

EARTHWORKS

HOUSE:	FFL: R.L. 51.400
(LIVING LEVEL)	FGL: R.L. 51.000
GARAGE:	FFL: R.L. 51.057
	FGL: R.L. 50.732

LEGEND

	= SURFACE INLETS LINE
	= STORMWATER LINE

BASIX

= 267.20m² ROOF AREA TO DISCHARGE INTO RAINWATER TANK (OVERFLOW TO EXISTING KERB OUTLET) NOTE: REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

NOTES

STORMWATER DRAINAGE TO HYDRAULIC ENG DETAILS BY IBRAHIM STORMWATER CONSULTANTS DATED: 22/07/22 REF: C10877-1509

SURVEY

SURVEY BY APEX SURVEYING DATED: 27/04/2022 REF: 22197

SURVEY LEGEND

BM - BENCH MARK
C - CONCRETE
ELEC - ELECTRICITY KIOSK
GB - GARDEN BED
GR - GRATE (PIT)
H - WINDOW HEADER
HYD - HYDRANT
KOP - KERB OUTLET POINT
LNT - KERB INLET PIT LINTEL
LP - LIGHT POLE
PC - PRAM CROSSING
S - WINDOW SILL
SIP - SEWER INSPECTION POINT
SMH - SEWER MANHOLE
SV - STOP VALVE
TEL - TELECOMMUNICATIONS PIT
TK - TOP KERB
VC - VEHICLE CROSSING
WM - WATER METER
5/0.3 - TREE 5m SPREAD 0.3m TRUNK

RESERVE

Site Plan
Scale 1:200



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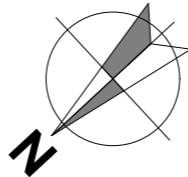


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NORTH POINT:



LODGE MENT:

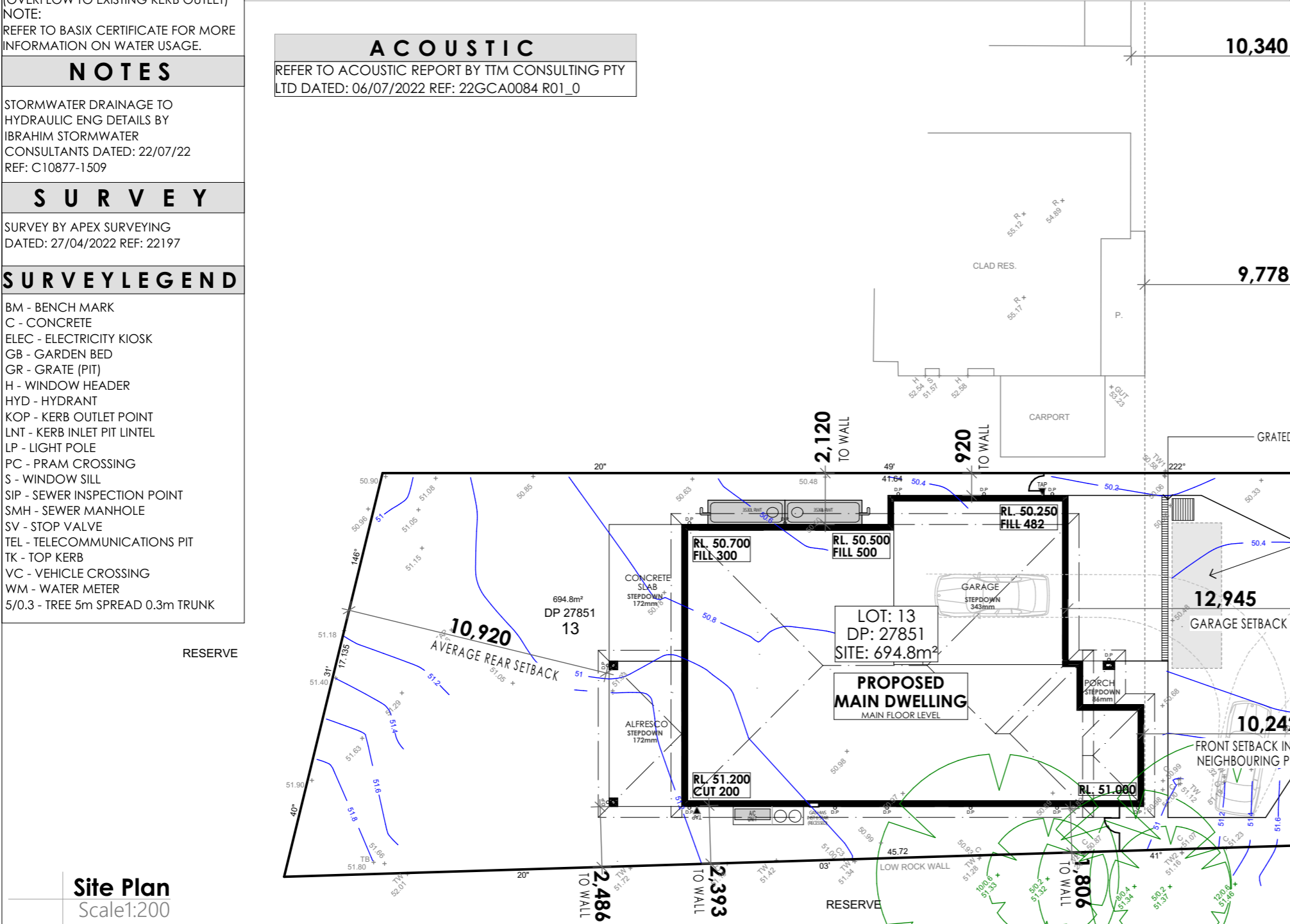
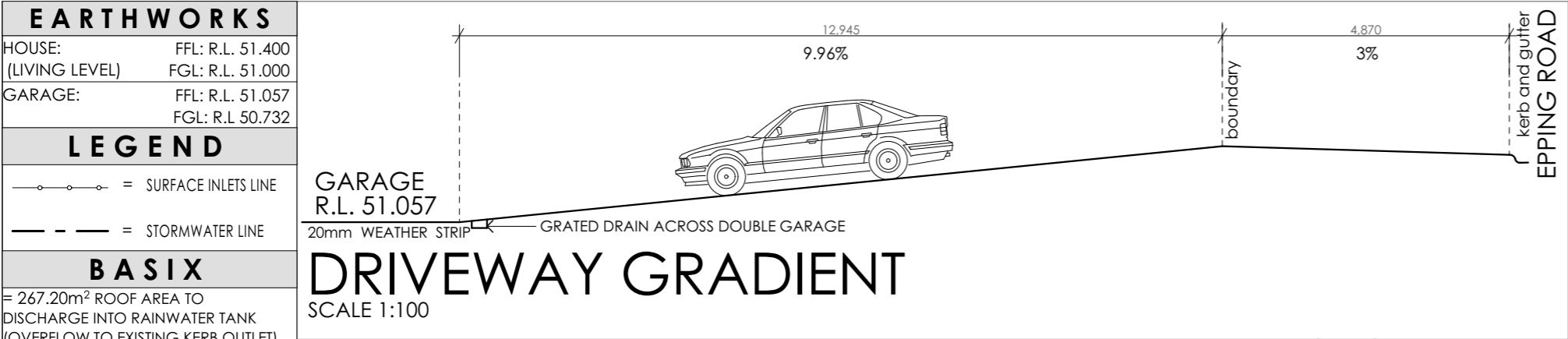
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COUNCIL :
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DESIGN:
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DATE:
2/08/2022











DRAWING TITLE :

Site Plan
DP No:
27851
SITE ADDRESS :
LOT 13, NO.23A EPPING ROAD NORTH RYDE
CLIENT NAMES :
CRYTELE HOMES

JOB No:


KP22-119
DRWG No:
002
VERSION No:
FP2
Scale:
1:200, 1:100, 1:1



Landscape Schedule	
	Letterbox
	Air con. unit (as required)
	Washed pebbles or similar
	Proposed turf area/s
	Precast concrete stepping stones (as required)
	Proposed driveway and path
	Approx. position of clothes line
	Approx. position of proposed fencing
	Approx. position of garbage bins
	Approx. position of rainwater tank

Native-indigenous planting				
Symbol	Latin name	Common name	Mature height x width	Pot size
	Eucalyptus Moluccana	Grey Box	8.0m(h) x 6.0m(w)	45 Ltr.
	Tristaniopsis Laurina	Water Gum	5.5m(h) x 1.5m(w)	45 Ltr.
	Indigofera Australis	Native Indga	1.0m(h) x 0.8m(w)	

