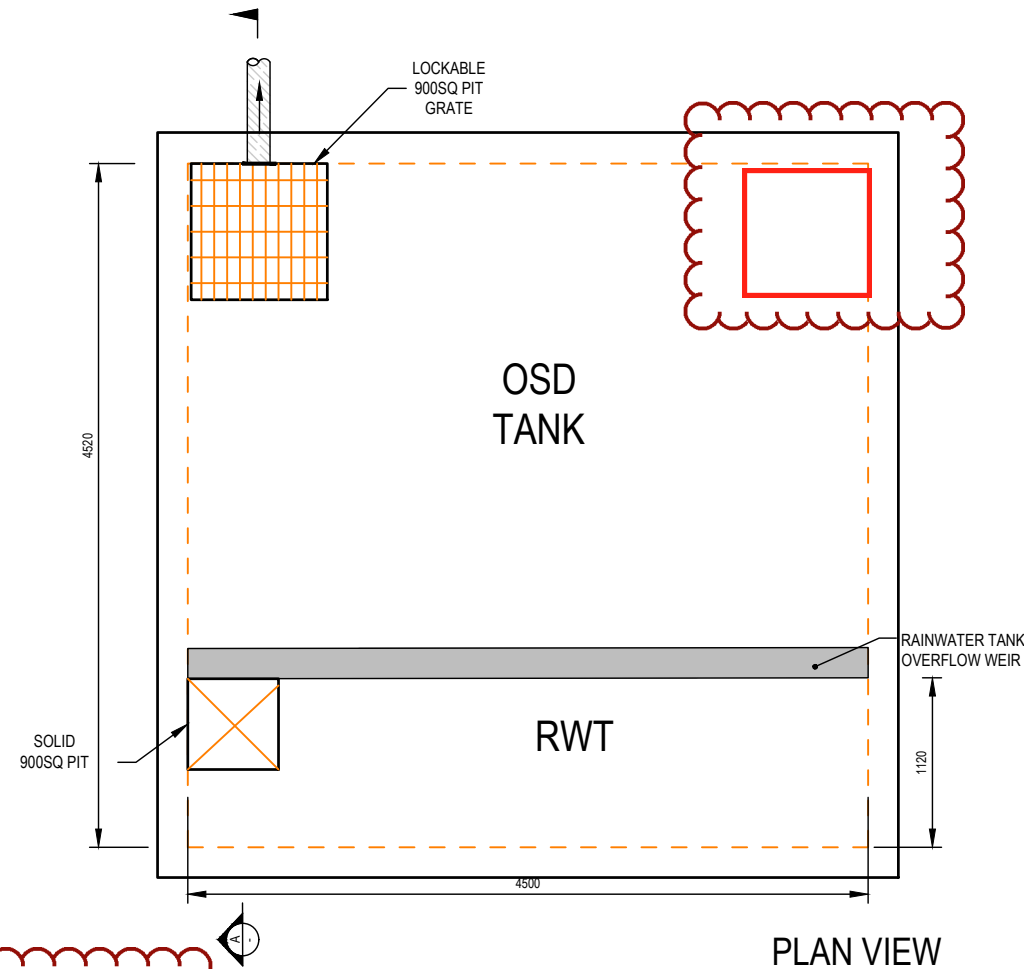
SHEET SIZE	A3	JOB REFERENCE	E210095
DESIGNED	NZ	DRAWING No.	D4
CHECKED	NZ	No. IN SET	9
ISSUE	B		
SCALE	1:200		







APPROVED BY		REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE		SHEET SIZE	A3	JOB REFERENCE
NADER ZAKI		A	MR	ISSUED FOR DA	29.09.2021	STORMWATER DETAILS		DESIGNED	NZ	E210095
MIEAust CPEng NER		B	YR	DRAINAGE MODIFIED FOR TREE	01.02.2022			CHECKED	NZ	DRAWING No. D6
						PROJECT TITLE		ISSUE	B	No. IN SET
								SCALE	AS NOTED	9
						PROPOSED DUAL OCCUPANCY				
						No.10 JENNIFER STREET				
						RYDE				



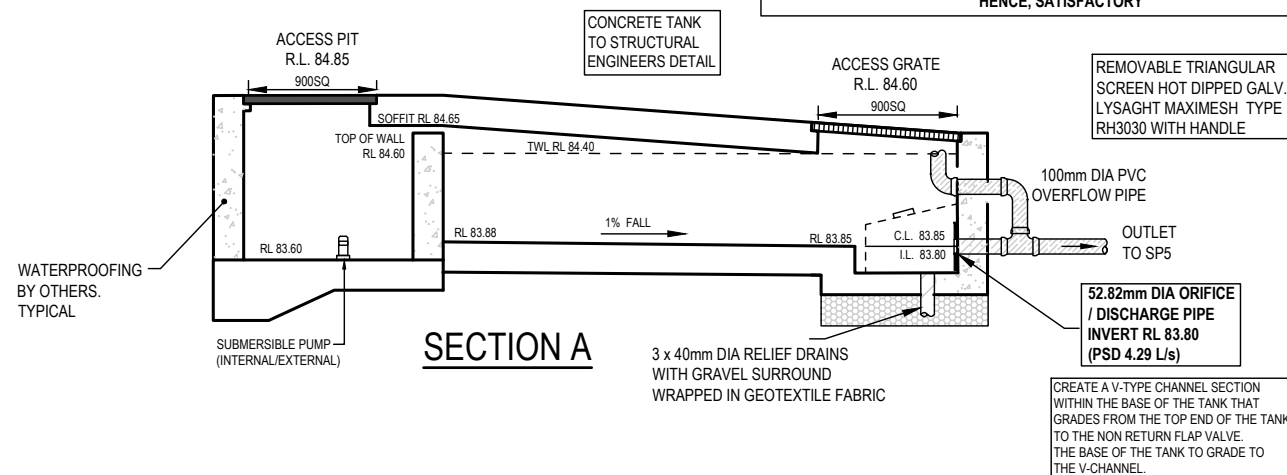
PLAN VIEW

Provide BASIX volume as per BASIX report within each tank

**CALCULATIONS (WEIR ON RWT):**

AREA DETAINED TO DETENTION TANK = 463 m<sup>2</sup>  
 MAX FLOW TO DETENTION TANK (0.86 x 237mm/hr x 0.0463Ha/360) = 0.027 m<sup>3</sup>/s  
 CAPACITY OF WEIR (1.67 x 4.5 x 0.05<sup>1.5</sup>) = 0.084 m<sup>3</sup>/s

HENCE, SATISFACTORY



OSD TANK (DWELLING 2)

1:50



CONFINED SPACE DANGER SIGN

COLOURS:- "DANGER" AND BACKGROUND - WHITE  
 ELLIPTICAL AREA - RED  
 RECTANGLE CONTAINING ELLIPSE - RED  
 OTHER LETTERING AND BORDER - BLACK

- A) A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANK/S CONFINED SPACE.
- B) MINIMUM DIMENSIONS OF THE SIGN  
 - 300mm x 450mm (LARGE ENTRIES, SUCH AS DOORS)  
 - 250mm x 180mm (SMALL ENTRIES SUCH AS GRATES AND MANHOLES)
- C) THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINUM OR POLYPROPELENE.
- D) SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN.

**THIS IS AN ON-SITE STORMWATER DETENTION SYSTEM**

REQUIRED BY CITY OF RYDE

IT IS AN OFFENCE TO REDUCE THE VOLUME OF THE TANK OR BASIN OR TO INTERFERE WITH THE ORIFICE PLATE THAT CONTROLS THE OUTFLOW

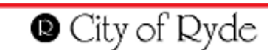
THE BASE OF THE OUTLET CONTROL PIT AND THE DEBRIS SCREEN MUST BE CLEANED OF DEBRIS AND SEDIMENT ON A REGULAR BASIS BY THE OWNER

THIS PLATE MUST NOT BE REMOVED

OSD PLAQUE  
NTS



Approved Plans  
 LDA No. LDA2021/0362  
 Date: 2 June 2022  
 Council Officer: Holly Charalambous  
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Development Engineering Service

Approved Engineering Plans

Application Number: LDA2021/362

Council Officer: HJ

Date: 24/2/21



APPROVED BY  
 NADER ZAKI  
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A	MR	ISSUED FOR DA	29.09.2021
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STORMWATER DETAILS

PROPOSED DUAL OCCUPANCY  
 No.10 JENNIFER STREET  
 RYDE

SHEET SIZE	A3	JOB REFERENCE	E210095
DESIGNED	NZ	DRAWING No.	D7
CHECKED	NZ	No. IN SET	9
ISSUE	B		
SCALE	AS NOTED		



#### DUST CONTROL:

• NOTE: DURING EXCAVATION, DEMOLITION AND CONSTRUCTION, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT DUST FROM AFFECTING THE AMENITY OF THE NEIGHBORHOOD.