Typical Letterbox Detail

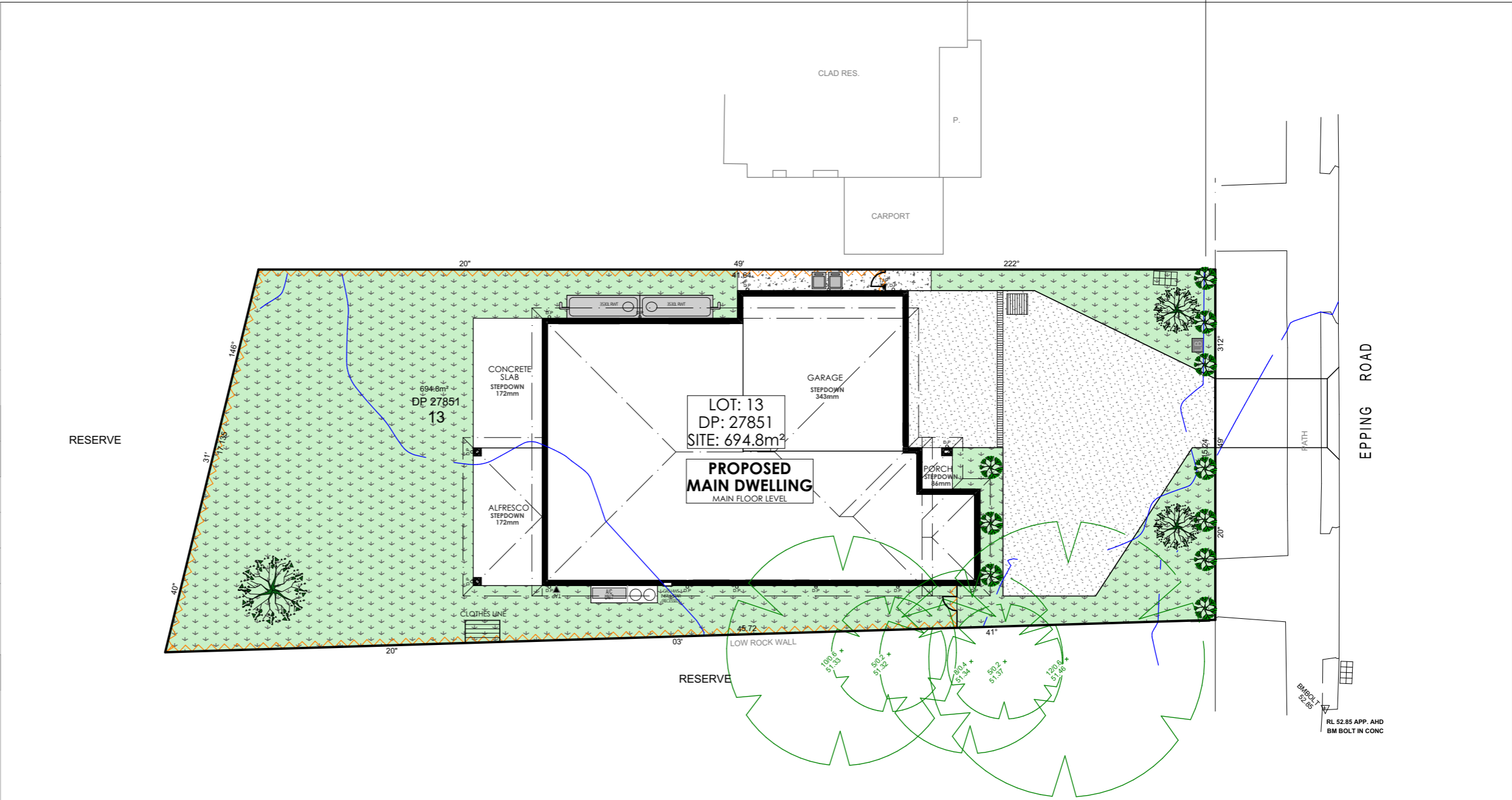


letterbox or similar
(Note: Letterbox by owner)
blend with materials or similar

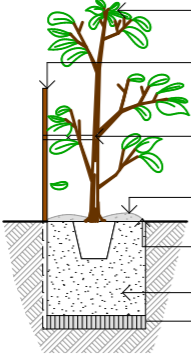
Basix commitments	
Total area of vegetation	325.35m²
Total area of indigenous planting	0.00m²
Total area of washed pebbles or similar	8.00m²

Notes:

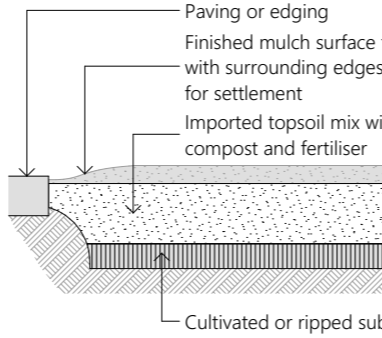
- It is the owners responsibility to ensure all landscaping including schedule of planting and maintenance complies with local government requirements and guidelines.



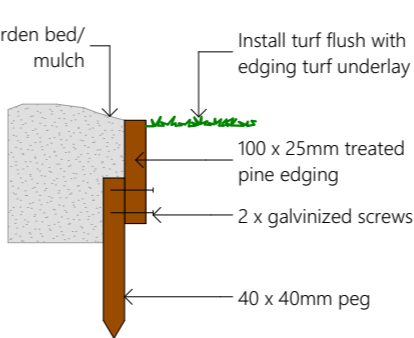
Landscaping plan
Scale 1:200



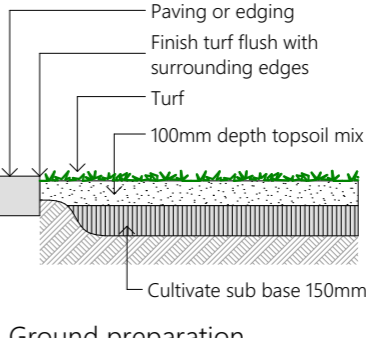
Fertilise plant
Hardwood stake
38 x 38 x 1800mm long
Installed vertically
50mm wide nylon tie
twisted once and stapled
to stake
75mm depth mulch
Form shallow dish to tree base
Adjoining treatment
Refer to plan
Planting mix
Rip subgrade to 150mm depth



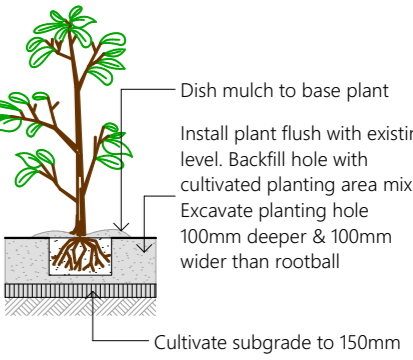
Paving or edging
Finished mulch surface flush
with surrounding edges allow
for settlement
Imported topsoil mix with
compost and fertiliser
Cultivated or ripped sub base



Garden bed/
mulch
Install turf flush with
edging turf underlay
100 x 25mm treated
pine edging
2 x galvanized screws
40 x 40mm peg



Paving or edging
Finish turf flush with
surrounding edges
Turf
100mm depth topsoil mix
Cultivate sub base 150mm




Dish mulch to base plant
Install plant flush with existing
level. Backfill hole with
cultivated planting area mix.
Excavate planting hole
100mm deeper & 100mm
wider than rootball
Cultivate subgrade to 150mm

Ground preparation
Planting area using imported soil

Typical edging detail


Ground preparation
Grassed area; turf using
imported topsoil

Planting in garden beds




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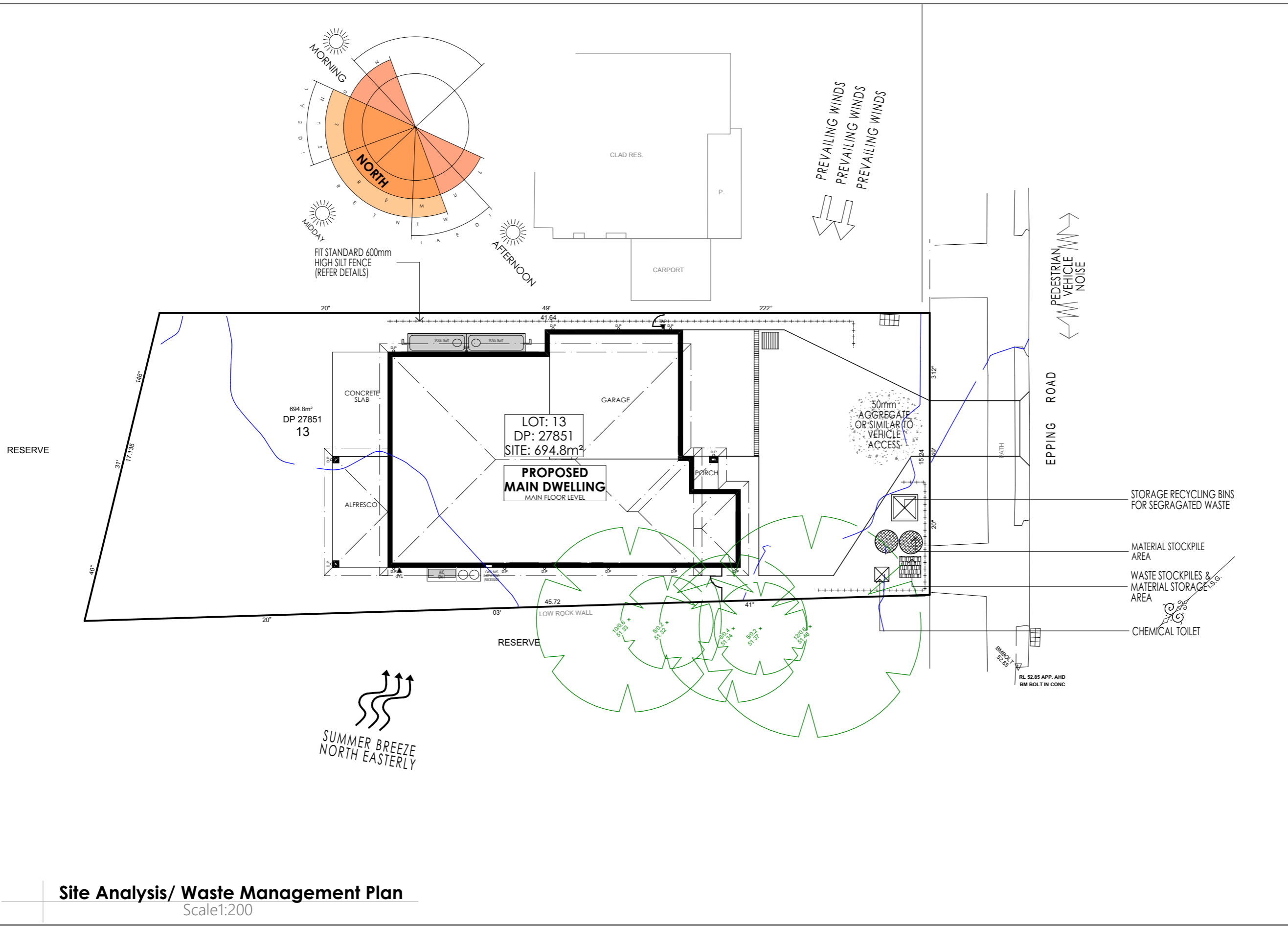
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NORTH POINT:


LODGE MENT:
DA ONLY
COUNCIL :
RYDE
DESIGN:
CUSTOM
DATE:
2/08/2022

DRAWING TITLE :
Landscaping plan
DP No:
27851
SITE ADDRESS :
LOT 13, NO.23A EPPING ROAD NORTH RYDE
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CRYPELE HOMES

JOB No:
KP22-119
DRWG No:
003
VERSION No:
FP2
Scale:
1:200



Silt fence detail (Typical Section)

Straw bale barrier (Typical Section)

Temporary construction exit

Sandbag kerb inlet sedimentation trap

Notes:

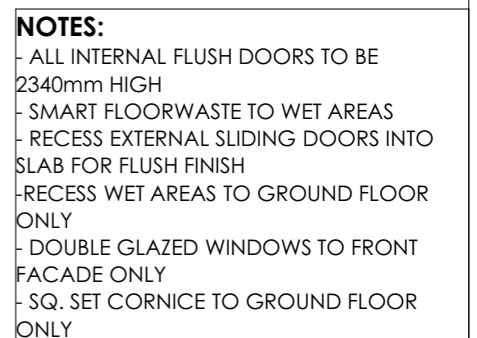
Dust Control measures

- If the site becomes dusty during hotter months Lifestyle designer Homes will sprinkle water on the dust.
- Any area of road base will be positioned for heavy vehicles to reduce and provide an area to wash trucks (as required).

Noise and vibration measures

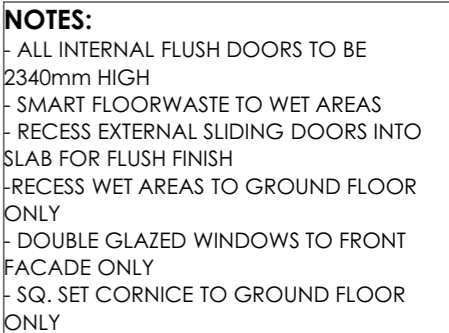
- All excavation will be carried out between the time setout in the council conditions.
- Machinery size will be kept to a minimum required for the job.

The diagram illustrates a cross-section of a 22,050mm wide road with 4 lanes. The road is divided into four lanes, each 3,000mm wide, with a 2,400mm shoulder on the left and a 1,200mm shoulder on the right. The total width is 22,050mm. The diagram also shows the elevations of the road surface and the shoulders. The elevations are marked as follows: 4 (top left), 3 (top right), 2 (bottom left), and 1 (bottom right). The elevations are marked with a '4' in a circle on the left and a '1' in a circle on the right. The elevations are also marked with a '3' and a '2' in the center of the diagram.

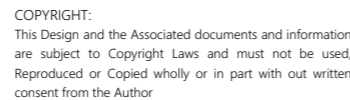


KEY	
	= A/C VENTS (APPROX ONLY)
	= AIR VENT (APPROX ONLY) LOCATION TO BE NOMINATED ON SITE
	= SMOKE ALARM - FINAL LOCATION TO BE DETERMINED BY ELECTRICIAN TO COMPLY WITH AS 3786
 AJ	= ARTICULATION (MOVEMENT) JOINT - FINAL LOCATION TO BE DETERMINED BY ENGINEER

A diagram of a four-pointed star (a square rotated 45 degrees) with the numbers 1, 2, 3, and 4 placed at its vertices. The number 1 is at the top-right vertex, 2 is at the bottom vertex, 3 is at the top-left vertex, and 4 is at the top vertex.



Scale1:100



scale:
:100

CONCRETE ROOF TILES
(AS SELECTED)

BRICKWORK
(AS SELECTED)

RENDERED BRICKWORK
(AS SELECTED)

METAL ROOF
(AS SELECTED)

KEY

= ARTICULATION (MOVEMENT)
JOINT - FINAL LOCATION TO BE DETERMINED BY
ENGINEER

1 Front Elevation

Scale1:100

3 Rear Elevation

Scale1:100

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Crystele
HOMES

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NORTH POINT:

LODGE MENT:
DA ONLY
COUNCIL :
RYDE
DESIGN:
CUSTOM
DATE:
2/08/2022

DRAWING TITLE :
Elevations
DP No:
27851
SITE ADDRESS :
LOT 13, NO.23A EPPING ROAD NORTH RYDE
CLIENT NAMES :
CRYTELE HOMES

JOB No:
KP22-119
DRWG No:
007
VERSION No:
FP2
Scale:
1:100

CONCRETE ROOF TILES
(AS SELECTED)

BRICKWORK
(AS SELECTED)