THE FOLLOWING MEASURES MUST BE ADOPTED:

1. PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES TO PREVENT WIND DIRECTION OR SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND OR ACTIVITY FROM GENERATING DUST.
2. EARTHWORKS AND SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
3. ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
4. THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE BUT SHOULD NOT BE WET TO THE EXTENT THAT RUN-OFF OCCURS.
5. ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL AT ALL TIMES BE COVERED TO PREVENT THE ESCAPE OF DUST.
6. ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXISTING THE SITE USING MANUAL OR AUTOMATED SPRAYERS AND DRIVE - THROUGH WASHING BAYS.
7. GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS SHALL BE FITTED WITH SHADE CLOTH.
8. CLEANING OF FOOTPATHS AND ROADWAYS SHALL CARRIED OUT DAILY.
9. ALL BUILDERS REFUSE, SPOIL AND/OR MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE ON COMPLETION OF THE BUILDING WORKS.

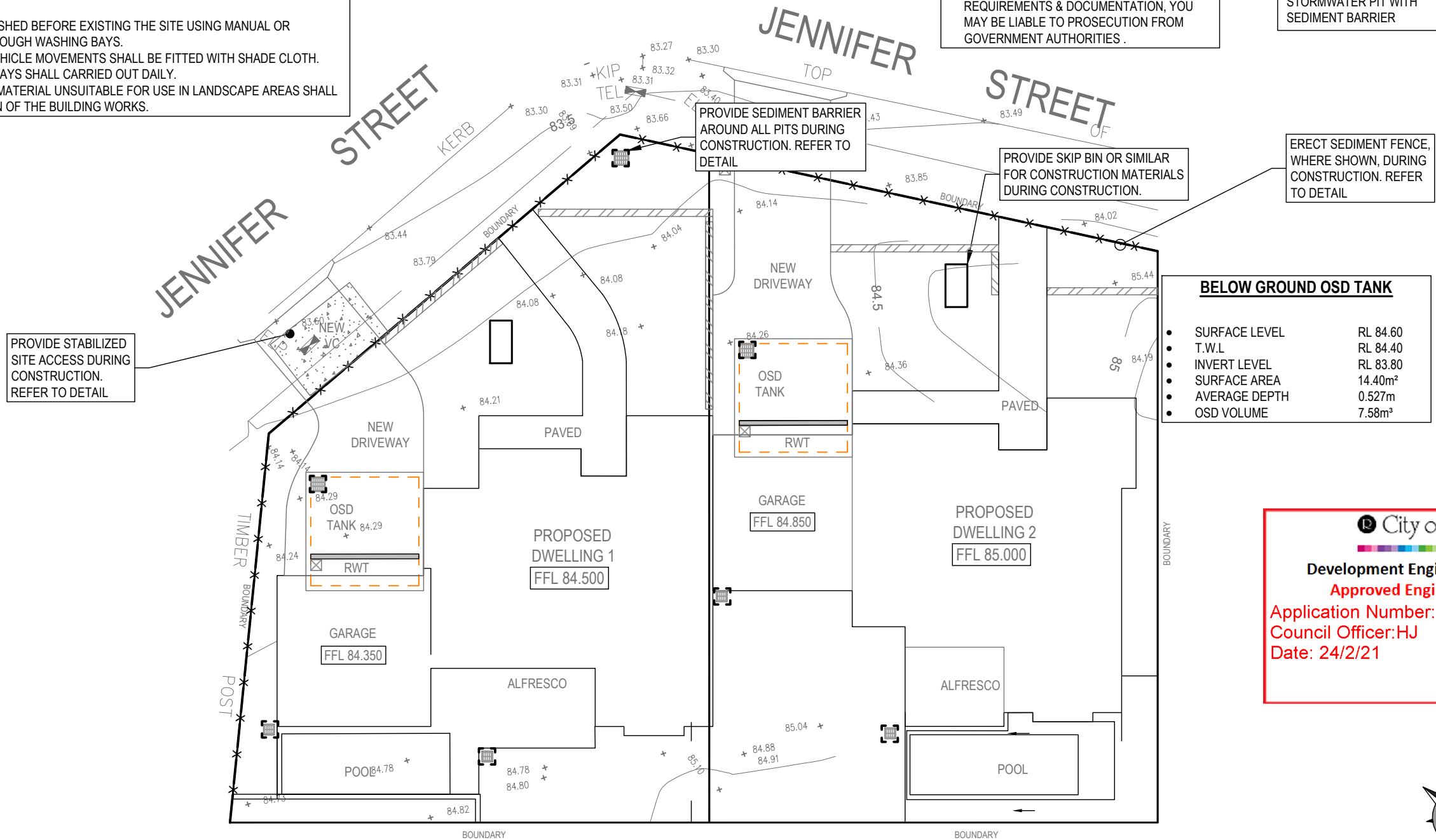
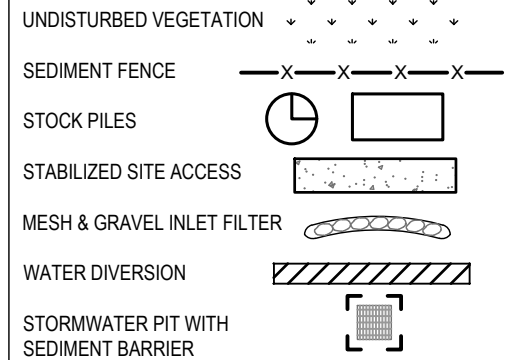