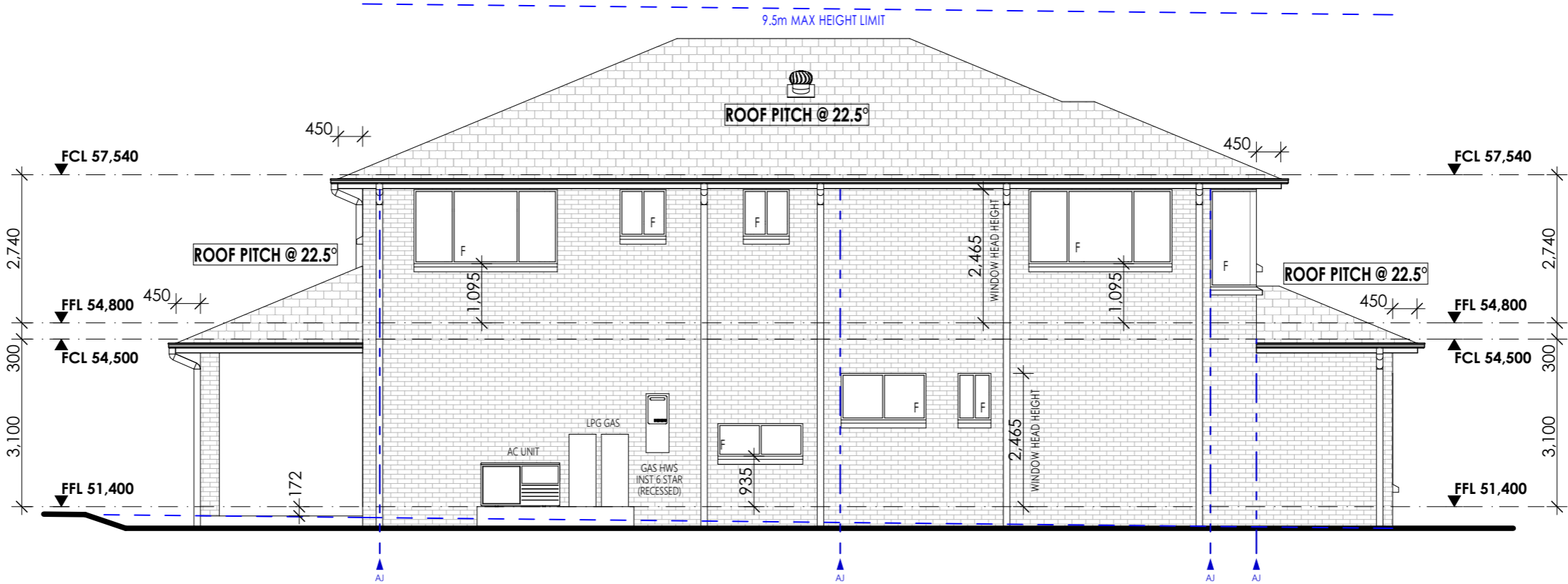
RENDERED BRICKWORK
(AS SELECTED)

METAL ROOF
(AS SELECTED)

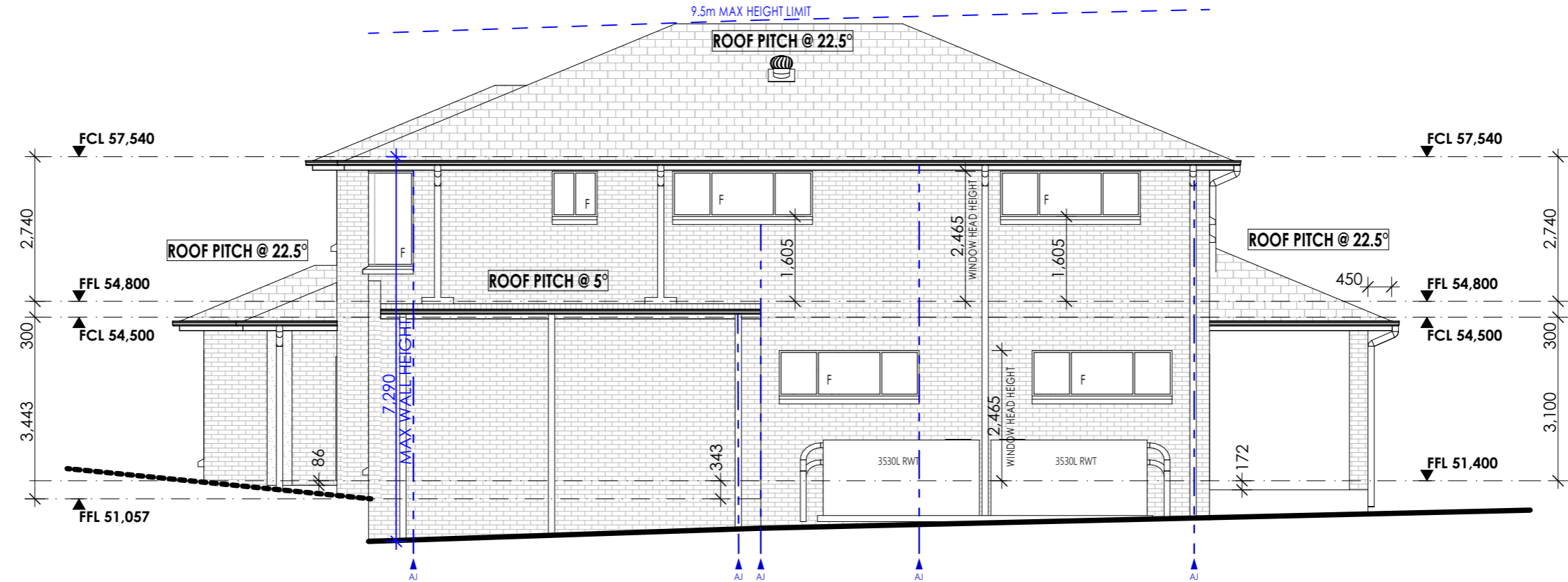
KEY

AJ

= ARTICULATION (MOVEMENT)
JOINT - FINAL LOCATION TO BE DETERMINED BY
ENGINEER



2 Side Elevation
Scale 1:100



4 Side Elevation
Scale 1:100

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LODGE:

DA ONLY

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



008

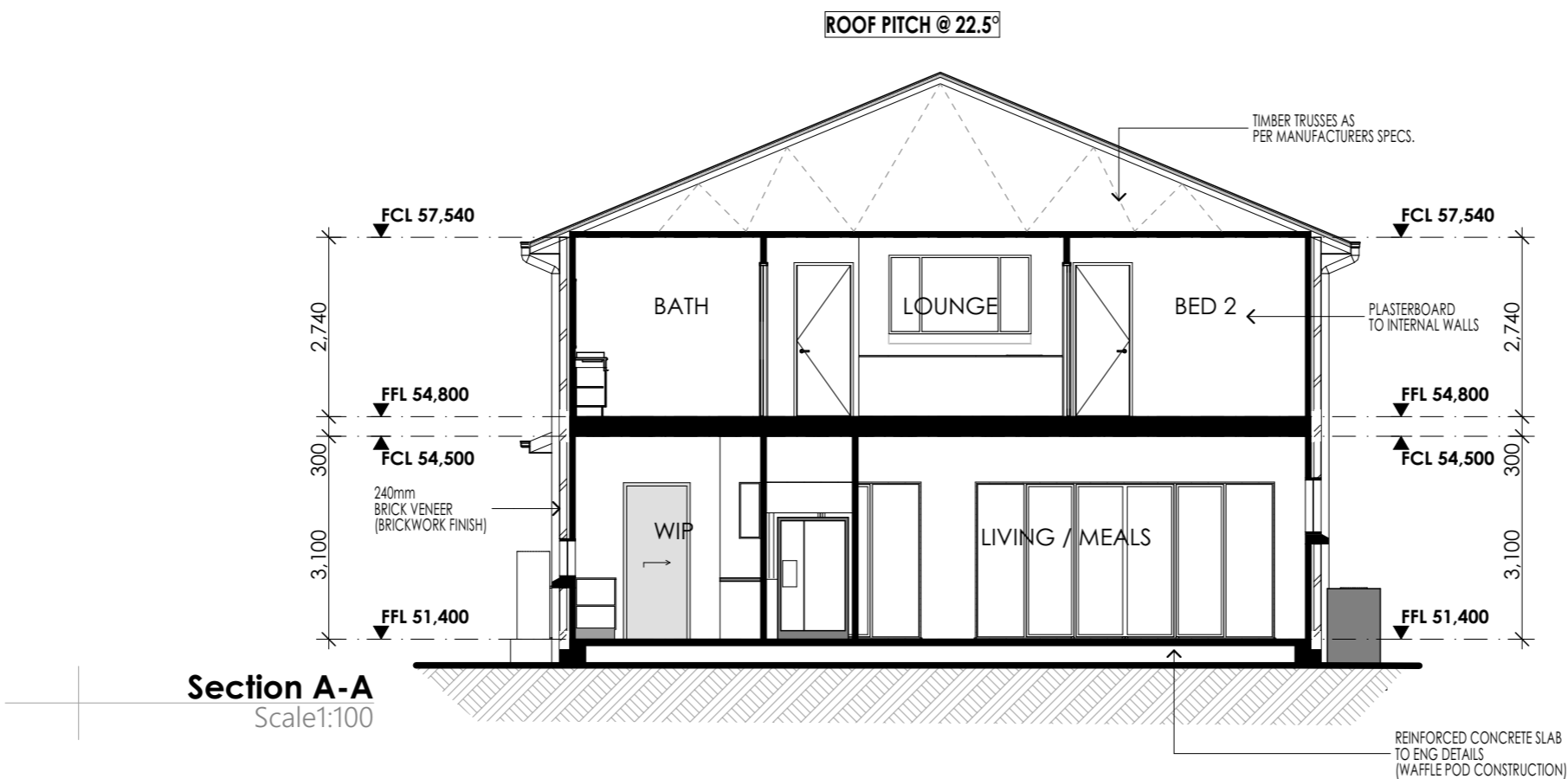
VERSION No:

FP2

Scale:

1:100

MATERIAL LEGEND	
	CONCRETE ROOF TILES (AS SELECTED)
	BRICKWORK (AS SELECTED)
	RENDERED BRICKWORK (AS SELECTED)
	METAL ROOF (AS SELECTED)



Section A-A
Scale1:100

Window List			
No.	Height	Width	Head height
W1	1,800	850	2,400
W2	2,050	1,810	2,465
W3	860	610	2,465
W4	860	1,570	2,465
W5	600	1,570	1,535
W6	860	2,650	2,465
W7	860	2,650	2,465
W8	1,800	850	2,465
W9	1,800	850	2,465
W10	1,800	850	2,465
W11	1,370	2,650	2,465
W12	1,800	850	2,465
W13	1,800	850	2,465
W14	1,370	2,650	2,465
W15	860	850	2,465
W16	860	850	2,465
W17	1,370	2,650	2,465
W18	860	2,170	2,465
W19	1,200	2,170	2,465
W20	860	2,170	2,465
W21	860	2,650	2,465
W22	860	2,650	2,465
W23	860	850	2,465
W24	1,800	850	2,465
WD1	2,400	4,570	2,400
WD2	2,400	4,570	2,400

Basix NO. 13187995

Water

- Rainwater tank of at least 5,000L to be installed.
- Rainwater tank to meet and be installed in accordance with applicable regulatory authorities.
- Rainwater tank to collect rain runoff from roof area depicted in BASIX certificate.
- Rainwater tank supply to be connected to all toilets in dwelling.
- Rainwater tank to be connected to at least one outdoor tap in the dwelling.

Tap fittings

Kitchen	3 star
Shower head	3 star (7.5 BUT<=9L/MIN)
Toilet rating (dual flush)	4 star
Vanity and bath	3 star

Thermal Comfort

External walls	Brick Veneer
Frame	Timber
External wall insulation	R 2.0
External wall colour	Medium
Roofing material	Concrete Tiles
Roof insulation	Sarking
Roof colour	Medium
Ceiling insulation	R 3.5

Energy

- Gas 6 star instantaneous hot water system.
- Gas cooktop to Kitchen.
- Electric oven to Kitchen.
- Outdoor clothes line.

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NORTH POINT:

LODGEMENT:

DA ONLY
COUNCIL :
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2/08/2022

DRAWING TITLE :

Section

DP No:
27851

SITE ADDRESS :
LOT 13, NO.23A EPPING ROAD NORTH RYDE

CLIENT NAMES :
CRYTELE HOMES

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009

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Scale:
1:100

1. Noise Criteria

Internal noise levels of the dwelling are to achieve those specified in *Development near Rail Corridors and Busy Roads – Interim Guideline*. Internal noise levels specified in the Guideline are expressed as L_{Aeq} levels and are reproduced in Table 1 below.

Table 1: Internal Noise Limits from *Development near Rail Corridors and Busy Roads – Interim Guideline*

Type of Occupancy	Residential Buildings	
	Design Sound Level, dB(A)	Applicable time period
Sleeping areas (bedroom)	35	Night 10pm to 7am
Other habitable rooms (excluding bathrooms)	40	At any time

2. Predicted Noise Levels

The site is located in proximity to a major road corridor (M2 Motorway) as defined by Clause 102 of the State Environmental Planning Policy (Infrastructure) 2007. Additionally, the site is adjacent to Epping Road which is also a significant vehicle carrying road. Both roads have been included in the noise assessment for completeness.

Based on traffic volumes obtained from TTM Data and the NSW Traffic Volume Viewer, SoundPLAN noise modelling was conducted considering a 10-year planning horizon to predict road traffic noise levels at façades of the proposed dwelling.

The predicted road traffic noise levels at habitable rooms of the dwelling are presented in Table 3. L_{Aeq} (1 hour) noise level corrections were taken from measured noise levels of roads with similar traffic flows to M2 Motorway and Epping Road.

Table 2: Predicted Road Traffic Noise Levels at the Dwelling

Facade	Floor	Rooms	Predicted Noise Level, dB(A) Façade Corrected		
			L_{A10} (18 hour)	L_{Aeq} (1 hour) Day	L_{Aeq} (1 hour) Night
N (rear)	Ground	Living / Dining	59	59	57
	First	Lounge, Bedroom 3, Bedroom 4	62	62	60
E	Ground	Living / Dining	66	66	64
	First	Bedroom 2, Bedroom 3	69	69	67
S (front)	Ground	Entry, Theatre	75	75	73
	First	Bedroom 1 / Retreat	77	77	75
W	Ground	Kitchen	70	70	68
	First	Bedroom 4	72	72	70

3. Recommendations

Building treatments were determined by using the calculation methods detailed in Australian Standard *AS3671:1989 Acoustics – Road Traffic Noise Intrusion – Building Siting and Construction*. Based on the architectural drawings, the recommended construction details are listed below.

3.1 Glazing Treatments

Table 3 presents the recommended glazing R_w performance specifications for the dwelling.

- The R_w rating relates to the full glazing system including the frame, seals and the glass. Where acoustic seals are necessary, glazing will require a Q-Lon seal or equivalent product.
- Alternative glazing may be used provided the specified R_w rating can be achieved and certified by the window manufacturer with a NATA report (on request). Generic reports should not be accepted.
- Depending on the type of window system, the framing can significantly reduce the performance. This should be investigated with the glazing supplier thoroughly (referring to NATA certified test report data) to ensure the minimum R_w is being achieved.
- It is imperative that the minimum R_w rating is achieved and that the presented glazing thickness is used as a guide only. If the glazing thickness does not comply with the R_w rating, thicker glass should be considered until the R_w rating is achieved.

Table 3: Glazing Treatments

Habitable Room	Component	Min R_w	Indicative Glazing Thickness	Acoustic seals
Living / Dining / Kitchen	Sliding doors	28	5mm toughened	Yes
	Windows	28	5mm toughened	Yes
Theatre	Windows	38	14.38mm laminate	Yes
Bedroom 1	Windows (front)	40	12.5mm Viridian VLam Hush	Yes
	Windows (side)	35	10.38mm laminate	Yes
Bedroom 2	Windows	35	10.38mm laminate	Yes
Bedroom 3 and Bedroom 4	Windows (rear)	30	6.38mm laminate	Yes
	Windows (side)	38	14.38mm laminate	Yes
Lounge	Windows	24	4mm float	No

All remaining glazing not stated above should be installed with a minimum of 4mm float (R_w24) for windows and 5mm toughened (R_w25) for sliding doors.

It is recommended that a glazing certificate be obtained from the glazier demonstrating that the installed glazing meets the minimum weighted sound reduction index (R_w) requirements. The certificate should be retained for certification of the completed dwelling.

3.2 Wall Construction

Brick or masonry external walls with 10mm plasterboard internally and R1.5 cavity insulation will achieve a R_w57 acoustic rating without the need for further treatment.

Other wall systems may be used providing the system achieves the minimum acoustic rating.

3.3 External Penetrations

Penetrations through the walls/ceiling system to the outside shall be kept to a minimum to ensure the acoustic integrity of the system is maximised. Where penetrations must be made, they must be no larger than 10-15mm greater than the object passing through the wall. The gap shall be filled with Bostik Fireban 1 or equivalent product.

Large diameter services penetrations (greater than 50mm around the penetrating object) will require further detailed design to ensure the acoustic integrity of the wall system is not diminished. As a guide, using the plasterboard materials, close the gap to a maximum 10-15mm and generously fill the residual gap with a non-hardening fire-rated mastic.

All remaining penetrations with a gap of maximum 10-15mm around the penetrating object must be generously filled with a non-hardening fire-rated mastic.

Penetrations through noise affected walls may require specific design to provide adequate attenuation for internal compliance and should be reviewed by the acoustic consultant before final approval.