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#### NOTES:

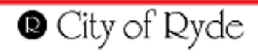
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
2. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
3. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
4. ROADS AND FOOTPATH TO BE SWEEPED DAILY AS REQUIRED BY COUNCIL.
5. IF YOU DO NOT COMPLY WITH COUNCIL REQUIREMENTS & DOCUMENTATION, YOU MAY BE LIABLE TO PROSECUTION FROM GOVERNMENT AUTHORITIES.

#### LEGEND:

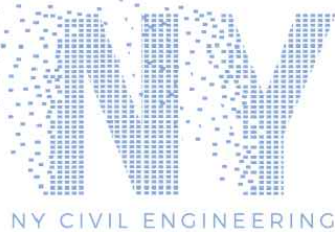
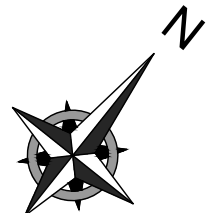


#### BELOW GROUND OSD TANK

• SURFACE LEVEL	RL 84.60
• T.W.L	RL 84.40
• INVERT LEVEL	RL 83.80
• SURFACE AREA	14.40m <sup>2</sup>
• AVERAGE DEPTH	0.527m
• OSD VOLUME	7.58m <sup>3</sup>



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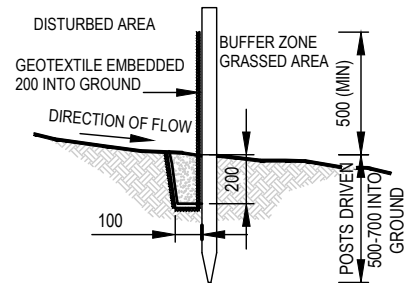
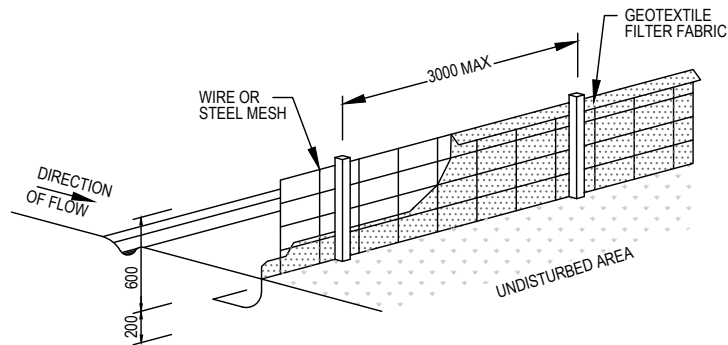
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REVISION	DRAWN	DESCRIPTION	DATE
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## SEDIMENT CONTROL PLAN