3.4 Roof/Ceiling Construction

Table 4 below details the minimum roof/ceiling constructions that are predicted to meet the required acoustic ratings.

Table 4: Recommended Roof/Ceiling Construction

Room	Roof / Ceiling Construction	Cavity Insulation	Minimum R_w
Lounge, Bedroom 2, Bedroom 3, Bedroom 4	<ul style="list-style-type: none">Pitched tiled roof with sarking under battens,Cavity insulation as per table,1 x 13mm standard plasterboard internally.	Minimum R3.5 insulation batts	43
Bedroom 1	<ul style="list-style-type: none">Pitched tiled roof with sarking under battens,Cavity insulation as per table,1 x 13mm sound-rated plasterboard internally.	Minimum R3.5 insulation batts	48

3.5 Entry Door

The entry door is required to achieve a minimum R_w33 . We recommend consultation with a suitable manufacturer to determine a door system that can achieve the required rating. Alternatively, AS3671 recommends a solid-core 42mm thick plywood door, soft plastics gasket around sides and top, and a drop seal at the base. Glass planes should also achieve a minimum R_w33 .

3.6 Alternative Ventilation

To achieve the required internal noise levels in noise affected habitable rooms, doors and/or windows would need to be closed. Therefore, it is recommended that consideration is given to the inclusion of alternative ventilation so that windows/doors can be closed to achieve the indoor sound levels.

Suitable forms of ventilation include air-conditioning, borrowed ventilation in accordance with the BCA, Silence Air or Aeropac noise ventilators. The plant should not reduce the acoustic performance of the building or cause intrusive noise at neighbouring properties.

4 Conclusion

The proposed dwelling at 23A Epping Road, North Ryde was designed in accordance with AS3671 to comply with the indoor sound levels stated in Section 1. Based on the inclusion of the recommendations in this report, the dwelling is predicted to comply with the relevant noise requirements.

This assessment does not imply that road traffic noise will be inaudible within a living or sleeping area.

We trust this information meets with your current requirements. Should you have any queries please do not hesitate to contact TTM.

ACOUSTIC

REFER TO ACOUSTIC REPORT BY TTM CONSULTING PTY LTD DATED: 06/07/2022 REF: 22GCA0084 R01_0

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INNOVATIVE HOME DESIGNS

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bdaa
ACCREDITED
BUILDING DESIGNER

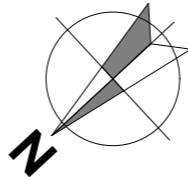
Crystele
HOMES

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GENERAL NOTES:

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- BOUNDARIES TO BE VERIFIED BY SURVEYOR.
- OTHER CONSULTANT DRAWINGS TAKE PREFERENCE.
- DRAINAGE TO COUNCIL'S REQUIREMENTS AND AS 3500

NORTH POINT:



LODGE MENT:

DA ONLY
COUNCIL :
RYDE
DESIGN:
CUSTOM
DATE:
2/08/2022

DRAWING TITLE :

Acoustic Details

DP No:

27851

SITE ADDRESS :
LOT 13, NO.23A EPPING ROAD NORTH RYDE

CLIENT NAMES :
CRYTELE HOMES

JOB No:

KP22-119

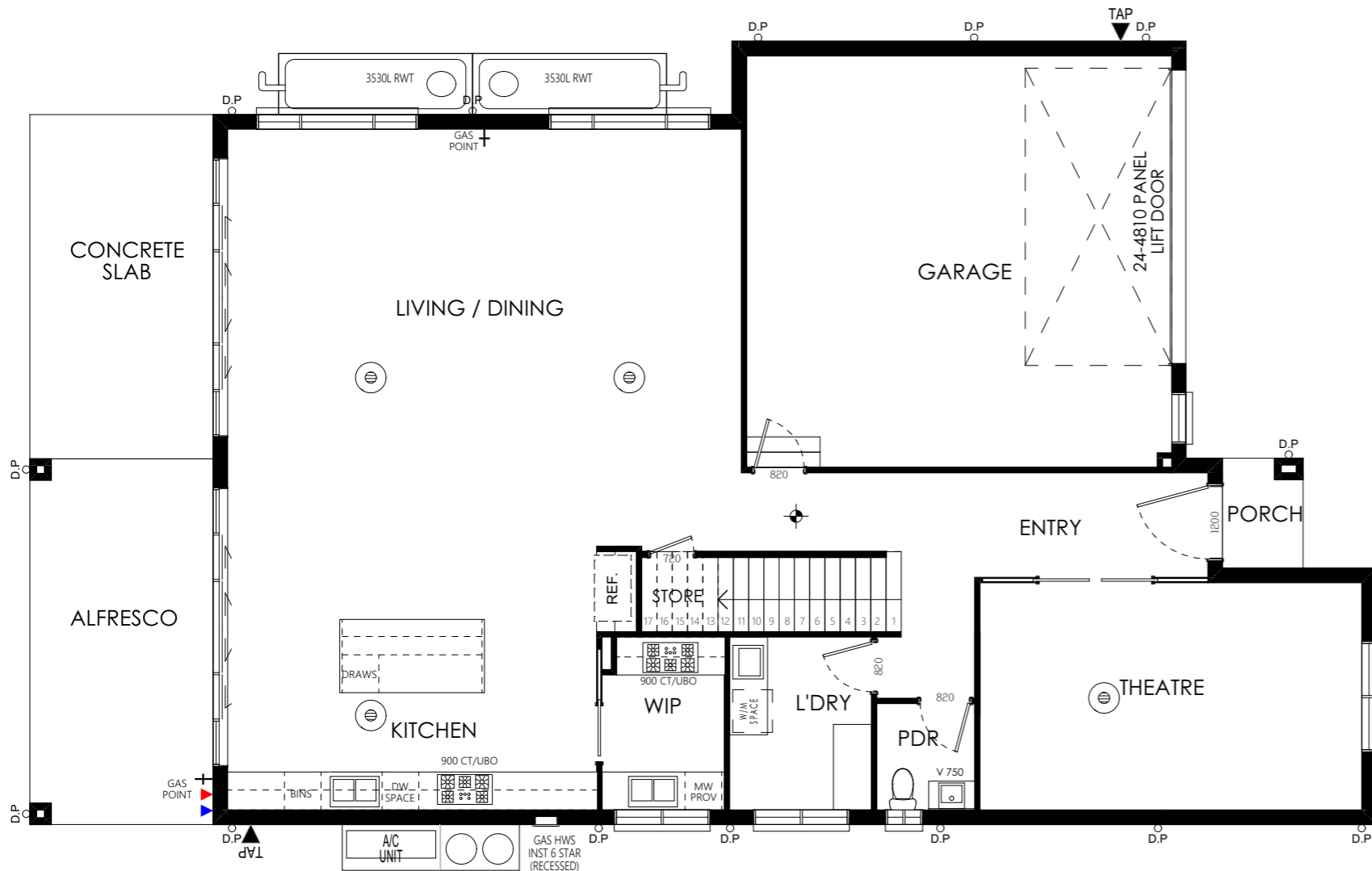
DRWG No:

010

VERSION No:

FP2

Scale:



Electrical Plan GF
Scale1:100



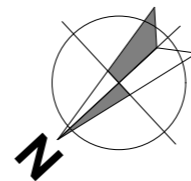
Electrical Plan FF
Scale1:100

- ELECTRICAL INCLUSIONS;**
- 1 LIGHT BAYONET PER ROOM
 - 2 EXTERNAL WEATHERPROOF SINGLE GPO
 - 6 INTERNAL SINGLE GPO
 - 1 INTERNAL DOUBLE GPO PER ROOM
 - 1 TWO-WAY SWITCH
 - 1 TV POINT
 - 1 PHONE POINT
 - 1 EXHAUST FAN
 - 2 SMOKE ALARM
 - 1 DUCTING TO RANGEHOOD
 - NBN PROVISION ONLY
- UPGRADES;**
- ALARM SYSTEM 4xPIR, 1xKEYPAD, 1xsIREN
 - VIDEO INTERCOM
 - 3 PHASE POWERPOLE WITHIN LOT BOUNDARY
 - 3 PHASE DUCTED AIR-CONDITIONING (10 OUTLETS 2 ZONES)
 - 30 LED DOWNLIGHTS

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
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
Electrical Plan
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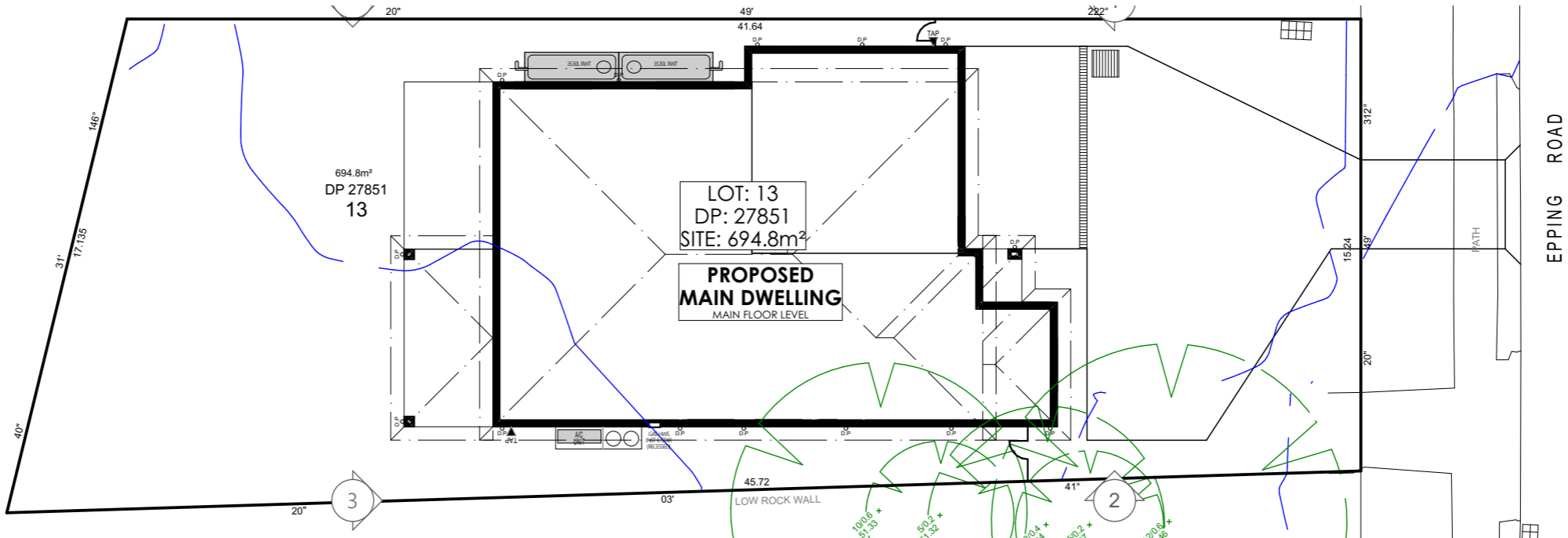
MATERIAL LEGEND

 CONCRETE ROOF TILES
(AS SELECTED)

 BRICKWORK
(AS SELECTED)

 RENDERED BRICKWORK
(AS SELECTED)

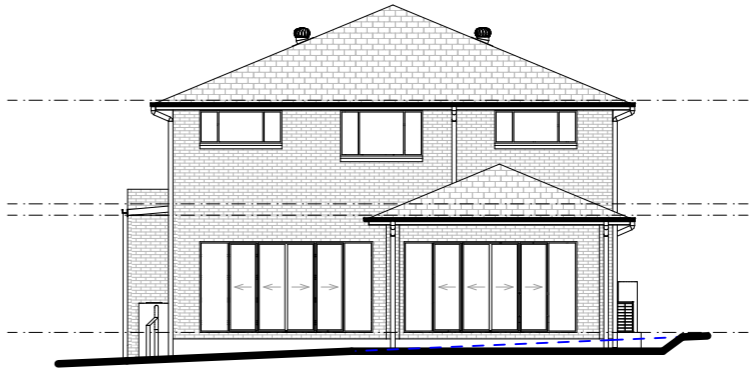
 METAL ROOF
(AS SELECTED)