PROJECT TITLE  
PROPOSED DUAL OCCUPANCY  
No.10 JENNIFER STREET  
RYDE

SHEET SIZE	A3	JOB REFERENCE	E210095
DESIGNED	NZ	DRAWING No.	D8
CHECKED	NZ	No. IN SET	9
ISSUE	B		
SCALE	1:200		



## SEDIMENT FENCE DETAIL

NTS

### CONSTRUCTION NOTES:

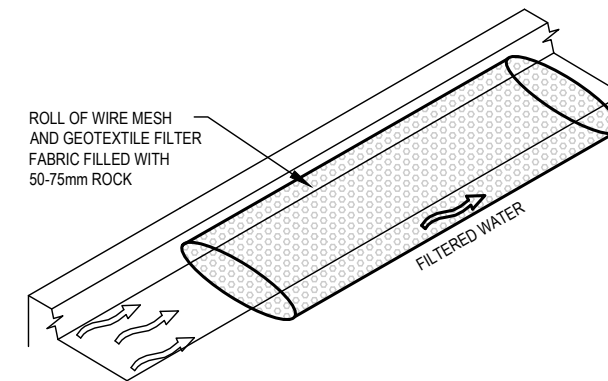
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



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Council Officer: HJ  
Date: 24/2/21

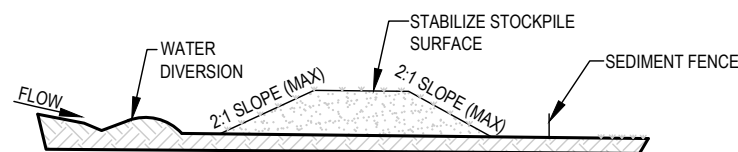


## MESH AND GRAVEL FILTER

NTS

### CONSTRUCTION NOTES:

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm(h) x 400mm(w).
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

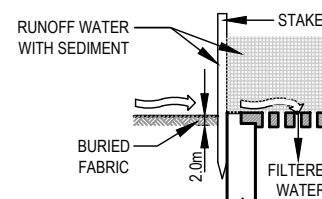


## STOCKPILE

NTS

### NOTE:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METERS FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METERS IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS (LOW FLOW) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METERS ON THE DOWNSLOPE.

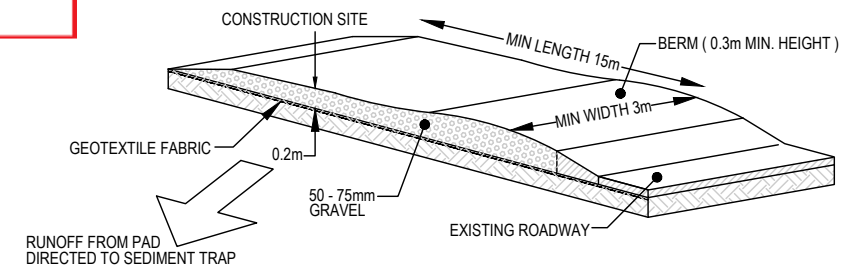


## SEDIMENT BARRIER AROUND PIT

NTS

### CONSTRUCTION NOTES:

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. FOLLOW STRAW FILTER AND SEDIMENT FENCE FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



## STABILIZED SITE ACCESS

NTS

### CONSTRUCTION NOTES:

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASED OR 30mm AGGREGATE
4. ENSURE THE STRUCTURE IS AT LEAST 15m LONG OR TO BUILD ALIGNMENT AND AT LEAST 3 METERS WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.



APPROVED BY  
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REVISION	DRAWN	DESCRIPTION	DATE
A	MR	ISSUED FOR DA	29.09.2021
B	YR	DRAINAGE MODIFIED FOR TREE	01.02.2022

## SEDIMENT CONTROL DETAILS

PROJECT TITLE  
PROPOSED DUAL OCCUPANCY  
No.10 JENNIFER STREET  
RYDE

SHEET SIZE	A3
DESIGNED	NZ
CHECKED	NZ
ISSUE	B
SCALE	AS NOTED

JOB REFERENCE	E210095
DRAWING No.	D9
No. IN SET	9