Notification Plan
Scale1:200



1 Front Elevation
Scale1:200



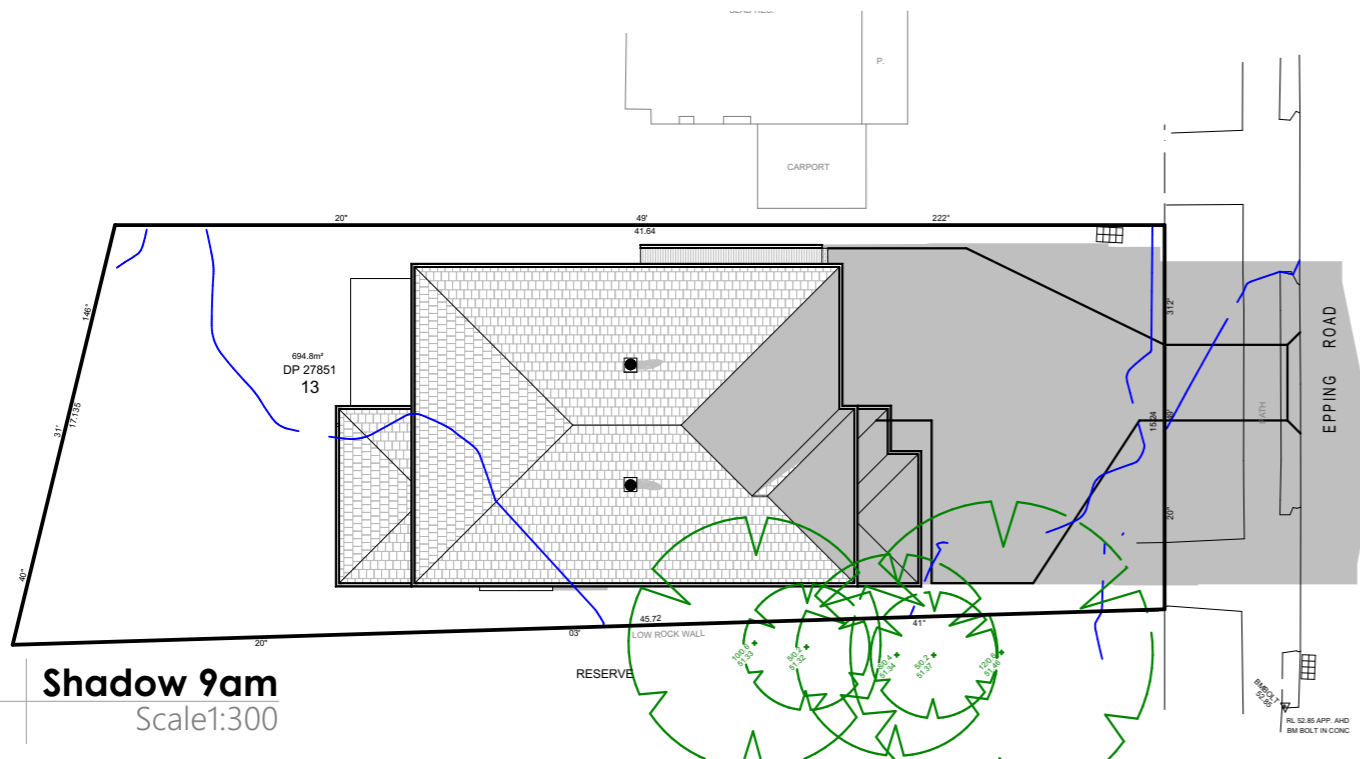
Rear Elevation
Scale1:200



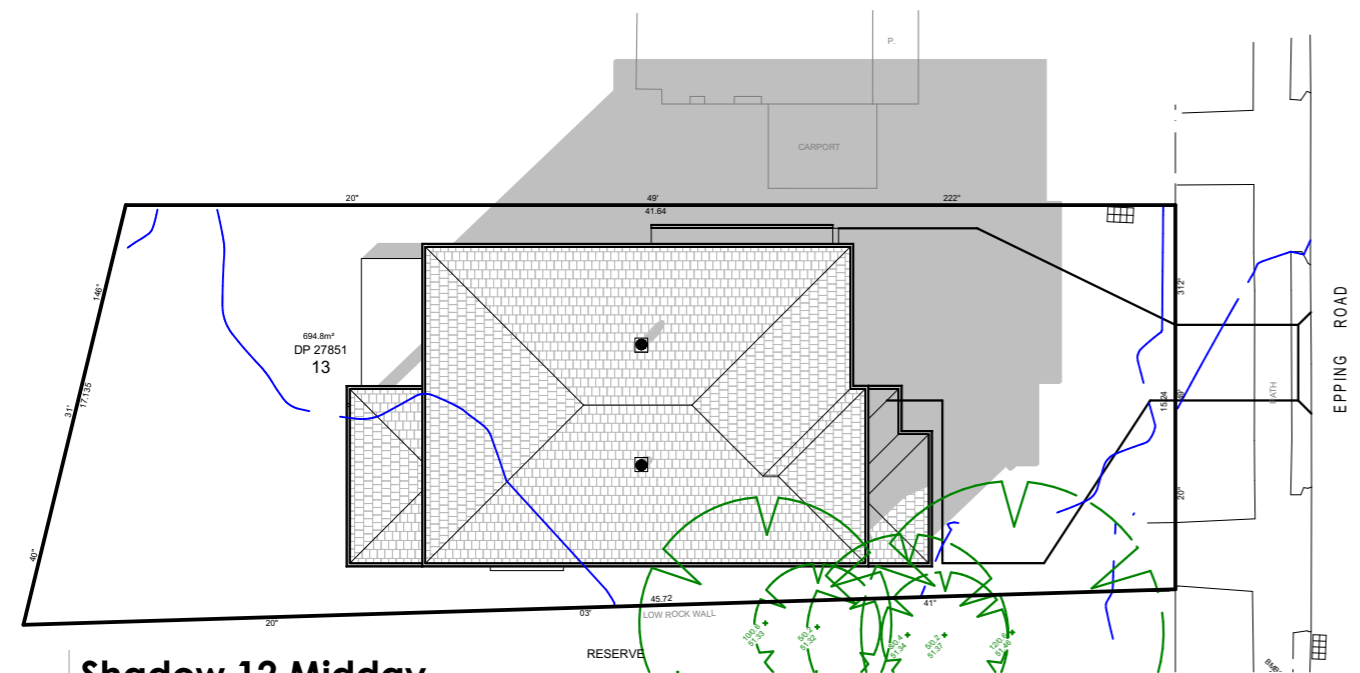
2 Side Elevation
Scale1:200



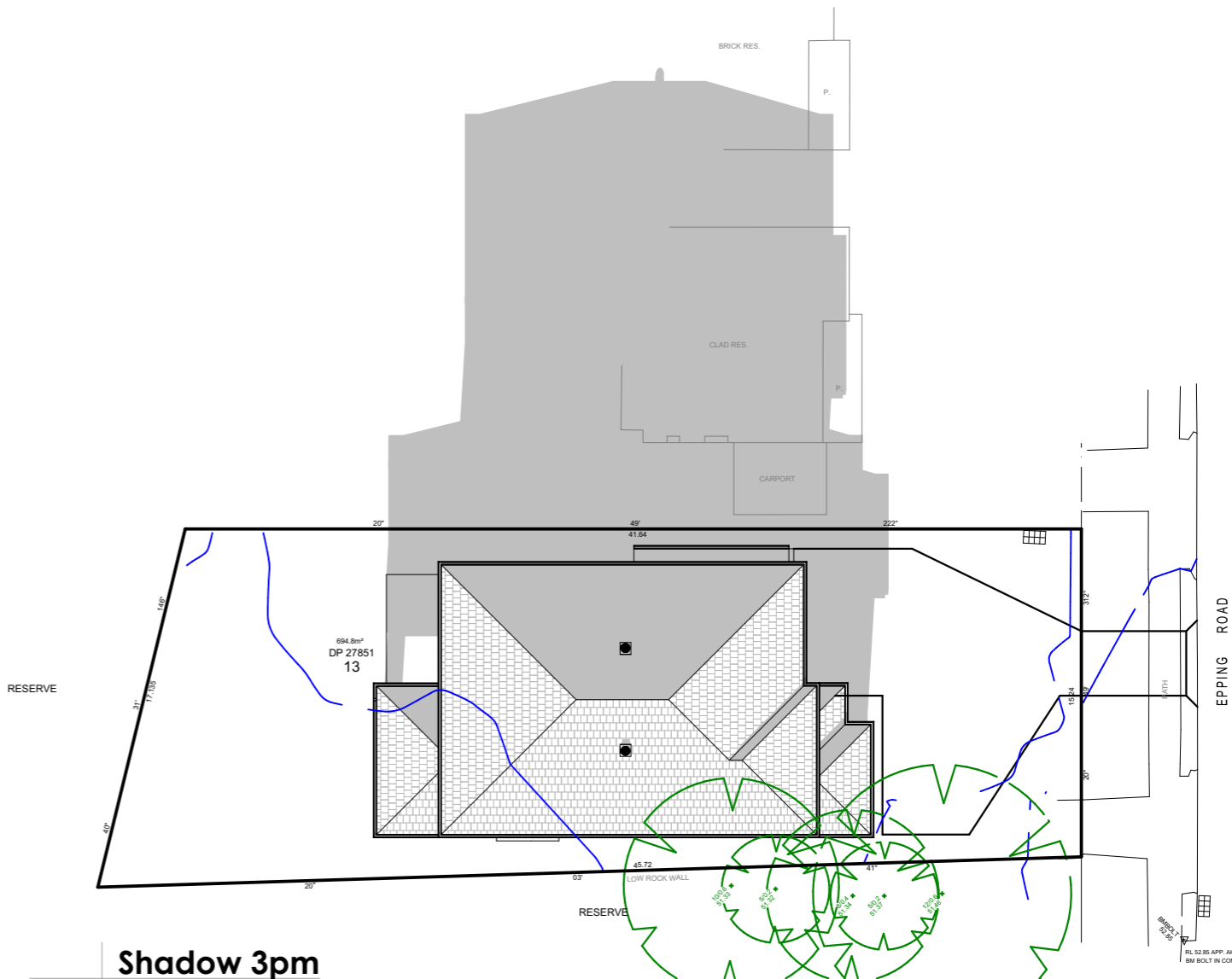
4 Side Elevation
Scale1:200



Shadow 9am
Scale:1:300



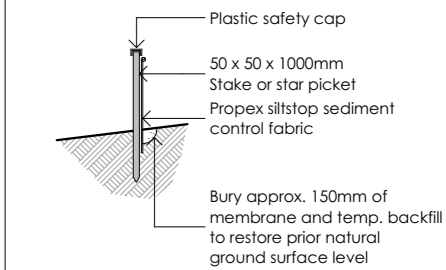
Shadow 12 Midday
Scale:1:300



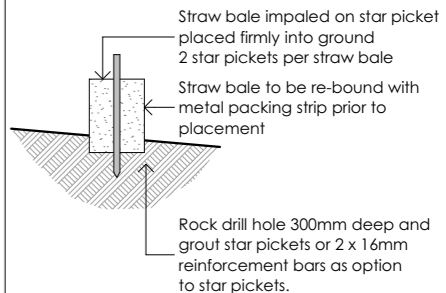
Shadow 3pm
Scale:1:300

SHADOW PROJECTIONS 21st JUNE

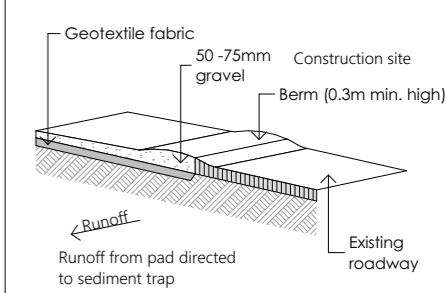
SHADOWS OF PROPOSED DWELLING



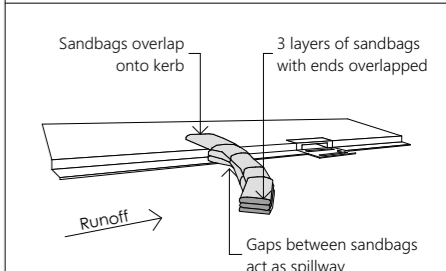
Silt fence detail (Typical Section)



Straw bale barrier (Typical Section)



Temporary construction exit

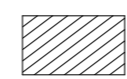


Sandbag kerb inlet sedimentation trap

Notes:
Dust Control measures
- If the site becomes dusty during hotter months Lifestyle designer Homes will sprinkle water on the dust.
- Any area of road base will be positioned for heavy vehicles to reduce and provide an area to wash trucks (as required).
Noise and vibration measures
- All excavation will be carried out between the time setout in the council conditions.
- Machinery size will be kept to a minimum required for the job.

Demolition Plan


Scale1:200

 = AREA OF DEMOLITION



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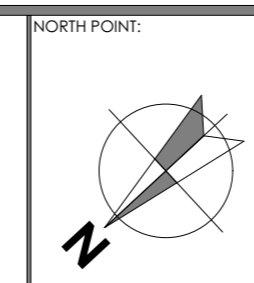
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